



# PARK HYATT SYDNEY- REFURBISHMENT ARCHITECT'S STATEMENT

Refurbishment, New Work and Base Building Upgrade  
Park Hyatt Sydney, 7 Hickson Road, The Rocks

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## 1\_\_Introduction

This is a major refurbishment to a distinct civic Sydney Harbour building designed by Ancher Mortlock and Woolley (AMW) in 1987. This statement provides detailed information on the proposed refurbishment strategy for the Park Hyatt Sydney.

This Architect's Statement recognises that Ken Woolley and Dale Swan (from AMW) as the original architects of the Park Hyatt Sydney. It is noted that the design for the roof top addition, including new pool terrace and modified northern lift tower is a fresh design and does not draw inspiration from the previous approved DA as prepared by AMW in 2005.

## 2\_Existing Architectural Features

The Park Hyatt Sydney is an important civic building located within the historic precinct of The Rocks and within the curtilage of the Sydney Harbour Bridge. The distinct architectural character of the building is achieved through banded precast and rendered wall surfaces modulated by projected and indented balcony bays in relation to a serpentine-like plan. The context of this architectural gesture while enabling each guest room an embrace of its harbour setting reinforces its landscape setting of waterfront and headland. As a distinct urban marker, the civic character of this building frames the western edge of Circular Quay and compliments the foreground views of the Sydney Harbour Bridge when seen from the east. The building allows public access and promenade to all its edges, especially along the Boardwalk, and permits views from Dawes Point Park across most of its roof.





Under this proposal, the following existing architectural and urban features of the building are identified. These elements are recognized and/or reconsidered within the proposal:

\_\_\_to recognize and retain the exterior architectural expression of the building which consists of a more open and modulated façade to the south and east, in association with the foyer, dining and guest room accommodation, while a more solid and less modulated façade is presented to the Hickson Road elevation;

\_\_\_the sinuous masonry façade as accentuated by a variety of projecting square and circular balconies is respected;

\_\_\_the recessed horizontal joints and bands of polished and honed precast concrete panels are retained;

\_\_\_a strong public interface through large fixed and operable glazing to the ground floor foyer and dining areas which overlook the Boardwalk is retained and enhanced;

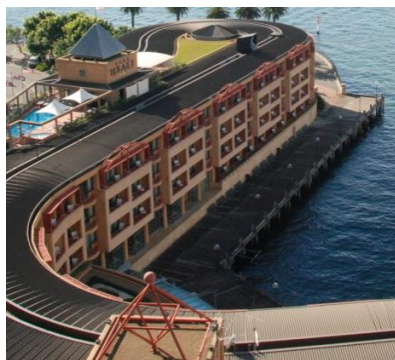
\_\_\_to recognize and retain the Hickson Road entry as the principle entry into the hotel. This is via a large and dramatic arched opening within the façade;

\_\_\_to acknowledge the continuous parapet wall line of the building. This unbroken parapet line contributes to the landscape character of the building;

\_\_\_to reconsider the design and urban character of the lift towers and lift overruns. Two lift overruns were originally provided and these were located behind the parapet façade line as a counterpoint to the horizontal massing of the building form. The civic function of these lift towers were reconsidered under a previous DA, where the southern lift tower was reduced in bulk in response to changes in lift technology, as there is now no need to find an architectural solution to disguise these tall lift overruns as ornamental elements;

\_\_\_to acknowledge and contribute to the second order of architectural detail of the building. This is currently represented in the form of metal balustrade infill panels, door frame divisions, upper level pergola elements and planter boxes. The prefinished colour of the existing door frames are grey and recessive; and

\_\_\_to reconsider the visually lightweight roof top pergola and arcade that not only provides a strong horizontal counterpoint above the line of the building's parapet but also screens the northern lift tower. This structure wraps the existing northern lift tower and spatially defines an outdoor pool terrace and pre-function space. This architectural strategy is used to assist in the new architectural modulation of the new pool terrace and roof top addition.



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*Existing architectural feature of strong horizontal sinuous masonry walls actuated by balcony openings, photographs by HASSELL*

### 3\_\_Project Description

The proposed works to the Park Hyatt Sydney, while improving the overall internal function and operation of the hotel, will also involve modifications to the amenity of all public dining rooms and foyer areas as well as guest room accommodation. In summary the proposal will consist of the following major items

- \_\_refurbish and reconfigure Hickson Road public entry;
- \_\_refurbish ground floor dining areas and lobby areas, including modification to ground floor glazing and pedestrian access onto the Boardwalk;
- \_\_refurbish all guest room accommodation, including modification to all balconies;
- \_\_repairs to the external façade;
- \_\_a new design for the roof top addition within the approved envelope of a previous approved DA; and
- \_\_provide a new lap pool and terraces together with an internal stair linking the pool terrace with a reconfigured gym and spa treatment rooms.

### 4\_\_Proposed modifications to existing building

The project involves refurbishment of the ground floor public foyer and dining areas, upgrade to BOH and commercial kitchen and food storage areas, the refurbishment of all guest rooms, an enlarged gym and new spa treatment rooms. To the upper floors, all internal guest rooms will be modified including refurbishment to each balcony. In addition to this, essential repairs to the external facades are proposed.

#### Entry and Porte-cochere works

Access into the hotel off Hickson Road will be retained with pavements regarded to eliminate an existing step at the building's entrance. In the design of this entry area, new sandstone wall finishes will be provided to enhance the existing sandstone cladding, new entry doors will be repositioned to improved circulation with a new entry canopy and a new battened ceiling are proposed. New sandstone wall finishes will be used to emphasis the building's contextual Sydney landscape location and to provide a uniform background for new signage, lighting and art work.

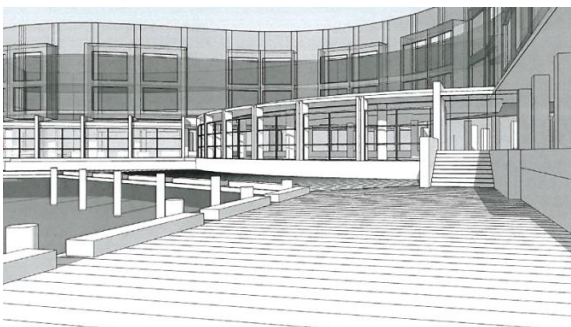


### **Boardwalk and Ground floor refurbishment**

Under the refurbishment strategy, the ground foyer, dining and function rooms and business centre will be modified to improve guest experience and operational efficiencies. The cashier, check-in counter and concierge will be relocated while the existing access stair from the foyer out onto the boardwalk will be reconfigured to improve circulation and sightlines. The stepped and indented line of the existing foyer glazing will be simplified and located forward of the existing columns in alignment with the existing stone plinth. A new frameless glass facade will be inserted under the existing balconies and along this plinth line to improve outlook of the Quay from within the foyer; and it is envisaged that the current 1500mm approx level change between these areas will provide enough privacy separation between the public nature of the foyer and the promenade of the Boardwalk. A new timber stair case with timber clad flanking walls will be provided linking the reconfigured foyer out onto the Boardwalk.

Changes to the single storey zinc clad dining room structure are proposed under this application, including adjustments to the existing floor level adjacent to the glass line. This change will reduce the number of level changes and improves Access compliance within the dining room. The existing steel framed and glazed roof to the central section of the dining room will be replaced with a new prefinished metal roof installed at a higher level and in alignment with the adjacent L2 roof garden parapet. The existing tilt-up doors will be refinished and relocated to the new dining room floor level with fixed glass fanlights over a new door head beam. The existing zinc cladding will be painted in a new colour consistent with the proposed interior design concept.

To the Guest House, the current public entry will be closed off and the existing metal and glazed canopy will be removed to enable a new sandstone paved break out terrace with new sandstone clad privacy wall to be provided. Sections of the glazing will be relocated to form a new verandah area with new prefinished metal framed glass doors fitted. New stone faced plinths and glass balcony edges will be provided and aligned with the floor level of the Guest House. The existing zinc cladding to this area will be painted.



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*Proposed refurbishment to ground floor foyer and dining areas,  
concept images by BARstudio*

### **Modifications to achieve the new Gym and Spa Treatment Rooms, L2 and L3**

In relocating the existing pool from level 3 to the new pool terrace, will enable a new gym and change rooms to be provided that will connect vertically with a new spa below and the pool above. The existing spa will be relocated to level 2 and expanded. From the new spa treatment rooms a new outlook through slatted screened windows and the Porte-cochere arched opening will be provided onto Hickson Road. An existing fire exit stair will be reconfigured to provide this new vertical circulation link between these recreation spaces.

### **Modifications to Guest Room and Guest Room Balconies**

Under this proposal all guest rooms and balcony finishes will be modified. The existing prefinished metal balustrades and planters will be replaced with new glass balustrades to achieve BCA compliance while enhancing the outlook from each of the guest rooms. To the ground floor balconies adjacent to the Boardwalk, new frosted glass balustrades will provide additional privacy. To all other balconies, the existing metal railings will be replaced with new glass balustrades with prefinished metal posts and rails dependant on location.

New double glazed and acoustic sealed sliding doors and resin timber decking is proposed to enable uninterrupted access onto the balconies. The current arrangement of two sets of acoustic doors with a threshold step prevents level access out onto the balcony. To the upper level balconies, the existing metal pergolas will be refinished in a colour compatible with the new interior concept while the metal dividing privacy screens between adjoining pergolas will be replaced with new vertical timber battens. To the Juliet balcony guest room doors, sections of the spandrel to each side of the door will be removed to improve the door opening. This increase in actual door opening size will not alter the overall rhythm of the four vertical mullion divisions to the facade.

### **Essential repairs to exterior rendered walls, precast façade and tanked roof areas.**

Repairs to the external walls are required and consists of replacing sections of cracked and drummy render, replacing sealant to the joints within precast wall panels and replacing the torched on water proof membrane of the roof. Concrete spalling has been observed behind sections of cracked render as well as extensive honeycombed and drummy cracked render. Façade staining has also occurred due to excessive water seepage between failed precast balcony coping joints. It is also proposed to clean all the exposed aggregate precast façade panels.



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*Proposed refurbishment to existing guest room balconies,  
concept images by HASSELL*



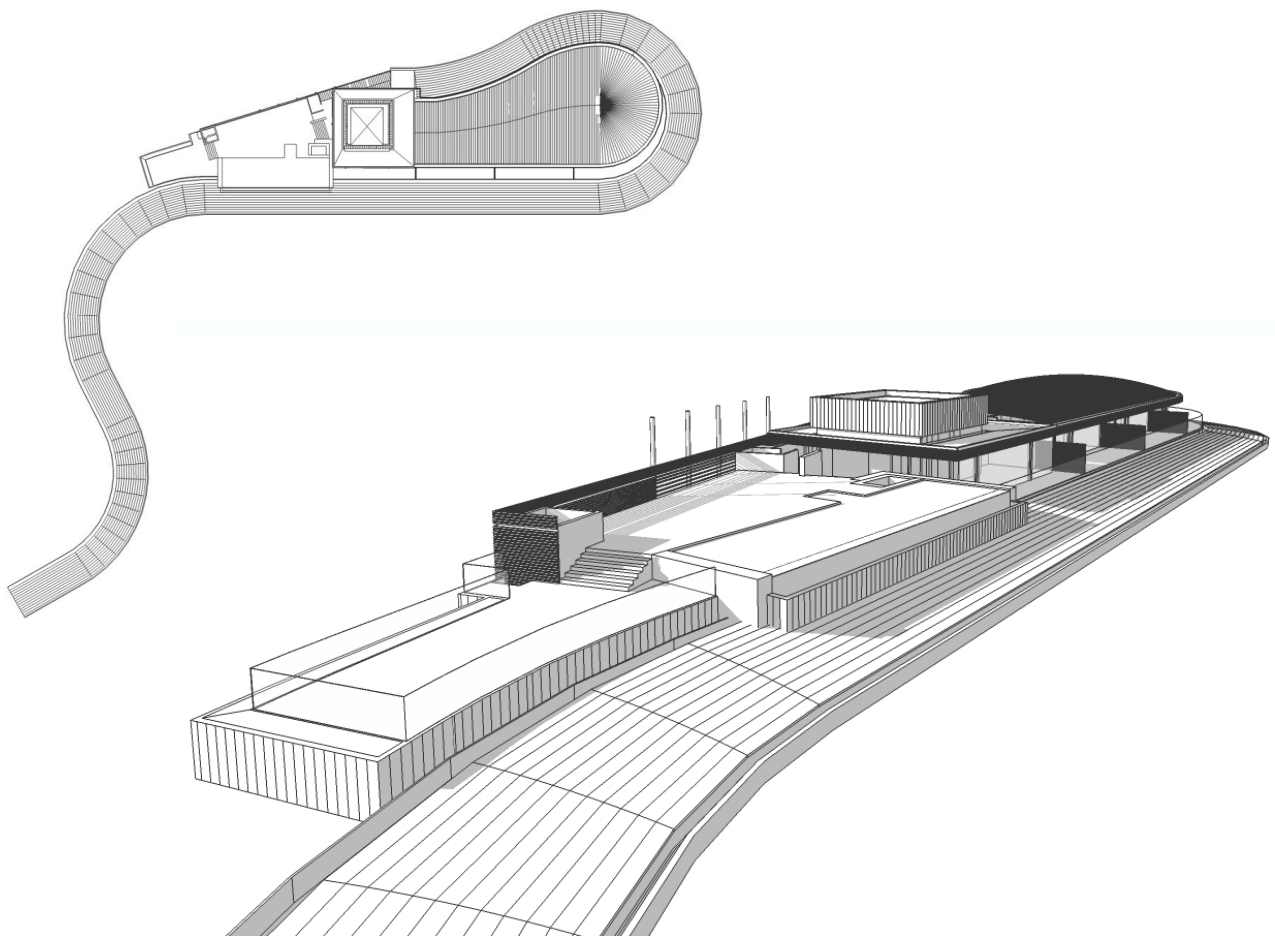
## **5\_\_Proposed pool, pool terrace, roof top addition and northern lift tower**

A new roof top landscape including pool and roof top addition is proposed.

### **New pool, pool terraces and screened wall elements**

A new pool with terraces is proposed to a higher level above the existing parapet line and existing curved metal roof and immediately adjacent to the northern lift tower above the Hickson Road the entry. New timber decking, terrace stairs, and new terracotta batten edges to the Hickson Road facade will provide a new composition of screened elements carefully aligned to existing architectural features. The new screening along Hickson Road allows the retention of the existing flag poles.

The height of this pool is designed to accommodate a services zone for the diversion of existing services, a new structural zone and a 1200mm deep lap pool. Views from the pool terraces are south across the new pool with infinity edge. New planters spatially define the upper pool terrace while the lower and smaller pool terrace has its geometry aligned to the existing curved roof.



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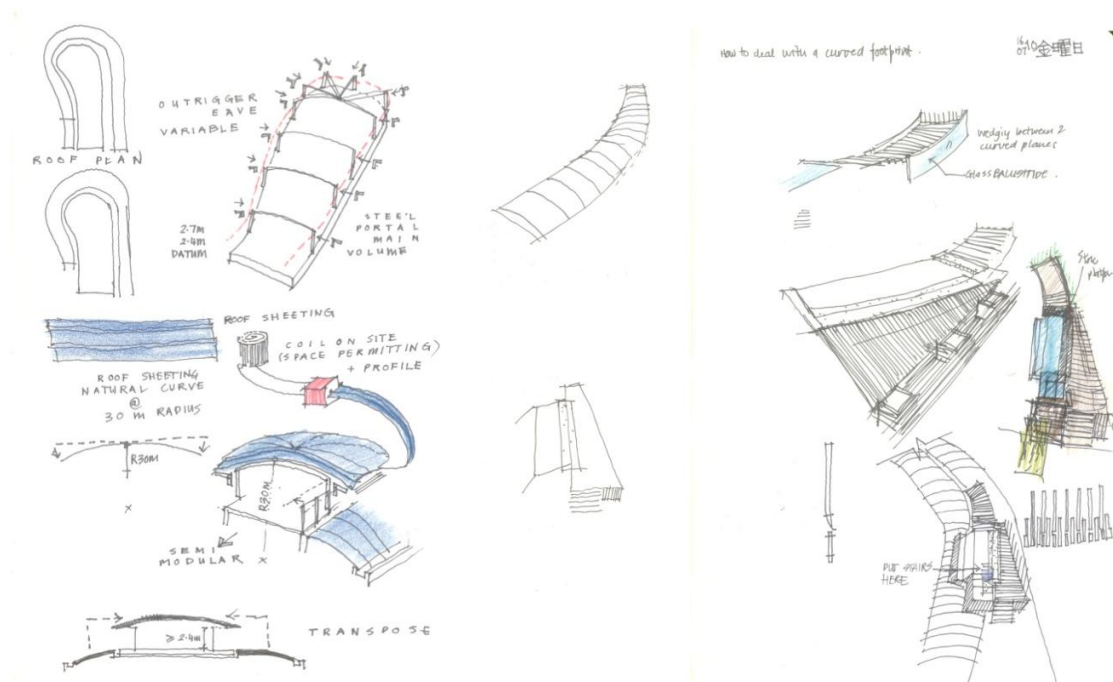
*Proposed roof top addition, new pool with pool terraces and reconfigured northern lift tower, concept images by HASELL*

### New roof top addition and northern lift tower.

Modifications to the internal configuration and layout of the approved roof top level together with changes to the design of the roof and wall screening, including an increase in the depth of each terrace, are proposed. New horizontal terracotta batten screening consistent with new batten screening to the pool terrace areas is proposed to the northern elevation and fascia edge of the roof top addition. This modification will allow for a simpler and more singular roof form to predominate; having a domed eastern section with a curved saddle roof at the western end adjacent to the existing lift tower. The overall mass and form of the roof is kept low, and generally within the previous approved envelope, to emphasize the horizontal character of the existing building. The roof to this new addition will be prefinished in a colour to match the existing metal roof. The new floor level will align with the top edge of the existing arched metal roof, and will not only improve the outlook from within the new suites out across the existing roof line, but will enable the diversion of all existing services to occur within a new floor void.

All lift cars within the northern lift tower will be upgraded to enable new passenger lift cars to extend to roof top level which is currently not serviced by lifts. The existing zinc clad pyramid roof form to the northern lift tower will be removed and the overall mass of this element will be de-emphasized and over clad in new prefinished metal in a colour to match the adjacent roof profiles. It is proposed to reconfigure the existing signage on this lift tower and it is proposed to provide one new sign to the southern elevation.

In the design for the roof top addition and associated lift tower, the architectural volumetric form is made simpler and less visually agitated as defined by a singular roof form with a continuous wall screen to the north edge and deep set balconies with a fascia line for new sliding glass doors to the south. It is anticipated that the selected materials colour range will be muted without competing visually with the existing masonry forms





## 6\_\_The architectural expression of alterations and additions

While some refurbishment strategies may use volumetric and material differences to give distinction in their architectural expression from the original, and so make the new visually distinct from the existing, under this proposal a more subtle difference in architectural and material expression is sought. In acknowledgement and respect of the architectural character and authorship of the existing building, new elements will be combined as a new overlay.

As all the interior spaces are being refurbished under this proposal it is envisaged that this new interior design concept will be integrated externally at selected interfaces; as demonstrated within the volume of the Porte-cochere which is designed to reinforce the sense of arrival and luxury; to the ground floor foyer and dining room to integrate the public interiors with the Boardwalk edges; and to integrate the guest rooms with the spaces of the balconies. The architectural and urban character of the exterior masonry façade is retained and a new second order of architectural detailing is proposed. In particular the detail of the batten screening within the Porte-cochere will extend across the arched opening to visually dematerialize the mass of the external walls of the spa area. Changes to guest room doors through a change in colour will acknowledge the existing four divisions to each guest room door. Changes in the detailing of the balcony balustrades from metal railing to glass with new prefinished metal rails, while improving outlook from the guest rooms, will not visually compete with the existing architectural mass of the building.

The proposed reconfigured roof top addition will provide a new 'softer and perforated' sinuous wall of dematerialized terracotta batten screening when seen from the north and east. New vertical and horizontal joints in the terracotta screen will align with the existing precast façade module in acknowledgement of the existing architectural form. The design of the new roof top addition is to consist of perforated and curvilinear parapet wall planes with a new curved roof profile set behind new parapet edge.



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*Proposed changes to Guest House and modulation of new roof top elements to be aligned with existing joints, concept image by BARstudio and sketches by HASSELL*

## **7\_\_Retention of artistic identity**

The proposed refurbishment acknowledges the artistic value of the original external design.

The original architectural identity and artistic authorship of the building is retained as the new architectural massing of the roof top addition and new balcony and glazing details recognise the strong horizontal masonry form of the existing punctuated with windows openings and balcony forms. Under this proposal, the masonry character of the serpentine-like wall and roof lines are retained and the design of the roof top addition uses new masonry screened walls and fascia lines to provide a distinction in architectural form, yet in sympathy with, the original. New balcony details and door colour provide a new second order of detail that does not visually compete with the masonry gesture of the exterior.

Under this application, it is argued that the power of the existing design is drawn out and new architectural meanings are proposed that can co-exist with the existing architectural work. Through a careful appreciation and recognition of the original design intent, as a source to be appreciated and valued, this proposal creates a new architectural work through collaboration and co-authorship.

## **8\_\_Conclusion**

The proposed refurbishment and modifications to the Park Hyatt Sydney improves guest amenity with due regard to the building's existing civic importance and design merit. The most important architectural feature of the exterior of the Park Hyatt Sydney, we believe is its serpentine masonry wall modulated by balcony openings and/or projections that engage with the harbour setting and the public Boardwalk; and this original architectural strategy, which creates a legible relationship between the publically accessible water edge and the landform of The Rocks, is retained and enhanced. The new roof top addition and pool terrace acknowledges this setting as a new roof top landscape modified to mitigate visual impacts from Dawes Point Park.

The significant architectural and civic features of the existing building are retained and acknowledged as identified by the following features:

\_\_The existing masonry character of the façade is retained. In particular the strong solid features of the building are enhanced through new sandstone cladding and battening to the entry areas to capture the spirit of The Rocks and sense of arrival and luxury within Hickson Road entry. Adjustment to the openings onto the Juliette balconies and adjustments in the design of the balustrades to the guest rooms will not detract from the overall masonry character of the building. A new second order of detailing and colour is provided in the detail of the balconies which complement the existing masonry character while displaying a new approach in design for the building. The detail of the balconies and ground floor glazing integrates the new interior concept without competing with the existing external masonry character.

\_\_New roof lines to the foyer and central dining room, together with increases in glass area, will not detract nor impeded on the promenade and civic character of the Boardwalk. The public nature of these internal spaces will benefit from an improvement in opportunity for engagement as the proposed adjustments to these glazing and doors lines will bring. New timber stairs from the foyer out onto the Boardwalk will not impede into the primary circulation zones along the Boardwalk. The change in colour finish to the external cladding of the dining room will be compatible with the interior design concept and colour palette of the existing masonry walls.

\_\_The strong horizontal and sinuous parapet line of the existing building is retained and reinforced in the design of the roof top addition. The reconfigured roof top addition is to consist of new horizontal screened wall planes with deep set glazing lines. The existing curved and sinuous plan shaped roof is retained and becomes a design motif in the roof form of the reconfigured roof top addition.

\_\_The existing pergola line to the northern lift tower and existing pool area roof will be replaced with a new screened walls and fascia lines that integrate with the line of the reconfigured roof top

addition. Strong horizontal lines will visually link the reconfigured roof top addition with the over clad northern lift tower.

\_\_\_The bulk of the new roof top addition is set back from the line of the existing façade and the front line of the existing curved metal roof. The appearance of this reconfigured roof top addition is in sympathy with the existing building of masonry parapet walls and singular curved roof profile.

\_\_\_Under this proposal the zinc clad pyramid roof is to be removed from the northern lift tower while the internal volume of the former lift motor room will be utilized as new lift shafts to service the new roof top floor. The overall height and architectural prominence of this lift tower will be de-emphasized under this proposal and will be over clad in prefinished metal in a colour to match adjacent roof profiles.

\_\_\_The predominate bulk of the new lap pool and pool terraces are limited to an area adjacent to the northern lift tower and immediately above the existing arched Hickson Road entry. The new pool area will be screened with new terracotta battens and the plan shape of the lower pool terrace respects the curvilinear geometry of the existing curved metal roof lines.

