

ENVIRONMENTAL ASSESSMENT REPORT

PARK HYATT SYDNEY

7 HICKSON ROAD, THE ROCKS

MP 09_0044



Prepared for Daisho Developments Sydney

September 2010

PARK HYATT SYDNEY

urbis

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Certification

This report has been authored by Urbis, with input from a number of other expert consultants, on behalf of Daisho Developments Sydney Pty Ltd. The accuracy of the information contained herein is to the best of my knowledge not false or misleading. The comments have been based upon information and facts that were correct at the time of writing the report.

A handwritten signature in black ink, appearing to read 'T. Blythe', with a stylized flourish at the end.

Tim Blythe
Director

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1 Introduction

1.1 Background

This Environmental Assessment has been prepared by Urbis on behalf of Daisho Developments Sydney to accompany an application seeking approval of a Project Application for the Park Hyatt Sydney, located at 7 Hickson Road, The Rocks.

On the 9th March 2009, the Director General, as delegate for the Minister for Planning declared the proposal to be a Major Project and that Part 3A of the Environmental Planning and Assessment Act 1979 applies. The project was identified as **MP 09_0044**.

Following the declaration as a Major Project, a new architect and interior designer were appointed to the project. As a consequence, the overall design philosophy and design intent for the refurbishment of the hotel was refined from that originally proposed, along with the scope and extent of proposed works. Revised Environmental Assessment Requirements were therefore requested from the Department of Planning to align with the revised extent of refurbishment works.

On the 31st May 2010, Director of Government Land and Social Projects, as delegate for the Director General, declared the revised proposal to be a Major Project and that Part 3A of the Environmental Planning and Assessment Act 1979 applies. Revised DGR's were issued for the proposal on 4th June 2010. The project remaining identified as **MP 09_0044**.

This Environmental Assessment has been prepared in accordance with the provisions of Part 3A of the Act and the Director Generals Requirements (DGR's) issued for the proposal as dated 4th June 2010. A copy of the DGR's are enclosed at Appendix A.

1.2 Proposed Development

The Project Application involves alterations and additions to, and the refurbishment of the existing hotel to improve amenity, and the overall function and operation of the hotel. A complete set of Architectural Drawings and Landscape Plan are enclosed at Appendix B and C.

A key aim of the proposed works is to reaffirm the Sydney Park Hyatt as a hotel of international standing and an important component to Sydney, NSW and Australian tourism and business. The proposed works also seek to enhance and refurbish the décor and facilities of the hotel to a standard consistent with Sydney's premier hotel.

The proposal includes some works that extend beyond the approved building envelope for the site. An application to vary the Sydney Cove Redevelopment Authority (SCRA) Scheme - Building Site Control Drawing XXV-B(3) is therefore included as part of this application. An approval to vary the SCRA plan must be obtained before the Project Application can be determined.

1.3 Project Objectives

The objectives for this project are:

- To reaffirm the Park Hyatt Sydney as a hotel of international standing and an important component to Sydney, NSW and Australian tourism and business.
- To improve the overall function and operation of the hotel.
- To enhance and refurbish the internal décor and facilities of the hotel to a standard consistent with Sydney's premier hotel.
- To strengthen the position of the Park Hyatt Sydney within the tourism and hospitality markets.
- To enhance the image of The Rocks through the provision of the highest standards of tourist accommodation and facilities.

1.4 Discussions with Department of Planning

A meeting was held with the Department of Planning on 9th February 2010 to provide an update on the status of the project; to discuss the revised extent of proposed works; and to identify the next steps involved in progressing with the project. Preliminary plans were presented at the meeting, including indicative photomontages of potential view impacts as a result of the proposed works to the roof top level including the pool terrace area. The Department provided valuable information to the design team on the documentation and supporting information that would be required to be submitted with the formal application.

A meeting was also held on site with the Department on 18th February 2010 to discuss potential view implications from the roof top works, including the pool terrace area. The meeting provided an opportunity to determine points of reference where potential view impacts should be assessed by the design team. These points of reference have been used to determine any potential view loss or view impacts resulting from the proposed works, and have been incorporated within the Visual Impact Analysis, prepared by Hassell, enclosed at Appendix D.

1.5 Proponent and Consultant Team

Daisho Developments Sydney is the proponent for this project. The consultant team assisting the proponent includes the following:

- Urbis- Urban Planning; Sea Level Rise; Consultation and Stakeholder Management.
- Hassell- Architectural and Landscape Design.
- BARstudio- Interior Designers.
- URaP- TTW- Traffic and Parking.
- Davis Langdon- BCA Compliance Report.
- Morris Goding- Accessibility.
- RAW Fire- Fire Safety Strategy.
- WEBB Australia Group- Utilities and Services.
- MBMpl- Cost Plan.

1.6 Value of the Project

Capital Investment Value (CIV) is defined in the State Environmental Planning Policy (Major Development) 2005 as:

*the **capital investment value** of development includes all costs necessary to establish and operate the development, including the design and construction of buildings, structures, associated infrastructure and fixed or mobile plant and equipment (but excluding GST, as defined by A New Tax System (Goods and Services Tax) Act 1999 of the Commonwealth, and land costs).*

The CIV of the ground floor works is estimated to be approximately \$50 million. A Quantitative Surveyors Statement verifying the capital investment value of the project is enclosed at Appendix E.

2 Site and Surrounds

2.1 Regional Context

The site is situated within the City of Sydney LGA and is located within the historic 'Rocks' precinct of Sydney Cove. The 'Rocks' has international tourism recognition and is a major tourism draw card for Sydney in both the international and domestic tourism markets.

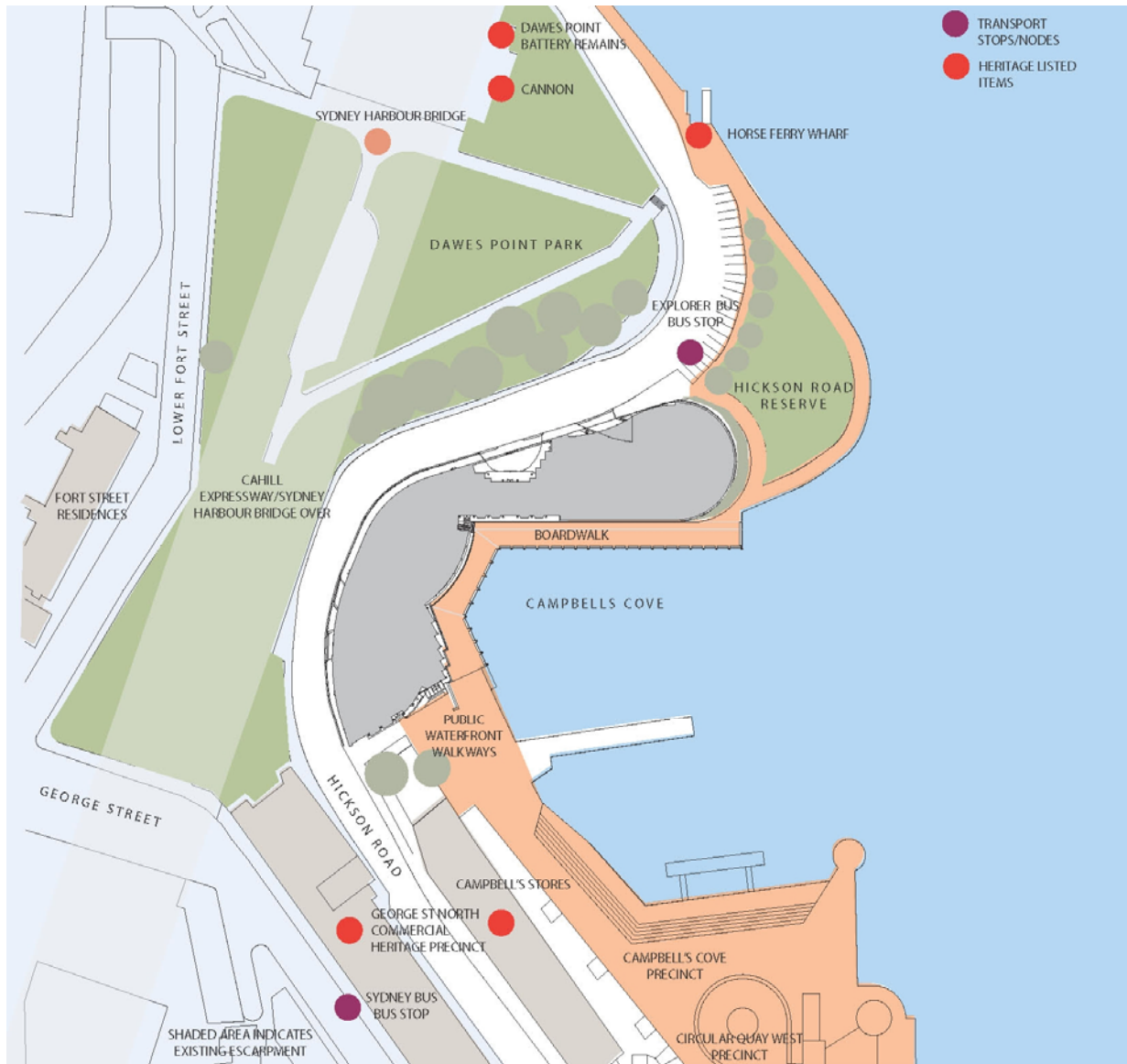
The Park Hyatt Sydney is recognised as Sydney's leading hotel on the basis of the standard of facilities the hotel offers, the unrivalled waterfront location and the unsurpassed views of Sydney Harbour.

Importantly, the Park Hyatt Sydney not only has regional significance within the Sydney context, but is viewed as an important asset in ensuring that Sydney as a whole retains its status as a major destination and gateway into Australia. The Hotel plays a major role in providing world class accommodation and facilities that enhance the image of Sydney, NSW and Australia as a whole.

2.2 Local Context and Surrounding Properties

The site is relatively isolated from adjacent developments, being bound by Hickson Road and the Sydney Harbour Bridge to the west and Dawes Point Park to the north. The site directly abuts the waterfront promenade that extends along the western edge of Sydney Cove, providing pedestrian access from Dawes Point to Circular Quay. Please refer to Local Context Plan at Figure 1.

Figure 1 – Local Context Plan



The principal features of the local context include:

- To the north is Dawes Point Park, a small recreational open space area that forms the focal space below the southern portion of the Sydney Harbour Bridge.
- To the east a public promenade abuts Sydney Harbour, providing connections between Dawes Point Park and Circular Quay.
- To the south of the site is Campbell's Storehouse. The ground floor of the building is used for the purpose of restaurants fronting the promenade. The building has significant heritage value and is a heritage listed item.
- The western boundary of Hickson Road is formed by a high concrete wall associated with the Bradfield Highway and the Sydney Harbour Bridge.

2.3 Subject Site

The Park Hyatt Sydney is located at 7 Hickson Road, The Rocks, as illustrated in the aerial photo and locality plan at Figure 2. The subject site is legally described as Lot 2 in DP 804776. It is an irregular shaped allotment with a frontage to Hickson Road of 174 metres and a total site area of 4,592 square metres. The curvilinear configuration of the site has dictated the serpentine building footprint of the existing hotel which follows the northern curvature of Campbells Cove.

Figure 2 – Aerial Photo and Locality Plan



The development of the site was the result of a competition for architectural design and for land tenure in 1986, and culminated in a 4 storey international hotel with 158 rooms (Figure 3). The hotel includes restaurants, bars, recreational facilities, parking and service facilities.

The site is owned by the Sydney Harbour Foreshore Authority (SHFA) with a 99 year leasehold in operation.

Figure 3 – Site Context Photos



Picture 1 – View of site from East Circular Quay



Picture 2 – View of site from Circular Quay on Sydney Harbour



Picture 3 – View of site from the south along public promenade



Picture 4 – View of site from the north along Hickson Road



Picture 5 – View of site from Hickson Road entry



Picture 6 – View of site along public promenade

Figure 4 – Site Analysis Plan



3 Development History of the Site

3.1.1 Previous Use of the Site

Prior to the redevelopment of the site, the site was used from the early nineteenth century for a range of utilitarian harbour uses. The site accommodated three disused buildings, the largest was a 1960 style brick building once occupied by the NSW Water Police. Other buildings on the site included two boatsheds and maritime structures such as various wharfs, jetties and slipways that extended into Campbells Cove. Due to the previous uses of the site, no public access to the site or the waterfront was available.

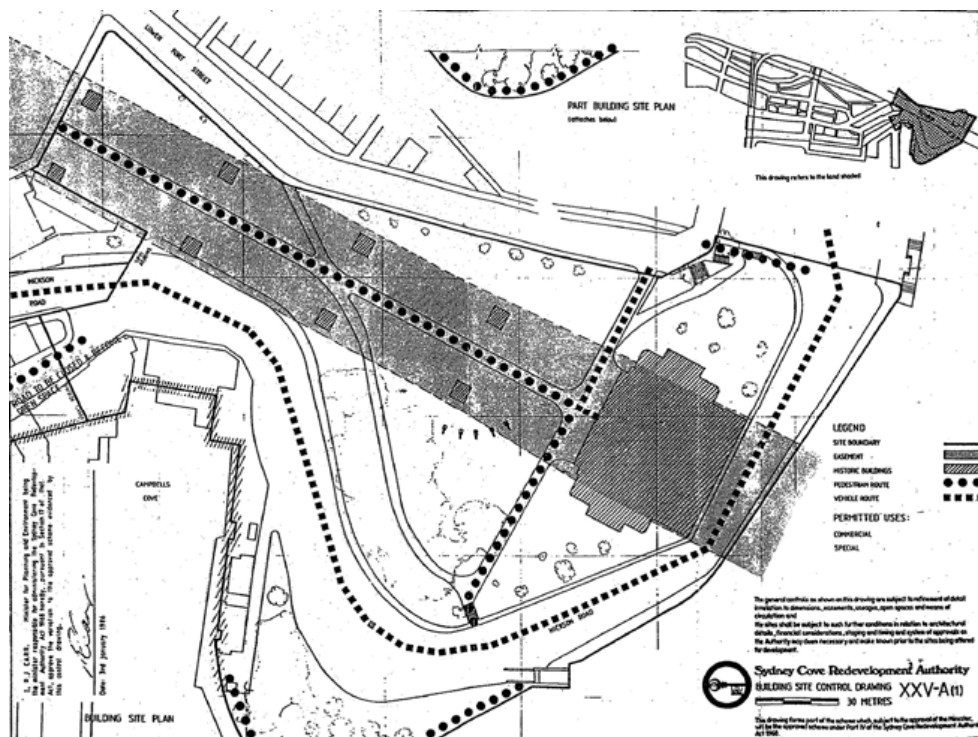
The site was acquired by the Sydney Cove Redevelopment Authority under the provisions of the Sydney Cove Redevelopment Authority Act (SCRA). The development of The Rocks was vested under the control of the SCRA, which formulated a strategic development plan for The Rocks precinct, which included specific controls for the subject site.

3.1.2 The “Developer’s Brief” and the Original 1987 Development Application

The development of the site was the result of a competition for architectural design and for land tenure. Detailed guidelines known as the “Developer’s Brief” were prepared by SCRA to guide the redevelopment of the subject site. These included building envelope controls and a range of qualitative design objectives. The relevant planning controls applicable at the time were contained within Building Site Control Drawings XXV-A and XXV-B and partly, XXVII. These controls generally identified the location, height and size of buildings envisaged for the site (Figures 5 and 6).

The Developer’s Brief also included the provision that a variation to the approved building envelope scheme (at the time establishing a maximum height of RL15.0) would be sought by SCRA, if an outstanding proposal is submitted that does not entirely conform to the building envelope and site boundaries.

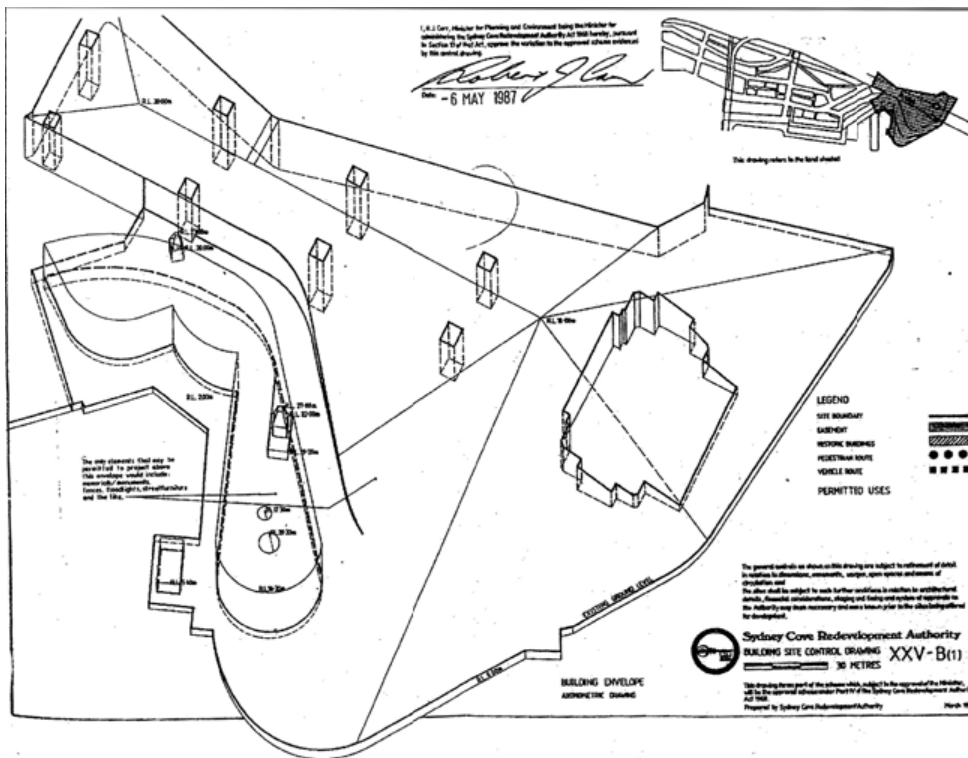
Figure 5 – Sydney Cove Redevelopment Authority- Building Site Control Drawing XXV-A(1)- 2 June 1998



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Figure 7 – Sydney Cove Redevelopment Authority- Building Site Control Drawing XXV-B(1)- 2 June 1998



Permission for the current use and development of the site was established via Development Approval No.87/DA/14 granted on 7 May 1987. The development involved the construction of a “6-star” hotel of 4 storeys above ground level and basement car parking. The development included the construction of a public promenade around the waterfront.

3.1.3 The 1995 Proposal

In November 1995, the Sydney Cove Redevelopment Authority refused a development application for extensions to the roof and ground floor restaurant of the Hotel.

The extensions to the roof included function rooms, lounge bar, store room, toilets and servery at the north-eastern end of the building. Ground floor works included a new glass roof and walls over the outdoor eating area at the south-eastern end of the building; and minor alterations to the restaurant and the addition of a new kitchen.

The reasons for refusal are summarised as follows:

- The breaching of the existing envelope controls.
- The unacceptable visual intrusion in such a “special area of outstanding aesthetic, cultural, historic and architectural value”.
- Undesirable precedent in respect to building height and bulk.
- Detrimental impact on views both to and from the harbour.

3.1.4 The 2004 Proposal

In February 2004 discussions were initiated with SHFA as the freehold owners of the subject site in respect to the process of seeking a variation to the SCRA Scheme.

A comprehensive submission was then prepared in March 2004 and presented to SHFA in demonstrating the planning merits of the proposed variation and seeking owners consent to lodge a request with the Minister for Planning to vary the building envelope controls.

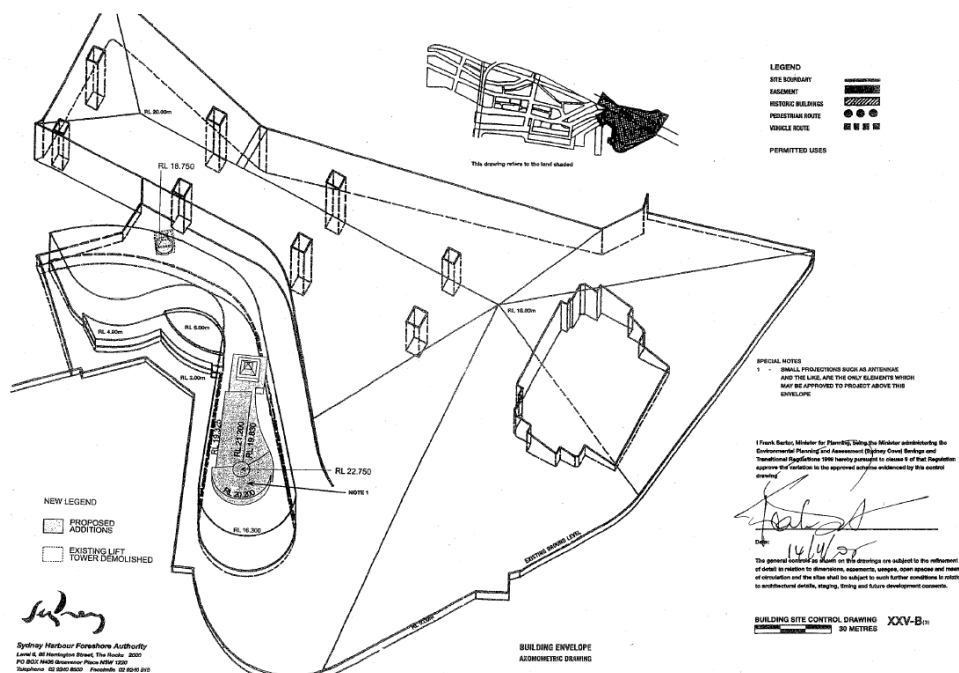
Following the issuing of owners consent, a Planning Report and Statement of Environmental Effects was prepared and submitted to SHFA in April 2005 for consideration of two matters:

- A request to vary the building envelope controls contained under Building Site Control Drawing XXV-B(2) that apply to the site to facilitate the proposed development.
- A development application for a proposed roof top extension to the hotel, comprising:
 - addition of a presidential suite at the northern end of the building that includes a reception hall, living and dining area, servery, bedroom, dressing room and bathroom;
 - 4 additional suites; and
 - store and servery adjacent to the existing lift core.

The applicable building envelope controls were subsequently amended to permit the proposed development via means of the adoption of a revised building site control drawing. Building Site Control Drawing XXV-B(3) permitted a building envelope on the subject site that was consistent with the proposed development, thus allowing consent to be granted for the proposed development (Figure 8).

On the 14th November 2005, the Minister for Planning approval DA122-05-05 for the roof top addition. The development consent and approved plans for DA122-05-05 are enclosed at Appendix F.

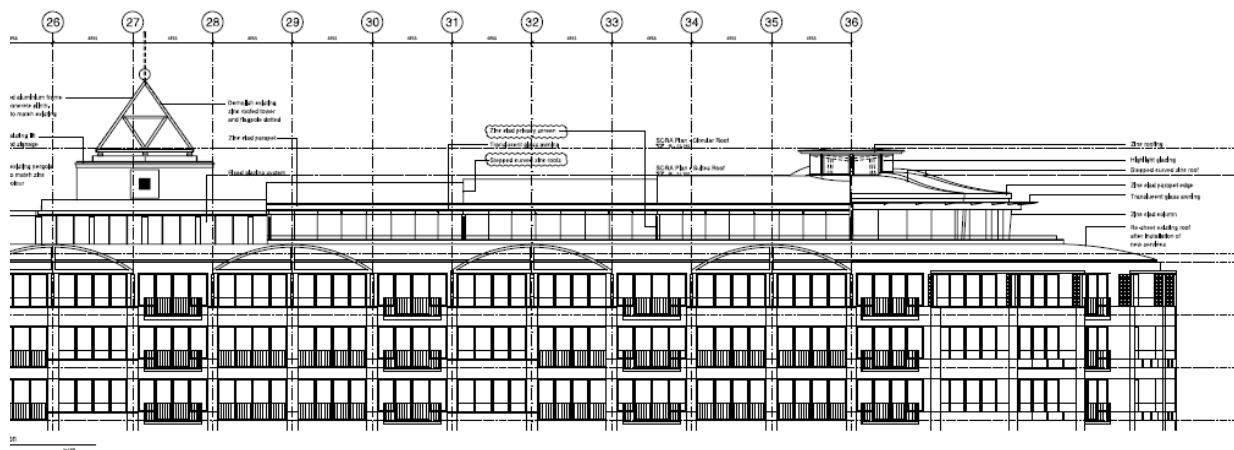
Figure 8 – Sydney Cove Redevelopment Authority Building Site Control Drawing XXV-B(3)- 14 November 2005.



Following a change in the ownership of the lease of the site, the new leasehold owners sought to revisit the approval to enhance the internal design and composition of the approved presidential suite and executive suites.

The Section 96(1A) application was granted approval on 11th February 2009, being DA122-05-05(1). We note that physical works to enact the consent have commenced on site.

Figure 9 – Southern Elevation- Approved DA122-05-05(1)



4 Director Generals Requirements

The Director Generals Requirements (DGR's) were issued on the 4th June 2010. The following table lists all the DGR's and provides a reference as to where each of the issues are addressed in this Environmental Assessment Report. A full copy of the DGR's is enclosed at Appendix A.

	Requirement	Report Reference
Key Issues	1. Relevant EPI's policies and guidelines Planning provisions applying to the site, including permissibility and the provisions of all plans and policies including: <ul style="list-style-type: none"> ▪ State Environmental Planning Policy (Major Development) 2005; ▪ State Environmental Planning Policy No. 55 - Remediation of Land; ▪ The Sydney Cove Redevelopment Authority Scheme (SCRA); ▪ Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005; ▪ Sydney Harbour Foreshores and Waterways Area Development Control Plan; ▪ NSW State Plan, Sydney Metropolitan Strategy and the draft Sydney City Subregional Strategy; and ▪ An outline of the nature and extent of any non-compliance with relevant environmental planning instruments, plans and guidelines and justification for any non-compliance. 	Section 6
	2. Development consent DA 122-05-2005 The EA shall compare the previously approved DA 122-05-2005 (as amended), and identify and address any proposed variations.	Section 7.1
	3. Urban Design and Built Form Demonstrate how the proposed development will achieve design excellence including: <ul style="list-style-type: none"> ▪ A high standard of architectural design, materials and detailing appropriate to the building and its location; <ul style="list-style-type: none"> - The bulk and scale, form and external appearance of the proposed roof top addition and associated works, and its relationship with surrounding buildings and topography; - Detailed plans, elevations and sections; - Methodology and justification for the non-compliance with the existing building height and building envelope controls; - A materials/finishes sample board and detailed elevations confirming the application of materials and finishes for the development; - 3D modelling and a physical model of the proposed development in accordance with the City of Sydney requirements. 	Section 7.2 and Appendix K
	4. Visual and view impacts <ul style="list-style-type: none"> ▪ An assessment of the visual impact of the proposal on the surrounding area, with particular reference to: <ul style="list-style-type: none"> - Analysis of public and private views to the site from surrounding areas; - The extent of any impacts on identified views, vistas and view corridors of the Sydney Opera House and Harbour Bridge, particularly from public areas and residences; - A view analysis is to be undertaken inclusive of photomontages and perspectives of key elements and views of the development from key locations (including, but not limited to, Hickson Road, 	Section 7.3 and Appendix D

	Requirement	Report Reference
	<p>East Circular Quay, Circular Quay Station, Sydney Opera House, Dawes Point, Lower Fort Street, Sydney Cove and The Rocks);</p> <ul style="list-style-type: none"> - Any design considerations aimed at mitigating these impacts; and - Privacy considerations. 	
	<p>5. Streetscape, public domain and access</p> <ul style="list-style-type: none"> ▪ Changes and improvements to the Hickson Road and Sydney Cove frontages, including the port cochere. ▪ Street and foreshore frontage design, waterfront interface and setbacks. ▪ Identify proposed linkages with and between other public domain spaces, including the waterfront. ▪ Details on the interface between the proposed uses, public domain, and the relationship to, and impact upon, the existing public domain. ▪ Address existing and future opportunities for public access to and along the foreshore. 	Section 7.4
	<p>6. Ecologically Sustainable Development (ESD)</p> <p>The EA shall detail how the development will incorporate ESD principles in the design, construction and ongoing phases of the development.</p>	Appendix O and P
	<p>7. Traffic impacts (Operation and Construction)</p> <ul style="list-style-type: none"> ▪ Daily and peak traffic movements likely to be generated by the proposed development. ▪ In relation to construction traffic: <ul style="list-style-type: none"> - Details of anticipated truck movements to and from the site; - Details of access arrangements for workers to and from the site, emergency vehicles and service vehicle movements. 	Section 7.5 and Appendix L
	<p>8. Climate change and sea level rise</p> <ul style="list-style-type: none"> ▪ An assessment of the risks associated with sea level rise on the proposal as set out in the draft <i>NSW Coastal Planning Guideline: Adapting to Sea Level Rise</i>. 	Appendix M
	<p>9. Heritage</p> <ul style="list-style-type: none"> ▪ An assessment of the likely impacts of the proposal on any heritage and archaeological items and outline mitigation and conservation measures. 	Section 7.8
	<p>10. Infrastructure</p> <ul style="list-style-type: none"> ▪ Detail the existing infrastructure on site and identify possible impacts on any such infrastructure and requirements of the development for the provision of utilities. 	Section S
	<p>11. Contamination</p> <ul style="list-style-type: none"> ▪ The EA is to demonstrate compliance that the site is suitable for the proposed use in accordance with SEPP 55. 	Section 7.14
	<p>12. Consultation</p> <p>Undertake an appropriate and justified level of consultation in accordance with the Department's Major Project Community Consultation Guidelines October 2007.</p>	Appendix N

	Requirement	Report Reference
	13. Staging The EA must include details regarding the staging of the proposed development (if proposed).	Section 7.12
General	The Environmental Assessment (EA) must include: <ol style="list-style-type: none"> 1. An executive summary; 2. A thorough site analysis including site plans, aerial photographs and a description of the existing and surrounding environment; 3. A thorough description of the proposed development and any proposed change of use; 4. An assessment of the key issues specified above and a table outlining how these key issues have been addressed; 5. An assessment of the potential impacts of the project and a draft Statement of Commitments, outlining environmental management, mitigation and monitoring measures to be implemented to minimise any potential impacts of the project; 6. The plans and documents outlined below; 7. A signed statement from the author of the Environmental Assessment certifying that the information contained in the report is neither false nor misleading; 8. A Quantity Surveyor's Certificate of Cost to verify the capital investment value of the project (in accordance with the definition contained in the Major Projects SEPP; and 9. A conclusion justifying the project, taking into consideration the environmental impacts of the proposal, the suitability of the site, and whether or not the project is in the public interest. 	Section 2 Section 5 Section 7 Section 8 Appendix B and C Section 1 Appendix E Section 9
Plans and Documents	The following plans, architectural drawings, diagrams and relevant documentation shall be submitted; <ol style="list-style-type: none"> 1. An existing site survey plan drawn at an appropriate scale illustrating: <ul style="list-style-type: none"> ▪ the location of the land, boundary measurements, area (sq.m) and north point; ▪ the existing levels of the land in relation to buildings and roads; ▪ location and height of existing structures on the site; ▪ location and height of adjacent buildings and private open space; and ▪ all levels to be to Australian Height Datum. 2. A Site Analysis Plan must be provided which identifies existing natural elements of the site (including all hazards and constraints), existing vegetation, footpath crossing levels and alignments, existing pedestrian and vehicular access points and other facilities, slope and topography, utility services, boundaries, orientation, view corridors and all structures on neighbouring properties where relevant to the application (including windows, driveways, private open space etc). 3. A locality/context plan drawn at an appropriate scale should be submitted indicating: <ul style="list-style-type: none"> ▪ significant local features such as parks, community facilities and open space and heritage items; ▪ the location and uses of existing buildings, shopping and employment areas; ▪ traffic and road patterns, pedestrian routes and public transport nodes. 4. Architectural drawings at an appropriate scale illustrating: <ul style="list-style-type: none"> ▪ the location of any existing building envelopes or structures on the land in relation to the boundaries of the land and any development on adjoining land; ▪ detailed floor plans, sections and elevations of the proposed buildings with all RLs to AHD; 	Appendix B and C

	Requirement	Report Reference
	<ul style="list-style-type: none">▪ elevation plans providing details of external building materials and colours proposed;▪ fenestrations, balconies and other features;▪ accessibility requirements of the Building Code of Australia and the Disability Discrimination Act;▪ the level of the lowest floor, the level of any unbuilt area and the level of the ground;▪ any changes that will be made to the level of the land by excavation, filling or otherwise. <p>5. A BCA and Access Compliance Report prepared by a recognised professional which outlines the building works necessary to achieve the required conformity with the BCA; POPE requirements; any alternate solutions required, and; details of any case for dispensation in terms of equitable access.</p>	

5 Development Proposal

The proposed works involve alterations and additions to, and the refurbishment of the existing hotel. The works focus on modifications to the approved roof top level in providing a more streamlined roof form; provision of an upgraded and reconfigured rooftop pool terrace area; upgrades to the external façade of the hotel, as well as the complete refurbishment of all internal spaces within the hotel including rooms, lobby, restaurant and function spaces. The proposed works are detailed on the architectural drawings enclosed at Appendix B and Landscape Plan at Appendix C.

The proposal includes some works that extend beyond the approved building envelope for the site. To facilitate the proposed works, a variation to the Sydney Cove Redevelopment Authority Scheme is required. An application to vary the scheme is enclosed at Appendix H.

5.1 Proposed works

The proposed works can be broken down into the following categories:

5.1.1 External Works

- The main entry to the hotel from Hickson Road will be regraded, eliminating an existing step at the buildings entrance, thereby improving access to and from the building.
- All prefinished metal balustrades and planters on balconies and terraces to the guest rooms will be replaced with glass balustrades, to achieve BCA compliance while providing enhanced views from guest rooms.
- Modification and colour change to the upper level balcony metal pergolas including rust proofing and replacing the metal dividing privacy screens with timber battens.
- Essential repairs to all external walls and tanked roofed areas including repairs to sections of cracked and drummy coloured rendered walls, replacing of sealant to joints within precast wall panels and replacing all waterproofing to the built up roofed areas.
- Reconfigure the existing access stairs from the public promenade to the modified lobby and function area.
- Modifications to the dining room glazed doors and metal and glazed roof over, including new floor levels adjacent to the door line, increasing the height of the gutter line with new metal roof and supporting structure to the centre section of the dining room, the provision of new paint finish to existing metal cladding and new prefinish to existing metal framed doors.
- Modifications to existing loading dock portals off Hickson Road consisting of new prefinished metal battens onto existing sliding gates to improve views along Hickson Road.
- New sandstone faced privacy wall, new sandstone break out terrace and sandstone facings to new door hobs and glass balustrades in association with modifications to the Guest House dining room area.

5.1.2 Roof Top Level

- Modifications to the internal configuration and layout of the approved roof top level, including the removal of one executive suite and the consequent enlargement of the remaining two executive suites.
- Changes to the roof form to provide a more streamlined and singular in form as a consequence of a reduction in height of the approved roof form at the eastern end and an increase in height at the western end.
- Changes to the design of the executive suite terraces, including an increase in the depth of each terrace.

- The pool terrace will be raised and extended to the west to provide an upgraded and reconfigured pool terrace area including a repositioned pool and jacuzzi.
- New spa and gym facilities at Levels 2 and 3, linked by an open stair case that connects to the new roof top pool terrace.
- Changes to the existing lift arrangement and lobby levels including the reconfiguration of access to the new spa and gym levels and the provision of motor room-less lifts. Upgrade to existing lifts to provide lift access to rooftop suites and pool deck. The existing lift tower will be over clad with prefinished metal.
- Addition of planter boxes and screening along the northern Hickson Road edge of the pool terrace area.
- Addition of louver screening along the northern Hickson Road edge above the recessed entrance area.
- Modifications to the external finishes to the approved roof top exterior finishes, including the removal of zinc clad vertical louver blades and the provision of horizontal louver screening consistent in visual character with new louver screening elsewhere on the northern elevation.

5.1.3 Ground Floor and Lobby

- New glazing and additional stone cladding to the ground floor of the building façade at Hickson Road will reduce the impact of car lights shining into the hotel lobby. The main entry façade at the line of the entry doors will be reconfigured to improve the entry sequence.
- New lift door to Lift 3 to provide access to ground floor half level.
- Existing prefinished aluminium framed glass line on the southern façade of the lobby will be replaced by frameless glazing and extended towards the public promenade edge. This will provide an expanded lobby and increased views towards the Opera House and Circular Quay from within the lobby space.
- The cashier, check-in counter and concierge will be relocated to better improve the functioning of the hotel, and improve views towards the harbour from within the lobby.
- The existing restaurant, bar, business centre and function rooms will be refurbished to improve amenity and access to these spaces.

5.1.4 Room Refurbishment

- All guest rooms will be completely refurbished to improve amenity and function.
- New double glazed and acoustic sealed sliding doors will be provided to all guest rooms opening onto refurbished balcony and terrace areas.
- All balcony and terrace areas will undergo refurbishment including new waterproofing, new decking, new glass balustrade and linings.

5.1.5 Signage

- Replacement signage is proposed on the southern elevation of the northern lift tower. The signage will be 165mm high consisting of prefinished individual metal lettering; and will detail 'Park Hyatt Sydney'. The existing signage on the northern elevation of the northern lift shaft is proposed to be removed.
- New signage will be provided adjacent to the Porte Cochere along the Hickson Road frontage. The signage will be 100mm consisting of prefinished individual metal lettering; and will detail 'Park Hyatt Sydney'. The signage will be illuminated via a small number of in-ground signage up-lights to be fixed into the existing pavement.

- Signage will be fixed to new wall adjoining the reconfigured access stairs off the public promenade, as recommended by SHFA. The signage will be 100mm high, consisting of prefinished individual metal lettering; and will detail 'Park Hyatt Sydney'.

5.2 Application for Variation to the Sydney Cove Redevelopment Authority Scheme

The Sydney Cove Savings and Transitional Regulations set out the process to be followed where it is proposed to carry out development on land within the Sydney Cove Redevelopment Area. The proposed alterations and additions involve works that will encroach outside of the sites building envelope, as set by Building Site Control Drawing XXXB (4)- 14th November 2005.

The proposed encroachments are focused on three areas:

- Pool terrace including pool, jacuzzi and deck areas. The proposed maximum variation to the SCRA plan will be approximately 3.2m (in height), inclusive of an allowance for a balustrade.
- Roof design for approved roof top extension. The proposed maximum variation to the SCRA plan will be approximately 0.7m in height at the southern end, but compensated by a reduction in height of 0.6m from the SCRA plan at the northern end of the roof top extension.
- New stair access onto public boardwalk. The proposed maximum variation to the SCRA plan will be approximately 3.3m (in width).

As the proposed works do not comply with the SCRA plan, the Regulations require a formal variation to the plan prior to the approval of an application.

An application to vary the SCRA plan in accordance with Sydney Cove Savings and Transitional Regulations has therefore been prepared, and is enclosed at Appendix H. The proposed variation to the SCRA scheme, being Building Site Control Drawing XXX-B(4) is enclosed at Appendix I.

6 Environmental Assessment

6.1 Part 3A of the Environmental Planning and Assessment Act 1979

Part 3A of the Environmental Planning and Assessment Act 1979 (EP&A Act) provides an assessment and approval regime specifically tailored for major infrastructure and other projects of state significance, for which the Minister for Planning is the consent authority. The provisions of Part 3A apply to major projects where the Minister has made a declaration relating to the specific development or class of development to which the project belongs.

Part 3A of the EP&A Act came into force on 1 August 2005. It established new assessment procedures for various forms of 'major development' of state or regional significance. Such significance can be established in a number of ways, including various types of listing under State Environmental Planning Policy (Major Development) 2005. Part 3A establishes a separate statutory regime for the assessment of Major Projects, for which the Minister is the consent authority.

6.2 State Environmental Planning Policy (Major Development) 2005

State Environmental Planning Policy (Major Development) 2005 came into effect on 25 May 2005. The SEPP defines what development is a major project as determined by the Minister for Planning. An application was made to the Minister for Planning requesting the proposal be declared a Major Project pursuant to Clause 6 of the SEPP. Specifically, the declaration was sought under Schedule 2 (10)(1)(a) of the SEPP.

Schedule 2 'Part 3A projects- specified sites' states:

10 Sydney Harbour Foreshore Sites

(1) Development (with a capital investment value of more than \$5 million) within the area identified on the following maps to this Schedule

(a) Circular Quay- Map 9

As the subject site is wholly contained within the Circular Quay precinct and the proposed works have a capital investment of more than \$5 million, the Minister has the discretion to declare the proposal a Major Project.

A Preliminary Environmental Assessment outlining the details of the proposal was submitted alongside the Part 3A declaration.

On the 31st March 2010, Director of Government Land and Social Projects, as delegate for the Director General, declared the proposal to be a Major Project and that Part 3A of the Environmental Planning and Assessment Act 1979 applies. As part of this, the Director General's Requirements (DGR's) were issued. This Environmental Assessment responds to those DGR's.

6.3 Sydney Cove Redevelopment Authority Scheme

The Sydney Cove Redevelopment Authority Scheme (SCRA) is the document that regulates land use and development within the Sydney Cove Redevelopment Area.

In accordance with the consent issued for DA122-05-05, the building envelope for the subject site was amended, along with the applicable Building Site Control Drawing. Accordingly, the two key plans that currently affect the subject site include:

- Building Site Control Drawing XXV-A(4)- 2 June 1998.
- Building Site Control Drawing XXV-B(3)- 14 November 2005.

6.3.1 Building Site Control Drawing XXV-A(4)- 2 June 1998

This plan identifies the permitted uses of the land, which is for “Residential Hotel with ancillary bars, restaurants, shops, function rooms and parking facilities”.

The proposed works are consistent with the permitted uses of the site.

6.3.2 Building Site Control Drawing XXV-B(3)- 14 November 2005.

This plan identifies the building envelope for the subject site and also details a number of maximum RL's for the site.

The proposed development seeks to vary the approved Building Site Control Drawing and thus an application to vary the plan is sought under the Sydney Cove Savings and Transitional Regulations.

6.4 Sydney Cove Savings and Transitional Regulations

The Sydney Cove Savings and Transitional Regulations set out the process to be followed where it is proposed to carry out development on land within the Sydney Cove Redevelopment Area. As the proposed development does not comply with SCRA plan, the Regulations require a formal variation to the plan prior to the approval of an application.

Please refer to Appendix H for an application to vary the SCRA plan and Appendix I for a copy of the proposal variation to the SCRA plan, being Building Site Control Drawing XXXB (4).

6.5 Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The plan aims to establish a balance between promoting a prosperous working harbour, maintaining a healthy and sustainable waterway environment and promoting recreational access to the foreshore and waterways. It establishes planning principles and controls for the Sydney Harbour Catchment as a whole.

The subject site is identified within the REP as part of the City Foreshores Area, being a strategic foreshore site. In demonstrating the proposals compatibility with the REP, an assessment of the proposed development against the relevant clauses of the REP has been undertaken.

We note that as of 1 July 2009, regional environmental plans (REPs) are no longer part of the hierarchy of environmental planning instruments in NSW. All existing REPs are now deemed State Environmental Planning Policies (SEPPs). The provisions of the SREP are however still relevant to the development of the site.

Clause 13 Sydney Harbour Catchment

The planning principles for land within the Sydney Harbour Catchment area are as follows:

- (f) development that is visible from the waterways or foreshores is to maintain, protect and enhance the unique visual qualities of Sydney Harbour.*
- (g) the number of publicly accessible vantage points for viewing Sydney harbour should be increased.*

The Park Hyatt Sydney is located in a prominent position within Sydney Cove, thus requiring a skilled response to any redevelopment of the site. As a result the architects have employed a suitable design, whereby minor changes to the approved rooftop level are proposed in providing a more streamlined roof from that is considered to be a more appropriate response to the architectural fabric of the existing hotel building.

The proposed external changes to the buildings facade, including replacement of windows and sliding doors, and provision of glass balustrades to balconies, will assist to refresh the overall look and feel of the buildings façade. They are minor built elements in the context of the existing hotel. They do not constitute significant changes to the form or scale of the existing building, but rather are works that are designed to improve the overall standard and quality of the hotels appearance, as well as guest amenity.

The design rationale for the proposed addition is such that the architects have designed the works to ensure the design quality of the original building is not diminished, and that any works are consistent with, and reinforce the original design philosophy of the building. As such, the works are not considered to impact on the visual qualities of Sydney Harbour or be of detriment to the foreshore area.

Clause 14 Foreshores and Waterways Area

The planning principles for land within the Foreshores and Waterways Area are as follows:

(b) public access to and along the foreshore should be increased, maintained and improved, while minimising its impact on watercourses, wetlands, riparian lands and remnant vegetation,

(d) development along the foreshore and waterways should maintain, protect and enhance the unique visual qualities of Sydney Harbour and its islands and foreshores,

Access from the hotel to the public promenade is improved via the new stairs on the southern side of the hotel. Whilst the width of the promenade will be reduced by approximately 3.3m, a width of 5.6m is retained, providing sufficient access for pedestrians along the foreshore/boardwalk.

The proposed alterations and additions have been designed to read as an integrated element in the context of the design and overall form of the existing building. Further, the materials and finishes proposed ensure that changes to the buildings façade are complimentary to the original design intent of the hotel and thus assist in enhancing the visual qualities of Sydney Harbour.

Clause 22 Public access to, and use of, foreshores and waterways

The matters to be taken into consideration in relation to public access to, and use of, the foreshores and waterways are as follows:

(a) development should maintain and improve public access to and along the foreshore, without adversely impacting on watercourses, wetlands, riparian lands or remnant vegetation,

This clause is addressed via the response provided to Clause 14 above.

Clause 25 Foreshore and waterways scenic quality

The matters to be taken into consideration in relation to the maintenance, protection and enhancement of the scenic quality of foreshores and waterways are as follows:

(a) the scale, form, design and siting of any building should be based on an analysis of:

(i) the land on which it is to be erected, and

(ii) the adjoining land, and

(iii) the likely future character of the locality,

(b) development should maintain, protect and enhance the unique visual qualities of Sydney Harbour and its islands, foreshores and tributaries,

(c) the cumulative impact of water-based development should not detract from the character of the waterways and adjoining foreshores.

The sites prominent location warranted a sensitive design response; being one that improved the overall operation and function of the hotel, whilst also respecting the design philosophy of the existing building, and importantly, the hotels relationship to the harbour foreshore.

By isolating the proposed works to the approved roof top addition; the internal refurbishment of the hotel; and changes to the buildings external materials and finishes, it has been possible to ensure a complimentary fit when viewed in the context of the existing design of the building and the harbour foreshore. The original design intent of the hotel will be retained under the proposed works. This is further expanded upon in the Architectural Statement contained at Appendix J.

Clause 26 Maintenance, protection and enhancement of views

The matters to be taken into consideration in relation to the maintenance, protection and enhancement of views are as follows:

- (a) development should maintain, protect and enhance views (including night views) to and from Sydney Harbour,*
- (b) development should minimise any adverse impacts on views and vistas to and from public places, landmarks and heritage items,*
- (c) the cumulative impact of development on views should be minimised.*

There is the potential for some resulting view impact due to the proposed works, being the variation to the approved and proposed roof top addition). Notably this will occur as a result of the proposed changes to the pool terrace area. The view impact will be the most prevalent from a small section of Dawes Point Park, located immediately to the west of the existing hotel. The location of the potential view impact formed part of the onsite meeting and viewing with the Department on 18th February 2010.

The likely impact will be a minor obstruction of view to Sydney Harbour, the Opera House, and its forecourt spaces. Based on photomontages and 3D modelling of the proposed works, any view impact is considered to be an isolated impact and not unreasonable in this instance given circumstances such as the location of the vantage point; the useability of the vantage point as a public space; the quality of the views afforded from that vantage point; and that this is just one vantage point amongst numerous viewing points that are not affected.

In particular, the proposed roof top works including roof top pool terrace are deemed acceptable given that there is a substantial improvement in views provided from the majority of Dawes Point Park resulting from the lowering of the Southern Lift shaft, and thus as a whole, the quality of Dawes Point Park as a public space affording strong harbour views is enhanced.

A comprehensive Visual Impact Assessment assessing view impact from a number of vantage points has been prepared and is included at Appendix D.

Division 3A Sydney Opera House

Clause 58A Land to which Division applies

This Division applies to the Sydney Opera House buffer zone, as shown edged heavy black on the Sydney Opera House Buffer Zone Map.

Clause Division 58B Protection of world heritage value of Sydney Opera House

The matters to be taken into consideration in relation to development within the Sydney Opera House buffer zone include the following:

- a) the objectives set out in Clause 53(2)*
- b) the need for development to preserve views and vistas between the Sydney Opera House and other public places within that zone.*
- c) the need for development to preserve the world heritage value of the Sydney Opera House,*
- d) the need for development to avoid any diminution of the visual prominence of the Sydney Opera House when viewed from other public places within that zone.*

This clause is addressed via the response provided to Clause 26 above.

A comprehensive Visual Impact Assessment assessing view impact from a number of vantage points has been prepared and is included at Appendix D.

6.6 Sydney Harbour Foreshores and Waterways Area Development Control Plan 2005

The DCP comprises performance based criteria and guidelines for future development for land located within the Foreshores and Waterways Area as defined in SREP (Sydney Harbour Catchment) 2005. The subject site falls within this boundary, and thus an assessment of the proposed development against the relevant provisions has been undertaken.

Section 3 Landscape Assessment

The subject site falls within Map 8 of the Ecological Communities and Landscape Characters. There are however no landscape character types in the vicinity of the subject site that warrant an assessment of the compatibility of the proposal and a landscape character type to be undertaken.

Section 4.5 Built Form

The following guidelines are designed to reinforce the local requirements:

- *where buildings would be of a contrasting scale or design to existing buildings, care will be needed to ensure that this contrast would enhance the setting;*
- *while no shapes are intrinsically unacceptable, rectangular boxy shapes with flat or skillion roofs usually do not harmonise with their surroundings. It is preferable to break up facades and roof lines into smaller elements and to use pitched roofs;*
- *bright lighting and especially floodlighting which reflects on the water, can cause problems with night navigation and should be avoided. External lights should be directed downward, away from the water. Australian Standards (AS4282–1997) Guidelines for Outdoor Lighting and Pedestrian Area (Category P) Lighting (AS/NZ 1158.3 – 1999) should be observed;*
- *except where otherwise required for navigation purposes, all lights on structures shall be shielded seawards and positioned to avoid disturbance to neighbouring properties;*
- *use of reflective materials is minimised and the relevant provisions of the Building Code of Australia are satisfied;*
- *colours should be sympathetic with their surrounds and consistent with the colour criteria, where specified, for particular landscape character types in Part 3;*
- *the cumulative visual impact of a number of built elements on a single lot should be mitigated through bands of vegetation and by articulating walls and using smaller elements; and*
- *the cumulative impact of development along the shoreline is considered having regard to preserving views of special natural features, landmarks or heritage items.*

The DCP is considered to be satisfactorily addressed through the responses provided above to Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005.

6.7 State Environmental Planning Policy No. 55- Remediation of Land

SEPP 55 aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment. In the determination of the development application, the consent authority must not consent to the carrying out of any development on land unless:

- (a) *It has considered whether the land is contaminated; and*
- (b) *If the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) *If the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

The site is not considered to have any land contamination issues. In addition, the proposed works relate to an existing building and do not involve any disturbance to the site.

6.8 State Environmental Planning Policy No. 64- Advertising and Signage

The proposed signage is confined to 165mm high replacement signage on the southern façade of the northern lift shaft; 100mm high signage at ground level on both sides of the Porte Cochere; and 100mm high signage to the new wall adjoining the reconfigured access stairs off the promenade. All proposed signage will be prefinished individual metal lettering.

The proposed signage can be defined as 'building identification signage' and falls within the definition of 'signage' to be assessed under SEPP 64. The proposed signage has been assessed against Schedule 1 of the SEPP.

- **Character of the area-** the proposed signage has been carefully selected to ensure it compatibility with the character of the locality and to ensure a complementary fit with the architecture of the existing building.
- **Special areas-** the proposed signage is subtle and not overbearing. It will fit appropriately within the character of the locality.
- **Views and vistas-** the proposed signage will not dominate the façade, and will not inhibit or restrict views from surrounding properties.
- **Streetscape, setting or landscape-** the scale, proportion and form of the signage will not detract from the visual interest of the locality, nor will it add unsightliness.
- **Site and building-** the signage is designed to ensure compatibility with the existing character of this prominent waterfront building.
- **Associated devices and logos-** the signage will be prefinished individual metal lettering; and will detail 'Park Hyatt Sydney'. The signage does not include any advertising material.
- **Illumination-** the signage along Hickson Road will be illuminated via a small number of in-ground signage up-lights to be fixed into the existing pavement.
- **Safety-** the signage will not in anyway reduce safety levels for users.

The intent of the proposed signage is to provide a consistent branding of the hotel. The signage will not be overbearing or detract from the architectural features or qualities of the façade.

7 Assessment of Issues

7.1 Development Consent DA122-05-05

There is an existing approved roof top addition for the hotel, being DA122-05-05. The determination allowed for roof top extension works to accommodate 4 executive suites, a presidential suite and a reduction in height of the southern lift shaft involving a variation to the Sydney Cove Redevelopment Authority Scheme. The application was determined on the 14th November 2005 by the Minister for Planning.

Following a change in the ownership of the lease of the site, the new leasehold owners sought to revisit the approval to enhance the internal design and composition of the approved presidential suite and executive suites.

A Section 96(1A) application was subsequently lodged in December 2008 that involved minor amendments to the approved works. The Section 96(1A) application was granted approval on 11th February 2009- being DA122-05-05(1).

7.1.1 Proposed Changes to DA122-05-05(1)

The predominate changes to the approved roof top addition proposed under the current application include:

- Modifications to the internal configuration and layout of the approved roof top level, including the removal of one executive suite and the consequent enlargement of the remaining two executive suites.
- Changes to the roof form to provide a more streamlined form as a consequence of a reduction in height of the approved roof form at the eastern end and an increase in height at the western end.
- Changes to the design of the executive suite terraces, including an increase in the depth of each terrace and the repositioning of individual jacuzzi's.
- Modifications to the external finishes to the approved roof top exterior finishes, including the removal of zinc clad vertical louver blades and the provision of horizontal louver screening consistent with new louver screening elsewhere on the northern elevation.

The proposed changes to the roof top level will provide for a simpler and more singular roof form. This is achieved through the use of a domed eastern section with a curved saddle roof form at the western end adjacent to the existing northern lift shaft.

The approved roof top pavilion motif has also been modified and is proposed to be made simpler in its volumetric form. The overall mass and form of the roof has been minimised to emphasise the horizontal lines and curvilinear character of the existing building.

A comparison between the approved roof top addition, being DA122-05-05(1) and the proposed modifications to the approval is shown in Figure 10 and 11. Figure 10 illustrates the southern elevation of the approved roof top level, being DA122-05-05(1), whilst Figure 11 illustrates the southern elevation of the proposed roof top addition.

Figure 10 – Southern Elevation- Approved DA122-05-05(1)

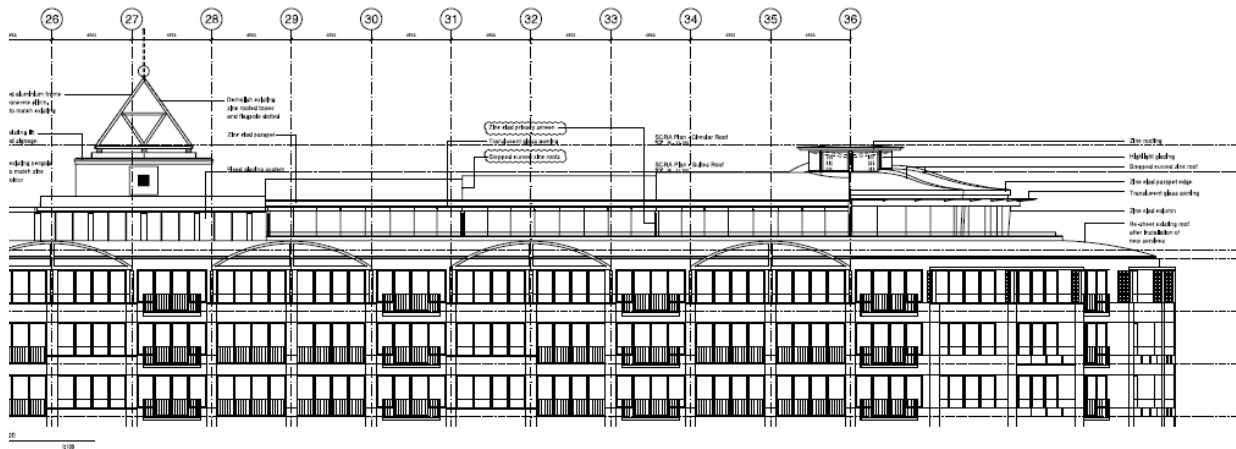


Figure 11 – Southern Elevation- Proposed

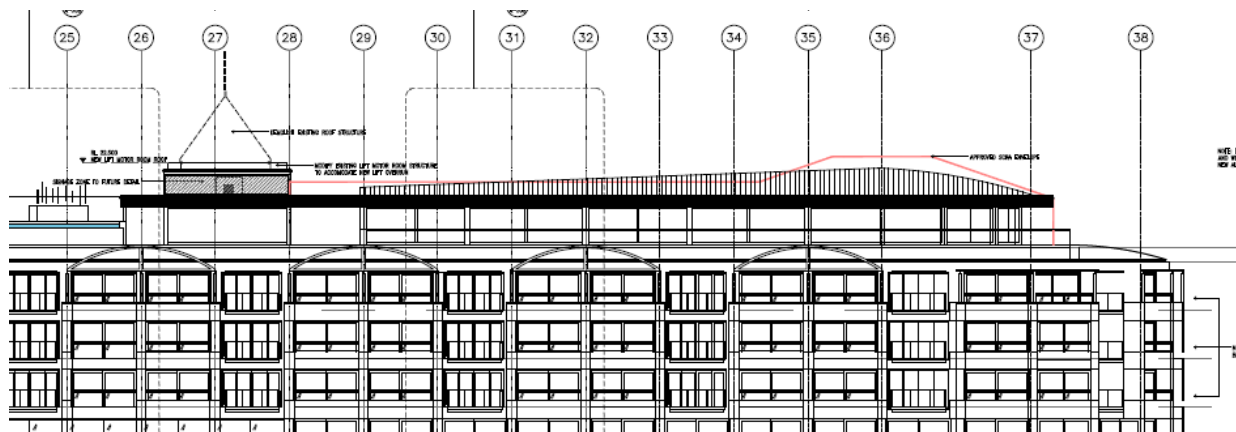
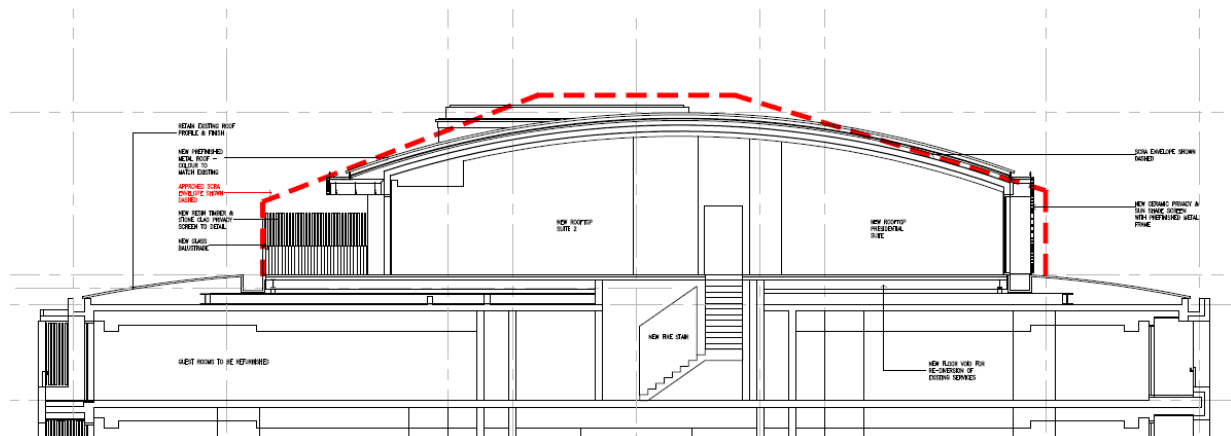


Figure 12 shows the outline of the proposed new roof form; approved roof top level (shown in yellow) and the SCRA scheme that applies to the site (shown in dashed red). As per the image, the overall height of the roof level is reduced, however there are some protrusions beyond the approved roof top level to accommodate the new curved roof form.

The proposed changes to the approved roof form require a variation to the SCRA scheme. The proposed maximum variation is approximately 0.7m in height at the southern end, but is compensated by a reduction in height of 0.6m from the SCRA plan at the northern end of the roof top extension. A formal application to vary the SCRA scheme is enclosed at Appendix H.

Figure 12 – Comparison between SCRA envelope, approved roof top and proposed works



7.1.2 Comparison of Maximum RL Heights

Table 1 provides a summary of the maximum RL for the roof top addition, taking into account the existing approvals on site, and the proposed works.

Table 1 – Maximum RL's for the roof top addition

	Proposed Maximum RL of roof top addition
Existing Building (excluding RL of northern lift shaft)	RL18.94
Existing Building (including RL of northern lift shaft)	RL26.54
Development Application- DA122-05-05- Ancher Mortlock Woolley (AMW) Scheme	RL22.75
Section 96 Application- DA122-05-05(1)- Bates Smart Scheme	RL22.75
Proposed Works- Part 3A Major Project- MP09_0044- Hassell Scheme	RL22.35

Overall, DA122-05-05 and the approved Section 96 Application DA122-05-05(1) allowed a maximum overall height of RL 22.75 for the new roof top level. This represents an increase in height of 3.81m from the existing height of the roof (being RL18.94).

The current proposed works will result in an overall reduction in the maximum RL height of the approved roof top addition. It is proposed to reduce the maximum height of the roof top level from RL22.75 to RL22.35- a reduction of 0.4m.

7.1.3 Building Setbacks

The proposed roof top modifications will retain the existing approved 6m setback from the building line of the existing building.

7.1.4 Roof Top Pyramid Structures

As part of DA122-05-05, it was approved that the existing solid pyramid structure on the northern lift shaft would be replaced with the A-frame triangle structure located on the top of the southern lift shaft.

Under the current scheme, it is not proposed to relocate the A-frame structure as it is a dated architectural feature that is not consistent with the extent of refurbishment works proposed and will obstruct views from Dawes Point Park and properties located along Lower Fort Street.

7.1.5 Commencement of Works

We note that physical works to enact DA122-05-05(1) have commenced on site.

7.2 Urban Design and Built Form

A detailed Architectural Statement has been prepared by Hassell Architects and is enclosed at Appendix J. The statement provides detailed information on the design philosophy and architectural thinking of the proposed refurbishment strategy.

Figure 13 and 14 provide an indicative representation of the proposed refurbishment works to the building.

Figure 13 – Proposed works viewed from the south



Figure 14 – Proposed works viewed from Circular Quay



The following provides an extract from the Architectural Statement in addressing the architectural expression of the alterations and additions; and how the building retains its original artistic identity.

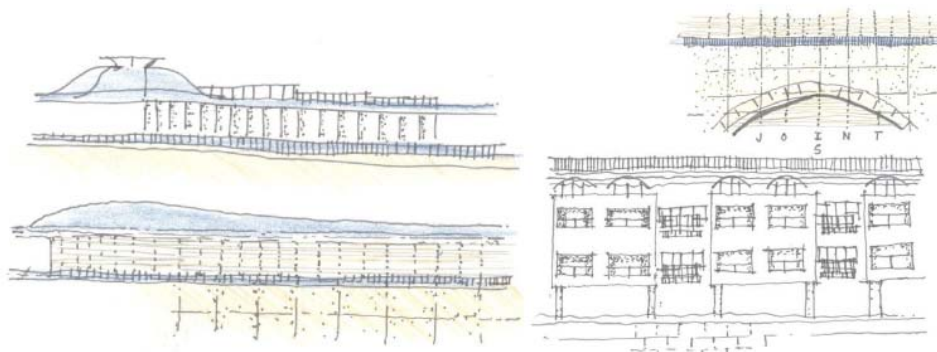
7.2.1 Architectural Expression of Alterations and Additions

Many refurbishments strategies use contrast and difference to give distinction in architectural expression, so that the new is made visually distinct from the existing. The current proposed works seeks the achievement of a more subtle difference in its architectural expression.

All interior spaces are being refurbished under a new interior concept design, and it is proposed that aspects of the interior design should be integrated externally at selected interfaces. Notably, this has occurred within the volume of the Porte-cohere whereby it has been designed to reinforce the sense of arrival and luxury; to the ground floor foyer and dining room to integrate the public interiors with the Boardwalk edges; and also to better utilise the balconies spaces and integrate them with each guest room.

The architectural merit of the exterior masonry façade is proposed to be retained, with a new second order of architectural detailing to be proposed. In particular, the detailing of the batten screening within the Porte-cohere will extend across the arched opening to visually dematerialize the mass of the spa and gym area.

The proposed reconfigured roof top addition provides a new 'softer and perforated' sinuous wall of dematerialized terracotta batten screening when seen from the north and east in acknowledgment of the punctuated and sinuous masonry walls of the existing building. New vertical and horizontal joints in the terracotta screen are aligned to the existing precast façade module. These reinterpretations are in acknowledgement of the existing architectural form. In particular, the design of the reconfigured roof top addition is to consist of perforated and curvilinear parapet wall planes with a new curved roof profile set behind a new parapet edge.

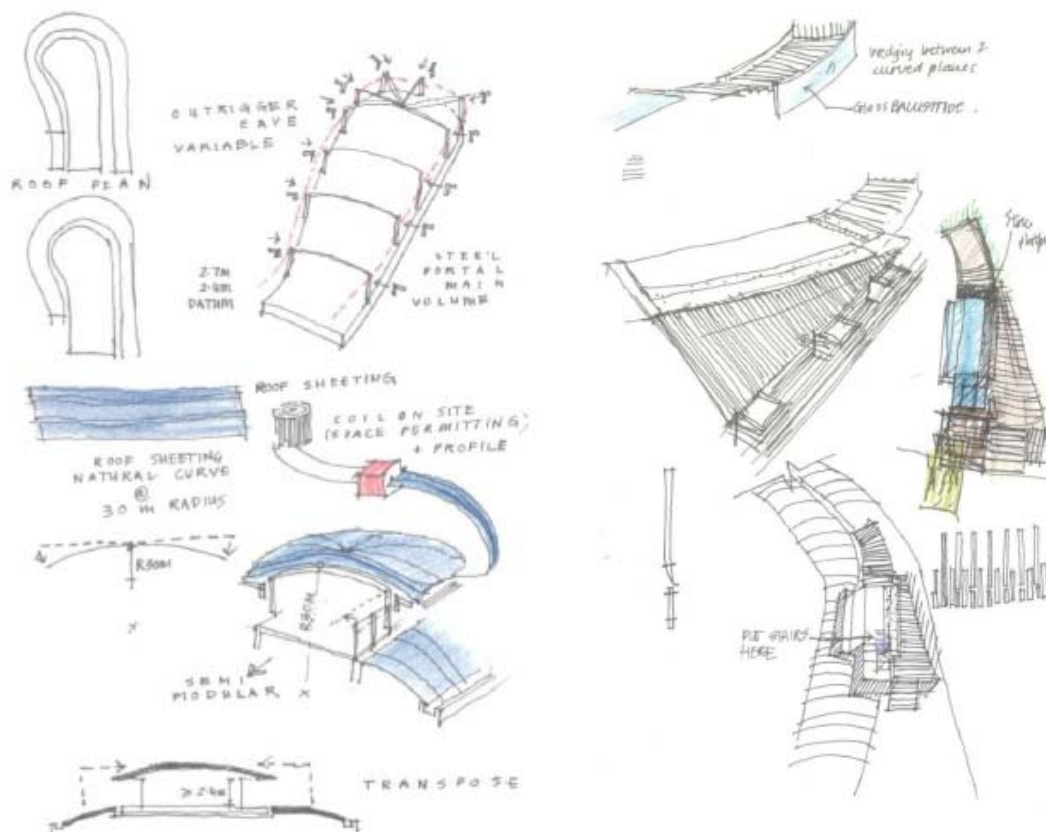


7.2.2 Retention of artistic identity

The proposed refurbishment works acknowledges the artistic value of the original external design. The original architectural identity and artistic authorship of the building is retained as the new architectural massing of the roof top addition and new balcony and glazing details recognise the strong horizontal masonry form of the building with punctuated openings and balcony forms.

The works propose to retain the masonry character of the serpentine-like wall and roof lines, with the design of the reconfigured roof top addition utilising new masonry screened walls and fascia lines to provide a distinct form, yet in sympathy with the original. New balcony details and door colour also provide a new second order detail that does not visually compete with the masonry gesture of the exterior.

It is argued that the proposed work draw out the power of the existing design of the building, whilst adding new architectural meanings that can co-exist with the new architectural work. Through a careful appreciation and recognition of the original design intent, as a source to be appreciated and valued, the proposal creates a new architectural work through collaboration and co-authorship.



7.3 Visual and View Impacts

A comprehensive View Impact Analysis has been prepared to assess potential view impacts from the proposed works when viewed from the public domain, including Circular Quay and Dawes Point Park, and from the private domain, including the Harbour View Hotel and properties located along Lower Fort Street. The View Impact Analysis is contained at Appendix D.

A meeting was held on site with the Department of Planning on 18th February 2010 to discuss potential view implications from the roof top works, including the pool terrace area. The meeting provided an opportunity to determine points of reference where potential view impacts should be assessed by the design team. These points of reference have been used to determine any potential view loss or view impacts resulting from the proposed works, and have been incorporated within the Visual Impact Analysis.

The following is a summary of the View Impact Analysis and provides an assessment of views from a number of key vantage points surrounding the site, including from Dawes Point Park, properties along Lower Fort Street, and from the Harbour View Hotel.

7.3.1 Lowering of Southern Lift Shaft

The lowering of the southern lift shaft, as per the approval issued for DA122-05-05, substantially improves the views available from public spaces, notably Dawes Point Park.

Figure 15 includes a selection of images taken from within Dawes Point Park. These images illustrate a comparison between the current situation and the proposed works, including the lowering of the southern lift shaft. As illustrated, there is a considerable increase in views of the Opera House and Harbour areas from within Dawes Point Park, thus substantially enhancing the quality of Dawes Point Park as a public space.

Figure 15 – View Analysis from Dawes Point Park



Picture 7 – Existing



Picture 8 – Proposed



Picture 9 – Existing



Picture 10 – Proposed



Picture 11 – Existing



Picture 12 – Proposed

7.3.2 Views from Dawes Point Park

It is acknowledged that there will be some loss of views towards the Opera House from within a small section of Dawes Point Park. These available views will be obstructed by the proposed raised and extended pool terrace area. The location of the potential view impact formed part of the onsite meeting and viewing with the Department on 18th February 2010. These vantage points; the quality of the views afforded; and the level of resulting impacts have been addressed in detail within the Visual Impact Analysis.

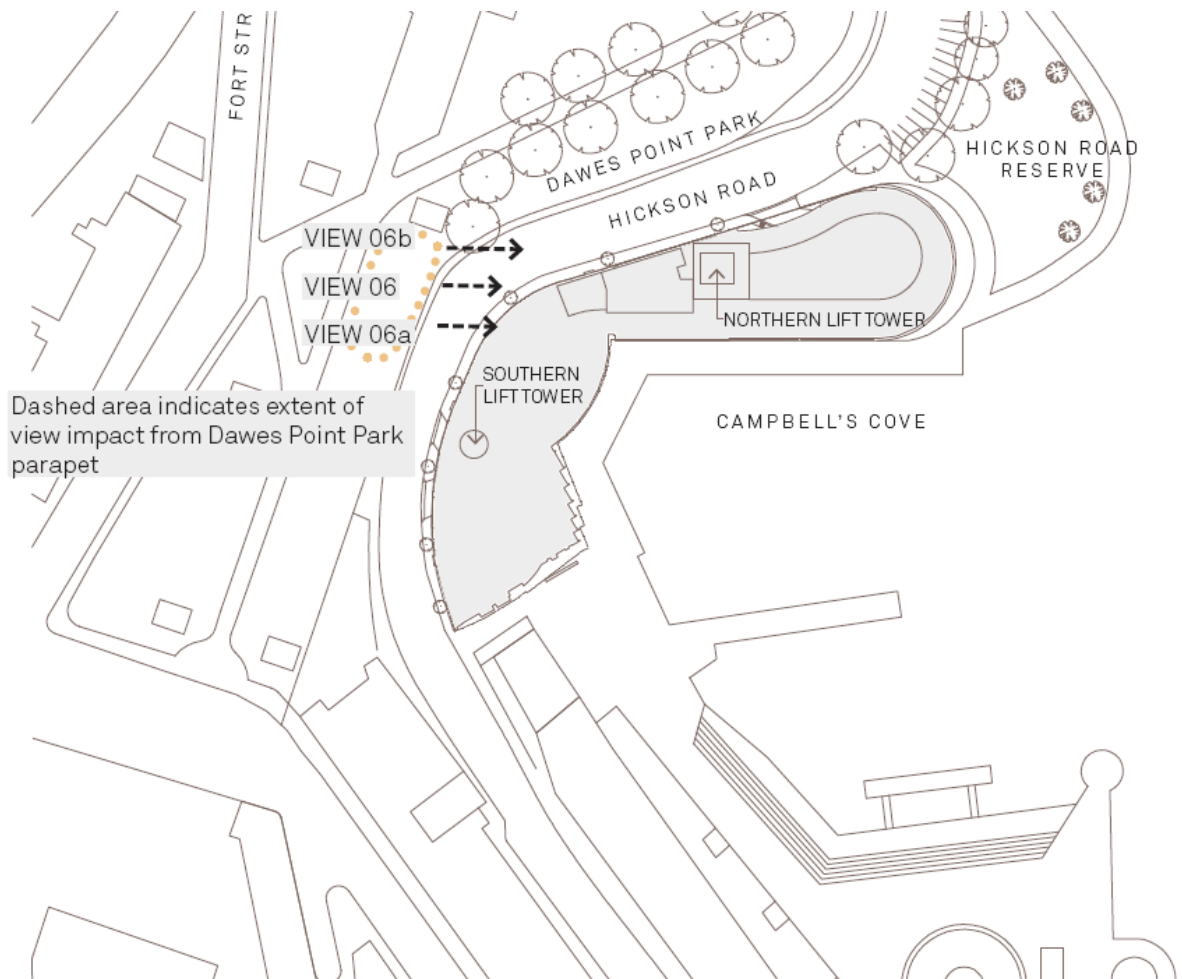
Figure 16 illustrates the extent of Dawes Point Park where views of the Opera House will be obstructed due to the proposed raised and extended pool terrace area. This area represents a small section of Dawes Point Park that is not a highly useable space, but rather is predominantly a thoroughfare for relatively small volumes of pedestrian traffic in providing access between Dawes Point Park and Hickson Road.

The views available from this area are currently partially obstructed by the current northern lift shaft and pool area, and are partially obstructed by the approved roof top level (DA122-05-05). This area is currently not used as a vantage point for taking photos of the Opera House or Harbour, as more substantial views are available further to the south within Dawes Point Park. The proposed works will not affect the views afforded from areas within Dawes Point Park that are more actively used by the broader public, rather they will be substantially improved through the lowering of the southern lift shaft as already approved.

We also note that access to this area, and a majority of Dawes Point Park is currently not available due to the works site that has been set up to undertake maintenance to the Harbour Bridge.

Overall, the proposed roof top works including roof top pool terrace, is deemed acceptable given that on balance, there is a substantial improvement in views provided from the majority of Dawes Point Park resulting from the approved lowering of the Southern Lift shaft, and thus as a whole, the quality of Dawes Point Park as a public space affording strong harbour views is enhanced.

Figure 16 – Extent of View Loss from Dawes Point Park



7.3.3 Views from Harbour View Hotel

As part of the public exhibition period for DA122-05-05, an objection to the proposed roof top addition was raised by the Harbour View Hotel.

The current View Impact Analysis has therefore considered the views afforded from the Harbour View Hotel and assessed whether there is any resulting increase in view loss from the proposed works.

Figure 17 shows the approved envelope for DA122-05-05, with Figure 18 showing the proposed roof top works, including the modifications to the approved roof top level and proposed works to the pool terrace area. As illustrated, there is a minor reduction in water views from the Harbour View Hotel in a small area to the right of the northern lift tower.

Overall, the views available from the Harbour View Hotel are retained and there is no detrimental impacts resulting from the proposed works to the roof top of the Park Hyatt Sydney.

Figure 17 – Approved Roof Top Envelope- DA122-05-05



Figure 18 – Proposed Roof Top Works



7.3.4 Views from Properties along Lower Fort Street

The View Impact Analysis has undertaken an assessment of views from nine properties located along Lower Fort Street, including Numbers 1, 5, 9, 13, 17, 21, 23, 27 and 31. It is considered that this provides a thorough representation of the views available from properties located Lower Fort Street. In assessing any potential view impacts resulting from the proposed works from properties along Lower Fort Street, it is necessary to understand the extent of the previously approved roof top addition and any potential view impacts that occurred as a result of the approved addition.

Figure 19 provides a comparison between the approved roof top addition (shown translucent) and the proposed works when viewed from No. 13, 21, 27 and 31 Lower Fort Street. As illustrated, the proposed modifications to the approved roof top addition, and the proposed works to the pool terrace, will not result in any additional view loss when compared to the previously approved roof top level. In many instances, the proposed works will result in an increase in views (whilst acknowledged as relatively minor) when compared to the envelope for the previously approved level.

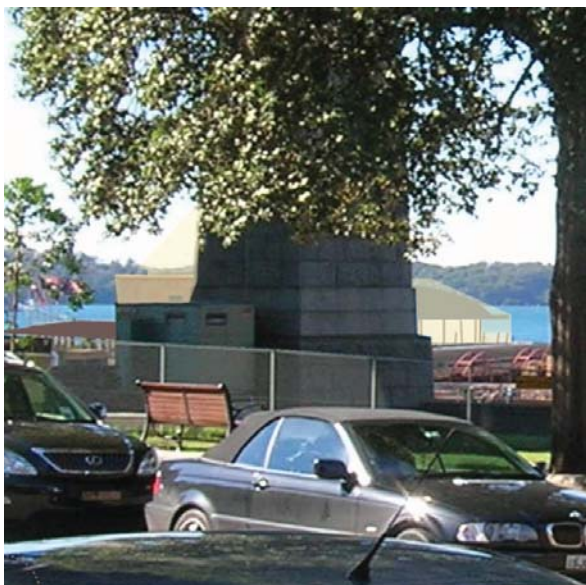
Figure 19 – Site Context Photos



No. 13 Lower Fort Street



No. 21 Lower Fort Street



No. 27 Lower Fort Street



No. 31 Lower Fort Street

7.4 Streetscape, Public Domain and Access

7.4.1 Hickson Road Entry

The driveway entrance to the hotel from Hickson Road will be regraded to remove the existing step between the driveway and the entrance doors to the hotel. This will improve access to the hotel and the overall functioning of the main entrance.

New glazing and stone cladding to the ground floor of the building façade at Hickson Road is proposed to reduce the impact of car lights shining into the hotel lobby. The main entry façade at the line of the entry doors will also be reconfigured to improve the entry sequence (Figure 20).

In simplifying the design of the entry, new sandstone wall finishes, a new entry canopy and a new slatted ceiling are proposed. New sandstone wall finishes will be provided to emphasise the building contextual landscape location and to provide a uniform background for the provision of new signage, lighting and art works.

Figure 20 – Hickson Road Entry



7.4.2 Public Promenade

New stairs are proposed to be constructed on the public promenade along the southern edge of the site, to the south of the existing lobby/ reception area. This will provide a direct and legible point of entry for guests from the public promenade (Figure 21).

Currently, once guests have arrived and checked in at the hotel, the majority of guests use the access stairs off the boardwalk as the main entry to the hotel. The current entry configuration comprises a number of steps leading up to the entry door. The change in levels between the steps and the entry door provides an awkward entry configuration for the hotel.

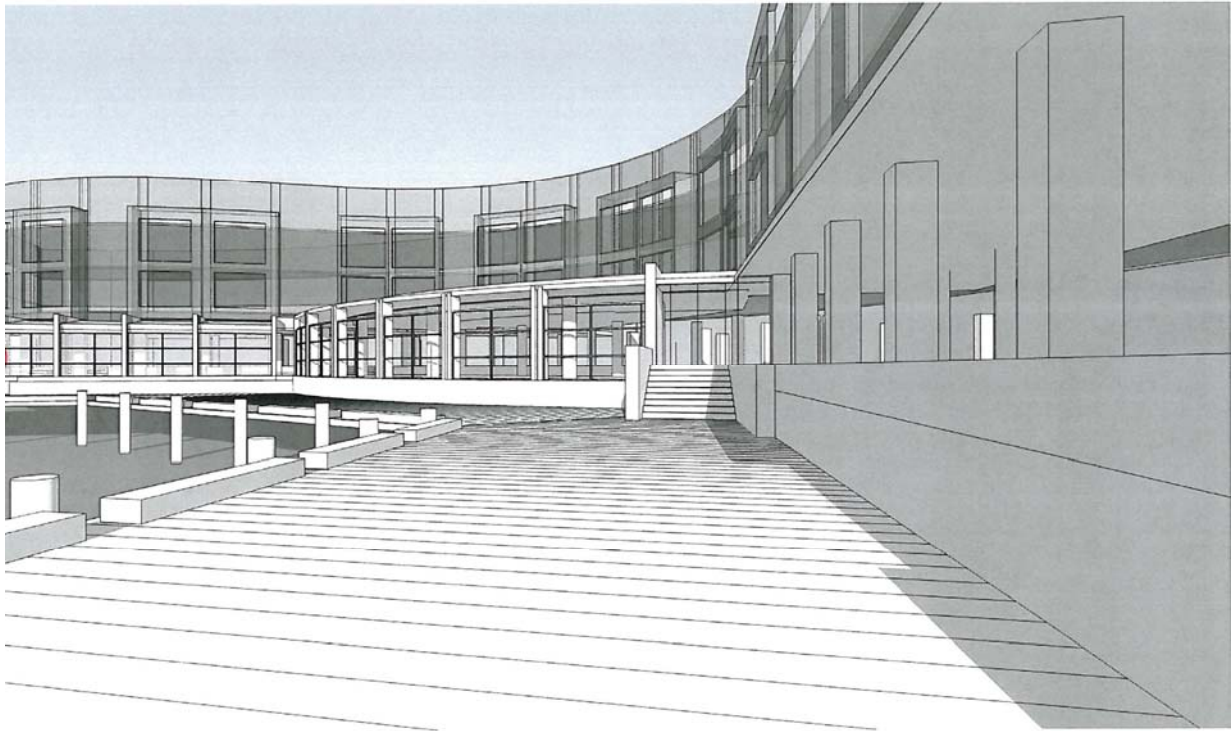
In order to address this issue, it is proposed to increase the depth of the access stairs onto the promenade in providing a landing directly adjoining the entry doorway. This will ensure that pedestrian access into the hotel is provided at the same level as the lobby; and not at different heights.

The new stairs will reduce the width of the public promenade at a specific point from approximately 8.9m to 5.6m (a reduction of 3.3m). This reduction in width will have a minimal impact on pedestrian movement patterns along the promenade, given the low volume of traffic along the promenade and that a considerable width of approximately 5.6m remains.

Discussions with the Sydney Harbour Foreshore Authority (SHFA) in July 2010 have confirmed that the encroachment of an access stair onto the promenade was not considered unreasonable subject to the appropriate resolution of materials and finishes for the access stairs; and its relationship to the materiality of the existing boardwalk.

We also note that an application under State Environmental Planning Policy (Infrastructure) 2007 will shortly be lodged for the replacement and upgrade of the existing public promenade. These works are proposed to be carried out during the same construction period as the refurbishment works.

Figure 21 – Proposed reconfigured access stairs



7.4.3 Public Access Around Site

With the exception of the minor reduction in the width of the public promenade to accommodate the new access stairs, the proposed works will retain existing levels of access around the hotel (Figure 22).

The Park Hyatt Sydney is a publicly accessible space, offering restaurant and bar facilities on the ground floor level. The provision of reconfigured access stairs onto the public promenade will provide an enhance entry point, and improve access to the foreshore and public promenade from the hotel.

Figure 22 – Public access around the site is retained



7.4.4 Promenade Entrance Façade

The existing prefinished aluminium framed glass line on the southern façade of the lobby will be replaced by frameless glazing and inserted under the existing balconies to align with the existing stone plinth. This will provide an expanded lobby and increased views towards the Opera House and Circular Quay from within the lobby space.

Realigning the foyer glazing in line with the existing stone plinth will open up the lobby space and utilise a current residual space to the south of the existing lobby. The proposed realignment has been designed to ensure the separation of both the public and private domains in this location as unique spaces in their own right, and importantly, to maintain the quality of the promenade as a useable public space. It is envisaged that the 1.5m level change will provide sufficient separation between the lobby and promenade.

7.5 Traffic Impacts

A Traffic and Parking Report that addresses both Operational and Construction Traffic Impacts is enclosed at Appendix L.

7.5.1 Operational Traffic Impacts

The proposed refurbishment works do not result in an increase in the total number of guest rooms. Thus any increase in traffic volumes associated with the guest room refurbishment, would be based on hotel occupancy rates.

The refurbishment works will increase the amount of floor space associated with function facilities at the hotel, being an increase from 630 sqm or 506 seats, to 1,184 sqm or 742 seats. This equates to a total number of 29 additional vehicle trips during a peak hour period. This increase in vehicle trips can be adequately accommodated within the existing vehicle network.

The proposed changes to the loading dock portal along Hickson Road will involve closing the second delivery entry driveway as this opening is no longer required. This will improve the Hickson Road streetscape by reducing the number of vehicular openings in the buildings façade.

The total of number of parking spaces within the basement parking level will remain unchanged. The number of parking spaces provided meets the City of Sydney parking requirements, with access to parking spaces in the basement being generally restricted to hotel employees who are stationed at the Porte Cochere. The majority of guests do not arrive by private vehicle, but rather arrive by taxi or hire car services which are adequately managed by hotel employees stationed at the Porte Cochere.

The hotel currently has a number of dignitary and VIP rooms, which when occupied, do not result in any substantial increase in vehicle numbers that may result in unreasonable traffic impacts along Hickson Road, or to the surrounding road network. Similarly, the proposed roof top suites will not result in any substantial increase in traffic volumes that could not be adequately managed or accommodated by the hotel and its employees.

7.5.2 Construction Traffic Impacts

It is anticipated that there will be approximately 10 additional truck movements per day during the construction phase of the project.

A Construction and Traffic Management Plan (CTMP) will be prepared as part of Construction Certificate stage of the project. This will address both pedestrian and vehicular access to the site during the construction period, including hours of operation for truck movements.

7.6 Signage

The proposed signage is confined to 165mm high replacement signage on the southern façade of the northern lift shaft; 100mm high signage at ground level on both sides of the Porte Cochere; and 100mm high signage to the new wall adjoining the reconfigured access stairs off the promenade. All proposed signage will be prefinished individual lettering.

The intent of the proposed signage is to provide a consistent branding of the hotel. The signage will not be overbearing or detract from the architectural features or qualities of the façade.

7.7 Climate Change and Sea Level Rise

A detailed assessment of the proposed development and potential risks associated with sea level rise has been undertaken in accordance with the Draft NSW Coastal Planning Guideline: Adapting to Sea Level Rise. This is enclosed at Appendix M.

As per the findings of that report, the proposed development is compliant with the planning criteria specified within the guideline document. Further development of management responses and adaptation strategies are not considered relevant, commensurate with level of risk and compliance with the criteria.

7.8 Heritage

The Park Hyatt Sydney is not individually listed on the Register of the National Estate, however it is located within The Rocks Conservation Area, which is listed on the Register. The Rocks Conservation Area is therefore protected under the Environment Protection and Biodiversity Conservation Act 1999.

The Act forms the principal heritage management legislation for Commonwealth owned heritage properties. Inclusion on the Register of the National Estate carries with it no statutory implications for non-commonwealth owned properties, but is an indication of the heritage status of the item.

7.8.1 Evaluation against Statement of Heritage Impact Guidelines

Whilst not a listed item, the proposed works have been assessed against the relevant questions posed in the Heritage Office's 'Statement of Heritage Impact' guidelines.

Question	Discussion
The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:	<ul style="list-style-type: none"> ▪ The proposed modifications to the form of the approved roof top addition will ensure a simpler, more singular roof form will predominate. The overall mass and form of the roof is kept low as a means of emphasising the horizontal lines and curvilinear character of the existing building. ▪ The roof top pavilion motif, as approved, has been modified and made simpler in volumetric form. ▪ The architectural merit of the exterior masonry façade is retained, with a new second order of architectural detailing proposed to enhance the architectural expression of the building.
The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts:	<ul style="list-style-type: none"> ▪ The proposed works are not considered to visually dominate or detract from The Rocks heritage precinct or neighbouring heritage items. They will compliment and support the character of the locality.
The following sympathetic solutions have been considered and discounted for the following reasons:	<ul style="list-style-type: none"> ▪ Many refurbishment strategies use contrast and difference to give distinction in architectural expression, so that the new is made visually distinct from the existing. The proposed works provide a more subtle difference in architectural expression, acknowledging the strong architectural character of the existing building.
Partial Demolition Is the demolition essential for the heritage item to function? Are important features of the item affected by the demolition (e.g. fireplaces in buildings)? Is the resolution to partially demolish sympathetic to the heritage significance of the item? If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?	<ul style="list-style-type: none"> ▪ Demolition works are proposed to roof top pool; roof sheeting; internals spaces; balconies etc. ▪ The elements proposed for demolition are not of concern from a heritage perspective.
Minor additions (see also minor partial demolition) How is the impact of the addition on the heritage significance of the item to be minimised? Can the additional area be located within an existing structure? If no, why not? Will the additions visually dominate the heritage item? Is the addition sited on any known or potentially significant archaeological deposits? If so, have alternative positions for the additions been considered? Are the additions sympathetic to the heritage item? In what way (e.g. form, proportions, design)?	<ul style="list-style-type: none"> ▪ The removal of the approved roof top pavilion motif will provide a simpler roof form. The overall mass and form of the roof has been minimised to emphasise the horizontal lines and curvilinear character of the existing building. ▪ The changes to the roof top addition, including provision of a more streamlined roof form will not impact on the heritage qualities of the locality. ▪ The changes to the roof top pool area involve an increase in the height and overall area of the pool terrace. This element will be more prominent from Dawes Point Park than the existing open rail pool

Question	Discussion
<p>New development adjacent to a heritage item How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects? How is the impact of the new development on the heritage significance of the item or area to be minimised? Why is the new development required to be adjacent to a heritage item? How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance? Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected? Is the new development sympathetic to the heritage item? In what way (e.g. form, siting, proportions, design)? Will the additions visually dominate the heritage item? How has this been minimised? Will the public, and users of the item, still be able to view and appreciate its significance?</p>	<p>enclosure, however its configuration is considered respectful to the integrity of the existing building and character of the locality.</p> <ul style="list-style-type: none"> There is no excavation proposed therefore there is no possible impact on any archaeological resource.
<p>Re-roofing/re-cladding Have previous (including original) roofing/cladding materials been investigated (through archival and physical research)? Is a previous material being reinstated? Will the re-cladding effect the conservation of the fabric of the heritage item? Are all details in keeping with the heritage significance of the item (e.g. guttering, cladding profiles)? Has the advice of a heritage consultant or skilled tradesperson (e.g. slate roofer) been sought?</p>	<ul style="list-style-type: none"> The roof of the proposed addition to the north of the northern lift shaft is metal to match that of the existing roof.
<p>New signage How has the impact of the new signage on the heritage significance of the item been minimised? Have alternative signage forms been considered (e.g. free standing or shingle signs). Why were they rejected? Is the signage in accordance with section 6, Areas of Heritage Significance', in Outdoor Advertising: An Urban Design-Based approach? (1) How? Will the signage visually dominate the heritage item/ heritage conservation area or heritage streetscape? Can the sign be remotely illuminated rather than internally illuminated?</p>	<ul style="list-style-type: none"> Proposed signage to southern façade of northern lift shaft; either side of porte cochere; and fixed to new wall adjoining reconfigured stairs onto promenade has been designed to be minimalist. Single metal letter is sympathetic to the architectural detail of the hotel and The Rocks precinct.

The proposed alterations, additions, and refurbishment works to the hotel have been designed to ensure it is complementary to The Rocks locality and neighbouring heritage buildings.

The photomontages contained within the View Impact Analysis provide an accurate representation of the proposed works. The assessment has shown that the proposed works will not visually dominate or detract from The Rocks heritage precinct or neighbouring heritage items. In particular, the view impact analysis demonstrates that the proposed changes to the approved roof top level (DA122-05-05) will not reduce available views from surrounding heritage listed properties, including those located along Lower Fort Street. Thus, the heritage attributes of these properties, including available views, will not be affected by the proposed works.

Further, the View Impact Analysis demonstrates that the architects have considered the aesthetics of the proposed works from a wide range of both public and private spaces, and have considered its appearance from a local as well as a wider contextual view.

7.9 Consultation

A comprehensive level of community consultation has been undertaken for the proposed works. The consultation undertaken is consistent with the Departments Major Project Community Consultation Guidelines dated October 2007.

A summary report of the consultation initiatives undertaken and responses received is enclosed at Appendix N.

7.10 Ecological Sustainable Development

A statement outlining the proposals relationship to ESD has been prepared by Hassell and is enclosed at Appendix O. As per that statement, the proposed design seeks to achieve energy efficiency and reduce greenhouse gas emissions via five key areas:

- Building Management
- Indoor Environmental Quality
- Reductions in Energy Use
- Water Management
- Materials/ Resources/ Waste

In addition, Hyatt Hotels and Resorts have a philosophy of environmental responsibility relating to the ongoing management and operation of the hotel. This philosophy is enclosed as a statement at Appendix P and demonstrates the hotels ongoing commitment to minimising the Park Hyatt's impact on the natural environment.

During the design development of the scheme, the due regard was also given to the Foreshore Authority Sustainable Development Fitout Guide in reducing environmental impacts.

7.11 Accessibility

An Access Review Report has been prepared by Morris Goding Accessibility Consulting and is enclosed at Appendix Q. The report has reviewed the proposed ingress and egress, paths of travel, circulation areas and toilets to determine compliance with the relevant statutory guidelines and concludes that the development has an adequate degree of accessibility.

The report concludes that the development has accessible paths of travel that are continuous throughout and that the proposed development has demonstrated an appropriate degree of accessibility.

A number of recommendations are contained within the report relating to the design detail of the proposal. However as per the report, these can be carried out during the design development stage of the project.

Please also find the Park Hyatt Sydney's Management Plan for Physically Challenged Guest at Appendix R.

7.12 Staging

No staging of the works is proposed. The hotel will close during the construction phase of the project, minimising disruption during the construction period.

7.13 Construction and Waste Management

A Construction Management Plan has been prepared for the proposed works by Hassell, and is enclosed at Appendix S.

7.14 Contamination

The proposed works relate to an existing building and do not involve any disturbance to the site. Further, the site is not considered to have any land contamination issues.

7.15 Infrastructure/ Utilities

The existing servicing of the site will adequately meet the servicing demands for the proposed works, as per the Utilities Statement enclosed at Appendix T.

7.16 Building Code of Australia Compliance

A Building Code of Australia 2010 Compliance Report has been prepared by Davis Langdon and is enclosed at Appendix U.

The report identifies any deficiencies that the building has with the current requirements of the BCA and outlines the measures proposed to upgrade parts of the building to BCA standards. Please also refer to the Fire Safety Strategy prepared by Raw Fire, enclosed at Appendix V.

8 Draft Statement of Commitments

The following draft Statement of Commitments is offered to ensure that the proposed development will adequately mitigate any potential adverse environmental impacts during both the construction and operational stages of the development.

The proponent is responsible for the implementation and achievement of any Commitments made as part of this Project Application.

8.1 Construction Management Plan

Construction management will take place in accordance with the Construction Management Plan at Appendix S.

8.2 Glazing materials

All glazing materials shall be selected and installed in accordance with the relevant provisions of AS 1288 S.A.A. "Glass Installation Code".

8.3 Control of dust during construction

Dust control measures shall be implemented to ensure that the work does not cause an unreasonable dust nuisance to surrounding tenancies, the public or the local environment. Such measures shall include:

- As far as practicable, care shall be taken to ensure that any dust-generating activity does not impact on the amenity of adjoining premises;
- Should any on-site saw cutting or grinding of masonry be required, only wet blade cutting or grinding shall be used. No dry blade cutting or grinding of masonry is permitted;
- No dust generating work is to be undertaken from 12noon – 2.00pm;
- The work site and access thereto is to be regularly cleaned and damped down to prevent unnecessary generation of dust;
- Stockpiles of materials or waste are to be covered when not in active use;
- All care shall be exercised in the loading and handling of waste and materials to prevent unnecessary generation of dust;
- Loads of demolition waste or other dust generating material is to be securely covered during transport.

8.4 Control of noise & vibration during construction

Noise and vibration control measures shall be implemented to ensure that the work does not cause an unreasonable noise and vibration nuisance to surrounding premises, the public or the local environment. Such measures shall include:

- As far as practicable, measures shall be taken to reduce any adverse impacts from intrusive noise-generating activity;
- No significant noise generating work is to be undertaken from 12noon – 2.00pm;
- All work, including demolition, excavation and building work must comply with "The City of Sydney Code of Practice for Construction Hours/Noise 1992" and Australian Standard 2436-1981 "guide to Noise Control on Construction, Maintenance and Demolition Sites".

8.5 Hours of work

The hours of construction and work on the proposed development shall be as follows:

- All work, including demolition and building work in connection with the proposed development must only be carried out between the hours of:
 - 7.00am and 7.00pm on Mondays to Fridays, inclusive; and
 - 8.00am – 12.00 midday for building works which involve high noise outputs.
 - 12.00 midday – 2.00pm (no noisy works permitted).
 - 2.00pm – 4.00pm for building works which involve high noise outputs.

N.B. Building work which involves high noise outputs includes jack hammering, grinding, repetitive manual hammering, electric planning, masonry drilling or circular sawing.

- 8.00am and 3.00pm on Saturdays; and
 - 8.00am – 12.00 midday for building works which involve high noise outputs.
 - 12.00 midday – 2.00pm (no noisy works permitted).
 - No work must be carried out on Sundays or public holidays.
- Work may be undertaken outside these hours only where:
 - The delivery of materials is required outside these hours by Police or other authorities, or
 - Works are required in an emergency to avoid the loss of life, damage to property and/or to prevent environmental harm, or
 - Written approval is obtained from Sydney Harbour Foreshore Authority's Planning Assessment Manager prior to carrying out the work and tenants likely to be affected are notified of the timing, nature and duration of the work at least 24 hours prior to commencement.

8.6 Construction vehicle management

Traffic management measures shall be implemented to ensure that the work does not cause any hazards or unreasonable efficiency impacts on vehicle and pedestrian movement. Such measures shall include:

- Delineation of vehicle access routes and loading/unloading zones. These are to be kept clear throughout the work period and all work vehicles are to be confined to those areas;
- Potential pedestrian/vehicle conflict points are to be identified and adequate safety measures (such as signage and traffic control personnel) are to be provided;
- No vehicles associated with the development are to be parked on the Campbells Cove promenade area, (other than vehicles within designated loading/unloading zones that are in the process of being loaded or unloaded);
- Any areas with load limits are to be identified and those load limits are to be observed;
- Adequate signage is to be provided to safely direct work vehicles and pedestrians to and around the site.

8.7 Control of run-off during construction

To comply with the Protection of the Environment Operations Act 1997, whereby it is an offence to pollute classified waters such as Sydney Harbour to which the site drains:

- Sediment control measures such as hay bales, sandbags and sediment fences are to be put in place and maintained throughout the works period to prevent sediment entering the stormwater drainage system;
- Concrete trucks, concrete pumps and their attachments, and trucks used for the disposal of spoil, shall not be washed out on the public way;
- Any water collected from on-site washing down of concrete trucks, concrete pumps or their attachments and trucks used for the disposal of spoil shall not be pumped, directed, or allowed to flow to the Harbour or the stormwater drainage system;
- Any seepage or rainwater collected on site during construction shall not be pumped to the stormwater drainage system unless separate prior approval is given in writing by Sydney Harbour Foreshore Authority's Project Services Manager prior to discharge into such system.

8.8 Construction site & public safety

To protect the safety of work personnel and the public, the work site shall be adequately secured to prevent access by unauthorised personnel, and work shall be conducted at all times in accordance with relevant WorkCover requirements.

8.9 Site signage

A sign must be erected in a prominent position on the site:

- Showing the name, address and telephone number of the contractor for the work,
- Showing a telephone number on which the project principal may be contacted at any time (such as the 24 hour number for Sydney Harbour Foreshore's Customer Response Management System), and
- Stating that unauthorized entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

9 Summary and Conclusion

This Project Application seeks consent for alterations and additions to, and the refurbishment of the Park Hyatt Sydney. The purpose of the works is to improve amenity; the overall operation and function of the hotel, and to reaffirm the Park Hyatt Sydney as a hotel of international standing and an important component to Sydney, NSW and Australian tourism and business.

The proposed works focus on modifications to the approved roof top level in providing a more streamlined roof form; provision of an upgraded and reconfigured rooftop pool terrace area; upgrades to the external façade of the hotel, as well as the complete refurbishment of all internal spaces within the hotel including rooms, lobby, restaurant and function spaces.

The proposal includes some works that extend beyond the approved building envelope for the site. An application to vary the Sydney Cove Redevelopment Authority Scheme (SCRA)- Building Site Control Drawing XXV-B(3) in permitting the proposed variations to the building envelope for the site, has been prepared as part of this application. It is following an approval to vary the SCRA scheme that consent can be granted for the Project Application.

The proposal has been assessed against the provisions of the Environmental Planning and Assessment Act 1979, including Part 3A as well as the Director General's Requirements issued in respect to the development. From this assessment it has been demonstrated that the proposed development:

- Will reaffirm the Park Hyatt Sydney as a hotel of international standing and an important component to Sydney, NSW and Australian tourism and business.
- Enhances the image of The Rocks through the provision of the highest standards of tourist accommodation and facilities.
- Complies with the relevant development standards and guidelines, and where variations occur, these are considered to be minor and reasonable in the circumstances of the case.
- Views and vistas afforded from Dawes Point Park and properties located along Lower Fort Street are not reduced or impacted as a result of the proposed changes to the approved roof top addition.
- Any minor loss of views from Dawes Point Park from the pool terrace area are, on balance, deemed acceptable given that there is a substantial improvement in views provided by the approved lowering of the southern lift shaft, and more actively used areas within Dawes Point Park are not affected by the proposed works.
- The proposal respects the site's prominent location through a sensitive design solution that reinforces the unique visual qualities of Sydney Harbour.

It is recommended that the proposal be approved pursuant to Part 3A of the Act.

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