

02 ANALYSIS

Land Use

Issues

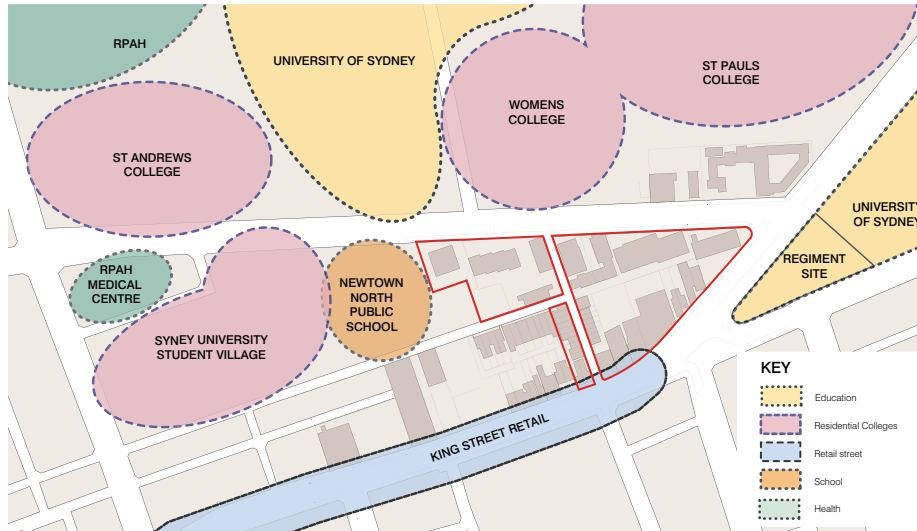


Figure 2.6.1: Existing surrounding land uses

- Moore College owned land is surrounded by other institutions such as the RPA Hospital, University of Sydney and its associated residential colleges. These residential colleges are predominant along Carillon Avenue. The surrounding institutions are also seeking to upgrade and enhance their facilities.
- The Newtown North Public School is well attended by the children of Moore College students and staff.
- King Street is predominantly a retail strip. The level of retail activity lessens towards the northern end of King Street, partly due to the academic uses of Moore College and the difficulty in sustaining retail activity for its entire length.

Opportunities

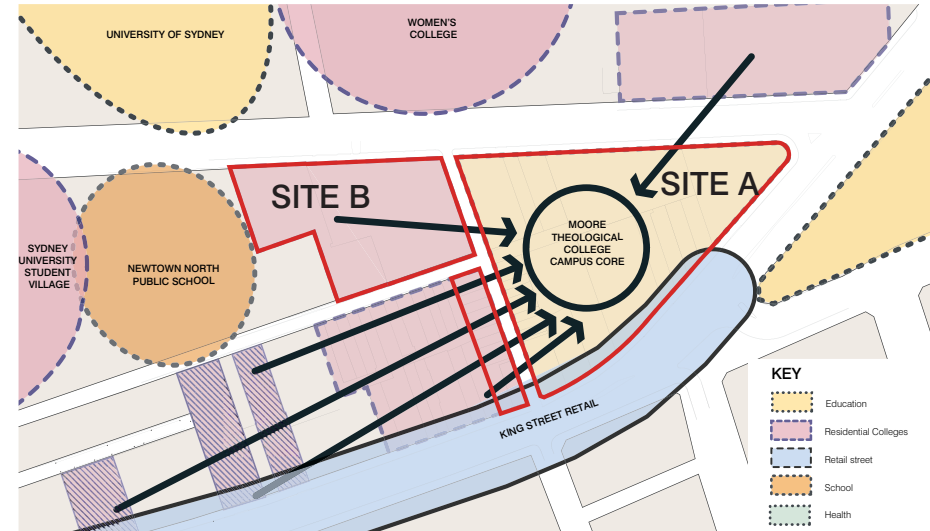


Figure 2.6.2: Proposed land use strategy

- Consolidate academic uses on Site A, bound by King Street, Carillon Avenue and Little Queen Street.
- Create a public face for Moore College Newtown Campus by locating the 'front door' of Moore College on King Street, promoting active frontages along King Street.
- Reinforce the predominant pattern of residential colleges along Carillon Avenue with Moore College residential on Site B and C.

Issues

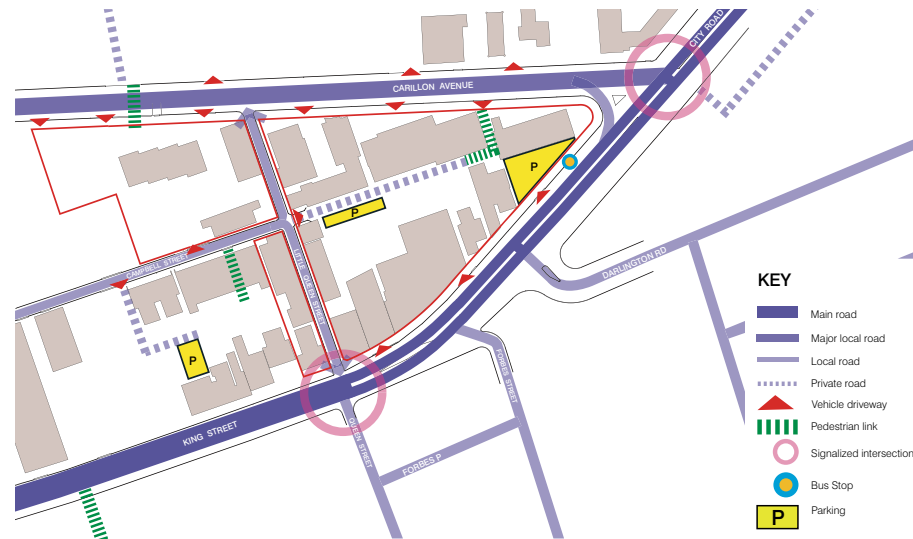


Figure 2.7.1: Existing vehicular and pedestrian access and movement

- King Street and Carillon Avenue are highly trafficked east-west routes.
- There is limited north-south permeability in the area. Little Queen Street is one of the few north-south streets connecting University of Sydney to King Street. It is highly pedestrianised and is used by Moore College students and staff and University of Sydney students as a thoroughfare.
- Moore College has limited on site car parking. The rest of the cars owned by students and staff are parked on street.
- The bus stop located in front of 1 King Street narrows the footpath.
- There is no formal front door to the Campus.

Opportunities

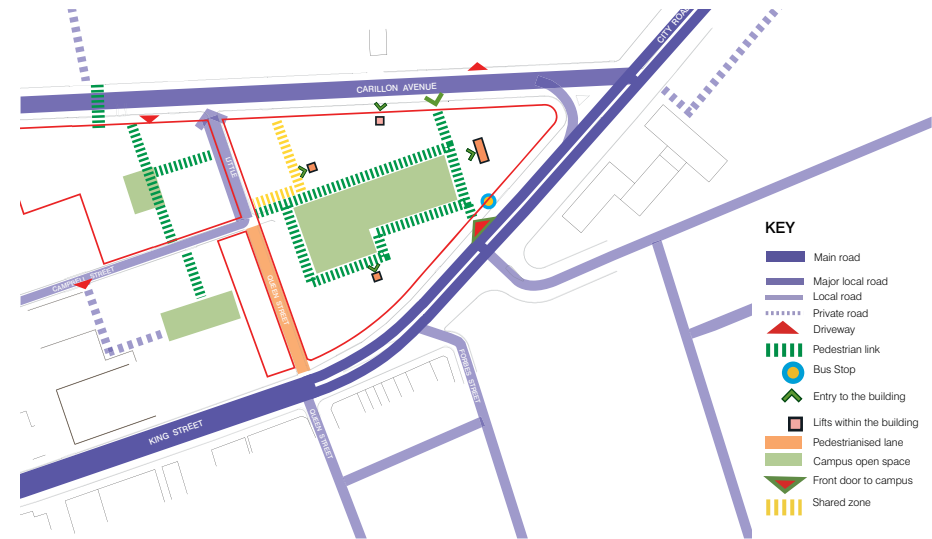


Figure 2.7.2: Proposed vehicular and pedestrian access and movement strategy

- Provide vehicular access to underground parking from Carillon Avenue.
- Provide consolidated underground carparking for students, visitors and staff. This will reduce the amount of on-street parking in the area and limit the number of driveways required.
- Enhance the pedestrian permeability, encourage connections between the campus residential sites and the academic core.
- Seek consent for the pedestrianisation of Little Queen Street between Campbell and King Streets.
- Encourage all traffic from Campbell Street to be directed to Carillon Avenue.
- Provide better pedestrian amenity where the bus stop is located in front of 1 King Street.

02 ANALYSIS

Planning controls

Issues

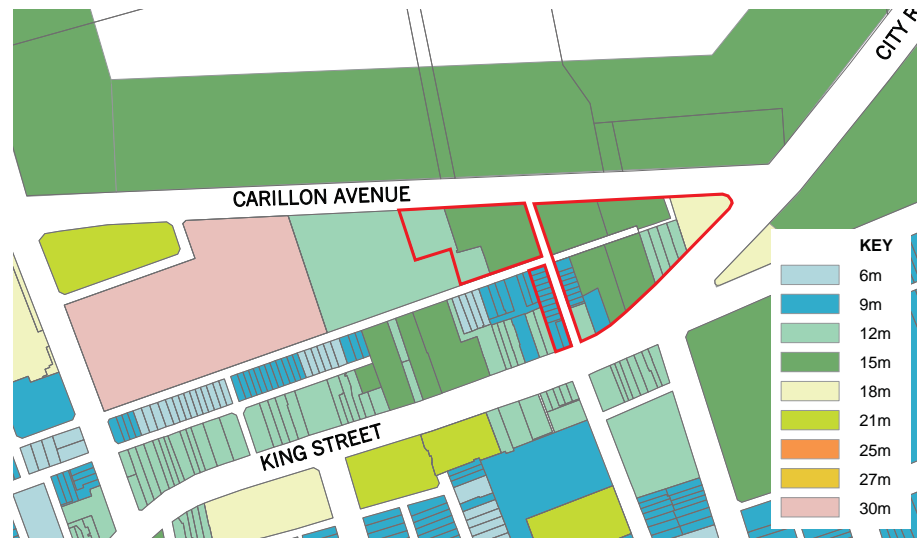


Figure 2.8.1: Recommended height controls, City of Sydney Urban Design Report

- The current planning framework for the Concept Plan are the South Sydney Development Control Plan 1997 (SSDCP). Under the SSDCP, the College site does not have a maximum height limit.
- City of Sydney are undertaking a review of their LEP controls, the proposed heights do not recognise the single land ownership of Moore College in its lot by lot approach.
- The recommended height controls in the City of Sydney Urban Design Report prepared by Government Architects Office translate existing condition and does not take into consideration the future context of the area. This approach maintains the scale of the streetscape but this limits the amount of change and redevelopment allowed in the area.

Opportunities

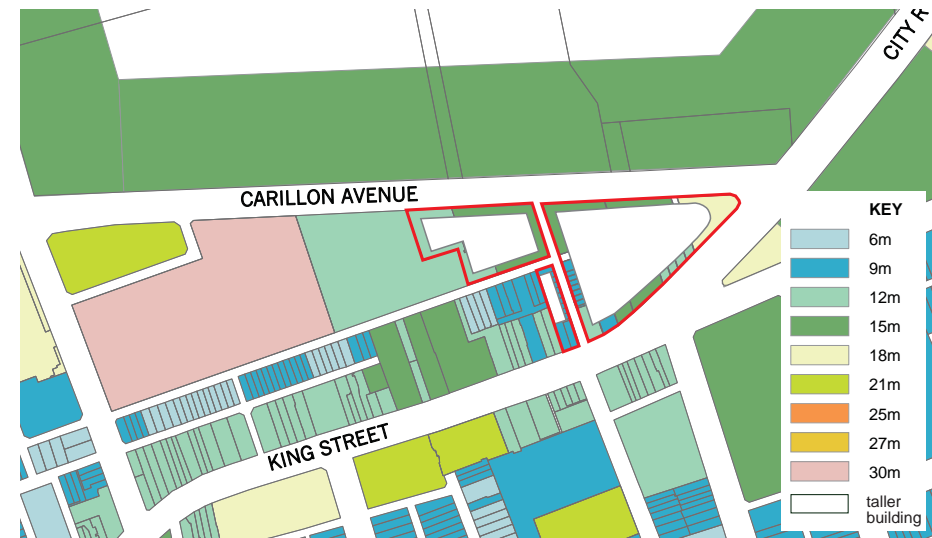


Figure 2.8.2: Proposed concept plan strategy for height

- Consider the land ownership of Moore College and allow flexibility in distributing floor space across the Concept Plan
- In principle adopt the recommended height controls in the City of Sydney Urban Design Report prepared by Government Architects Office as street frontage controls that will maintain the scale of the streetscape and manage incremental change.
- Locate taller parts of buildings away from the street edge.
- Accept that the future context of the area is changing as the surrounding institutions improve their facilities and expand.
- Recognise that the 'gateway' buildings are landmarks that can depart from the general contextual infill controls.

Urban Form - Location of taller buildings



This diagrams illustrates the changing local context with regard to height. The proposed heights for the Concept Plan fit into this future context.

Broadway

- (A) University of Technology
- (B) The CUB site
- (C) Proposed UTS Faculty of Engineering and Information Building by Denton Corker Marshall
- (D) The Quadrant

City Road

- (E) Corner of the Grace Buildings
- (F) Residential College - International House
- (G1-3) University of Sydney Buildings, Victoria Park and City Road

Carillon Avenue and Salisbury Road

- (K) Sydney University Village
- (L) RPAH Medical Centre
- (M) The Chancellory
- (J+N) 8 storey residential buildings
- (O) Royal Prince Alfred land has the potential to change

King Street

- (H) 11 storey Alpha House
- (I) 6 Storey Commercial-Residential Building

Figure 2.9.1: Future urban form

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(A) UTS TOWER



(B) CUB SITE



(C) PROPOSED UTS BUILDING BY DCM



(D) THE QUADRANT



(E) BROADWAY SHOPPING CENTRE



(K) SYDNEY UNIVERSITY VILLAGE



(L) RPAH MEDICAL CENTRE



(M) THE CHANCELLORY

Figure 2.9.2: Images of buildings that will comprise the future urban context



(N) INSTANCE OF TALLER BUILDINGS



(G1-3) UNIVERSITY OF SYDNEY BUILDINGS - VICTORIA PARK & CITY ROAD



(G) UNIVERSITY OF SYDNEY BUILDINGS - LIBRARY ON CITY ROAD



(F) INTERNATIONAL HOUSE, CITY ROAD



(H) ALPHA HOUSE, KING STREET



(I) 6 STOREY COMMERCIAL-RESIDENTIAL BUILDING, CORNER OF GEORGINA & KING STREET

02 ANALYSIS

Urban Form - Issues and Opportunities

Issues



Figure 2.10.1: Existing urban form

- King Street is perceived as beginning at Forbes Street where the street wall building types begin (A).
- Alpha House as the tallest building terminates the vista of King Street (B).
- Carillon Avenue characterised with angled landscape setback and the short end of buildings fronting Carillon Avenue (C).
- King Street characterised by vertical articulation reflecting the fine-grained subdivision pattern creating a consistent street wall (D).

Opportunities



Figure 2.10.2: Proposed urban form strategy

- Provide twin 'gateway' to King Street, that complement the 'twin buildings' located at Broadway Shopping Centre (A).
- Locate taller buildings along Carillon Avenue at the local low points to minimise their height and bulk. Ensure that the short end of the building addresses Carillon Avenue (B).
- Create a new vista with a new building located at 1 King Street (C).
- Continue the streetwall along to 1 King Street and retain heritage elements and facades along King Street (D).
- Ensure an angled landscape setback along Carillon Avenue to contribute to the landscape character (E).
- Protect solar access to the footpath on the southern side of King Street.

Principle 1 - Gateway

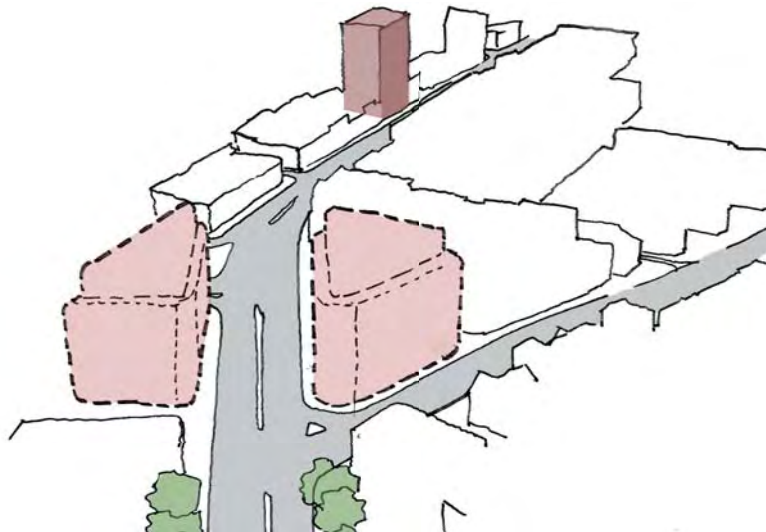


Figure 3.1: Diagram showing spatial relationship of the twin gateway buildings

- Signify the beginning of King Street, with 'gateway' buildings of high architectural quality and expression. It is envisaged that together with the University of Sydney Regiment site that these two buildings will form a pair of 'twin' buildings that will form this 'gateway'.
- Provide a public presence at 1 King Street for Moore Theological College.
- Create a landmark building at 1 King Street that ensures the Resource and Research Centre can be easily found by the public.
- Corner buildings have often traditionally been the 'exceptions' in the urban fabric. These buildings enhance the legibility of a place by creating landmarks that assist wayfinding.
- Shift the focus of the vista from City Road from Alpha House to 1 King Street. Currently when approaching King Street from City Road, the viewer's eye naturally lands on Alpha House, a 9-11 storey building located on a local high point on King Street.

Principle 2 - Heritage

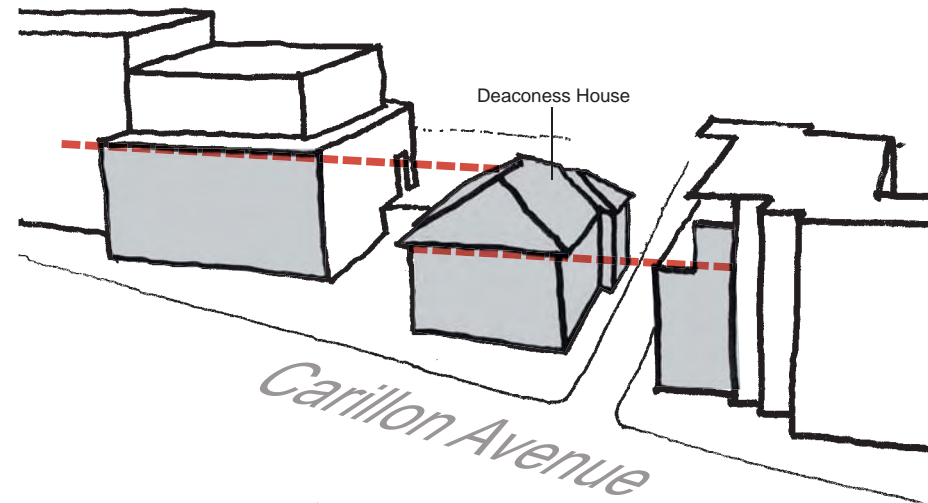


Figure 3.2: Diagram showing new buildings relating to heritage items

- Adaptively re-use heritage buildings that are retained on site with compatible uses.
- Retain existing facades of contributory buildings along King Street. Any additions to these facades as placed behind a generous upper level setback to ensure that the silhouettes of the skyline created by the parapets are retained.
- Ensure new buildings respect the scale of adjoining heritage and contributory buildings
- Distinguish between the 'old' and the 'new' through a change in materials and forms.

03 PRINCIPLES

Principle 3 - Streetscape

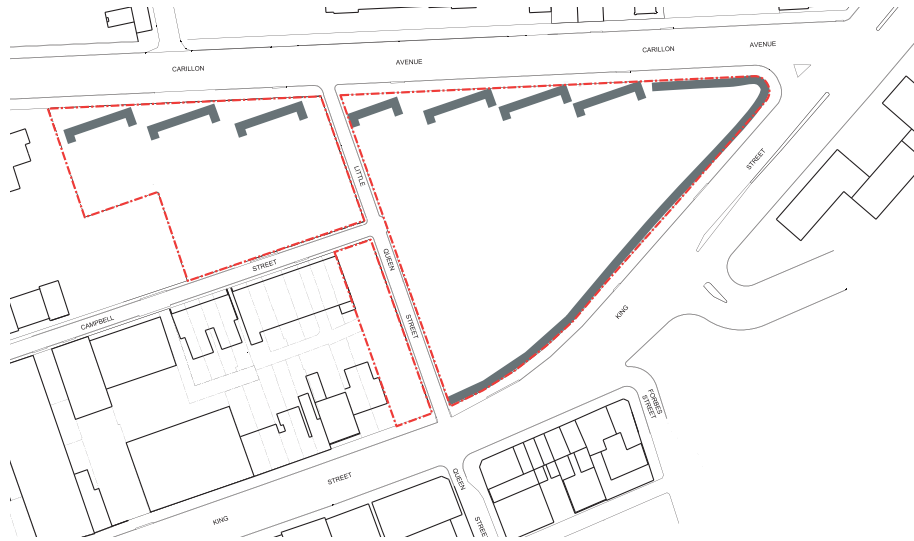


Figure 3.3.1: Diagram of the different streetscape characters of King Street and Carillon Avenue

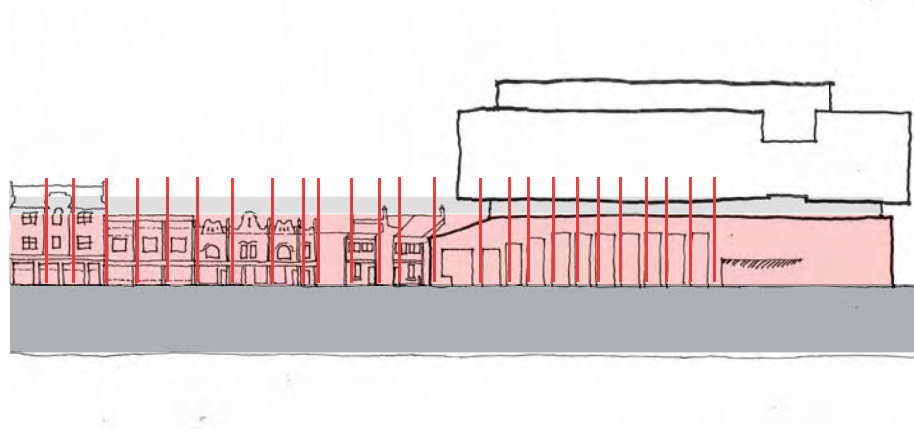


Figure 3.3.2: Diagram of interpreting streetscape elements of King Street

- Acknowledge and interpret the character of King Street in designing new buildings with:
 - expression of the predominantly 2 storey streetwall and parapet that characterises King street
 - a masonry base punctuated with openings
 - vertical articulation
- Maintain the silhouette of parapets against the sky by setting newer taller building elements towards the centre of the site away from the street edge.
- Contribute to the landscape character of Carillon Avenue by positioning buildings at an angled landscape setback to the street.
- Locate the 'short-end' of buildings to address Carillon Avenue to minimise the scale and bulk of buildings.

Principle 4 - Building height

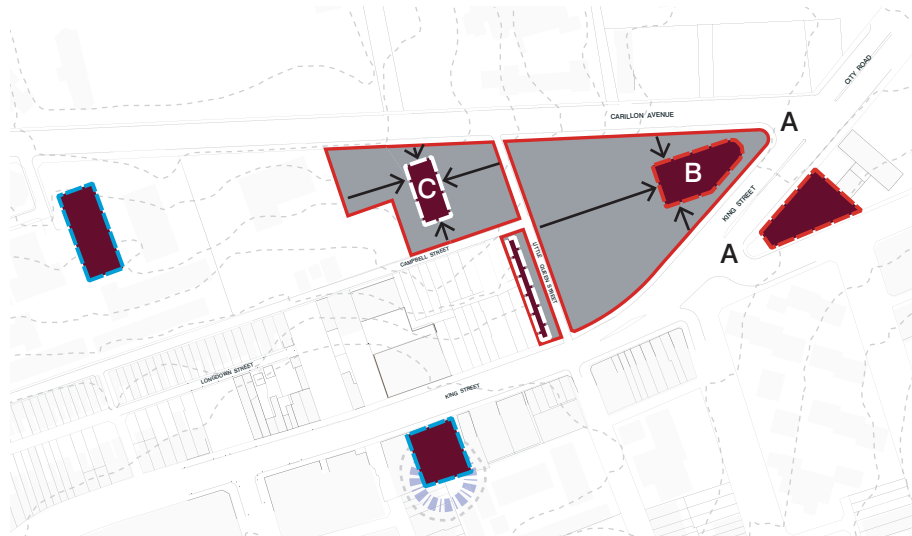


Figure 3.4: Diagram of possible location of taller buildings

- Design new buildings to fit with the future context of the area.
- Locate taller buildings at the gateway to King Street. (A)
- Locate taller building elements away from the street edge towards the centre of the site. (B)
- Locate taller buildings at local low points to minimise their bulk and scale. (C)

Principle 5 - Access & Movement



Figure 3.5: Diagram of the vehicular and pedestrian circulation

- Locate the 'front door' to Moore College along King Street. (A)
- Ensure residential lobbies can be clearly identified and have a street address. (B)
- Provide level and easy access for people using prams and wheelchairs to common areas. (C)
- Consolidate parking underground to reduce on-street parking
- Locate vehicular access along Carillon Avenue and limit vehicular entry points to underground carparks. (D)

03 PRINCIPLES

Principle 6 - Open space & Landscaping



Figure 3.6: Diagram showing open space, landscaping and pedestrian through site links

- Create a hierarchy of open space for the Campus that are flexible to accommodate different functions as required by the College.
- Design the open spaces as outdoor rooms that are extensions of the dining room, teaching spaces, atrium and residential colleges.
- Provide roof terraces where possible to increase the open space of the College. These spaces can be used as break out spaces for teaching facilities, outdoor reading areas for the Resource and Research Centre.
- Ensure that all open space is accessible for people with prams or using wheel chairs.
- Connect the primary open spaces of the Campus - Campus Green, Residential Courtyard and Children's Play Area with legible pedestrian links.

Principle 7 - Crime Prevention Through Environmental Design



Figure 3.7: Jane Foss Russell Building entry forecourt to City Road and clear visual connection into Library

- Provide residential uses on the academic core to allow for 24 hour use and surveillance of the Campus.
- Improve the safety and surveillance of Carillon Avenue by ensuring that garden walls and fences do not exceed 1.2m in height.
- Create entry forecourts to the Campus that define public from private land and provides a transition space that is defensible.
- Encourage active frontages at street level in the form of entry lobbies, shopfronts, and provide clear visual connection into ground level academic spaces such as the Resource and Research Centre.
- Design appropriately lit foyers and entry lobbies for nighttime use.
- Clearly express the 'front door' of the Campus to ensure legibility
- Ensure all buildings have a street address and frontage.

Gross Floor Area (GFA)



Objectives

- To provide sufficient development capacity that enables the College to expand and improve their facilities to meet increasing student enrolments.
- To acknowledge that large sites constrained by heritage and conservation require flexibility in the distribution of GFA.
- To enable development to occur in an orderly manner.

General Controls

Maximum GFA controls for each site are as follows:

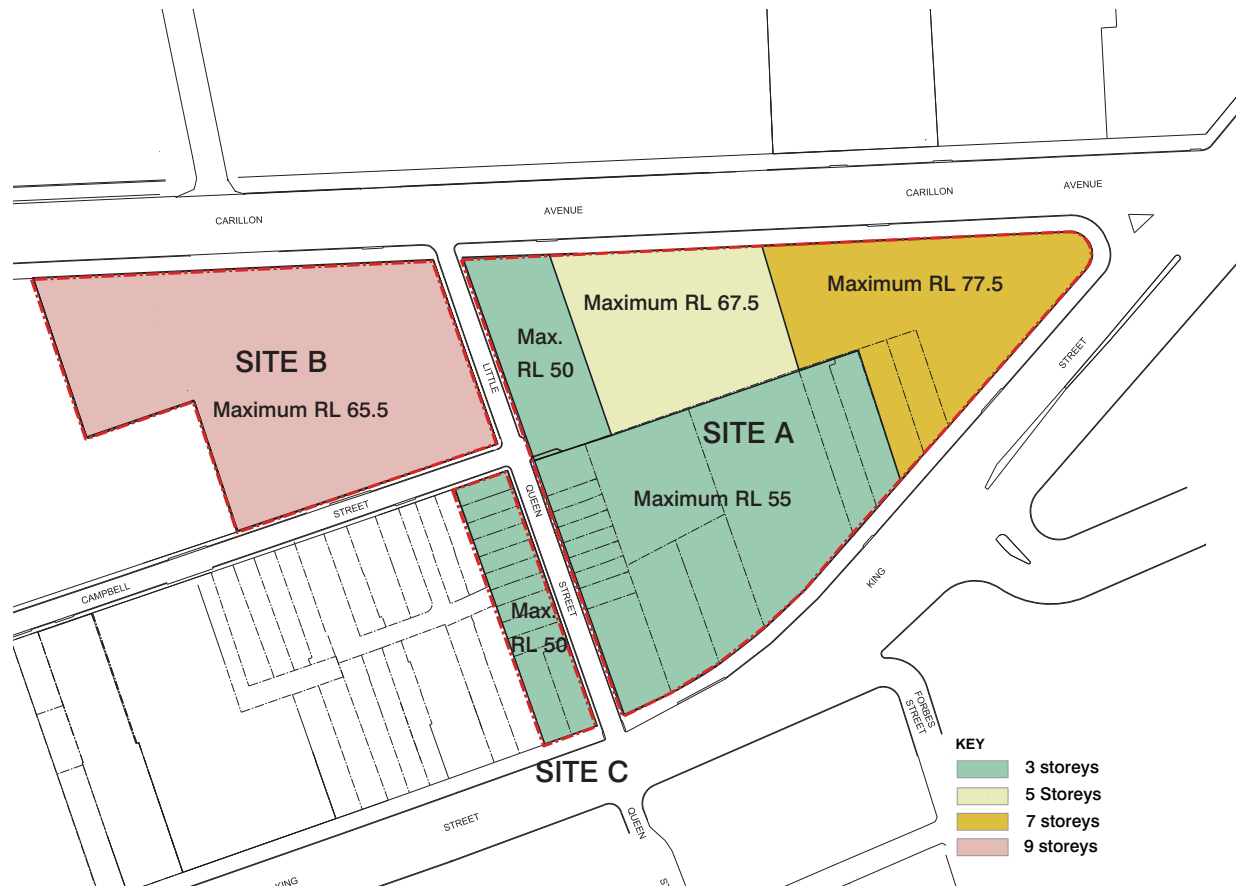
- **Site A = 18,384m² GFA**
 - Academic GFA* = 14,500m²
 - Residential GFA = 3,260m²
 - Retail GFA = 624m²
- **Site B = 11,186m² GFA**
 - Residential GFA = 11,186m²
- **Site C = 1,106m² GFA**
 - Residential GFA = 1,106m²

*GFA does not include non-habitable functions such as storage underground.

Figure 4.1: Gross Floor Area diagram

04 BUILT FORM CONTROLS

Overall Building Height in Storeys



Objectives

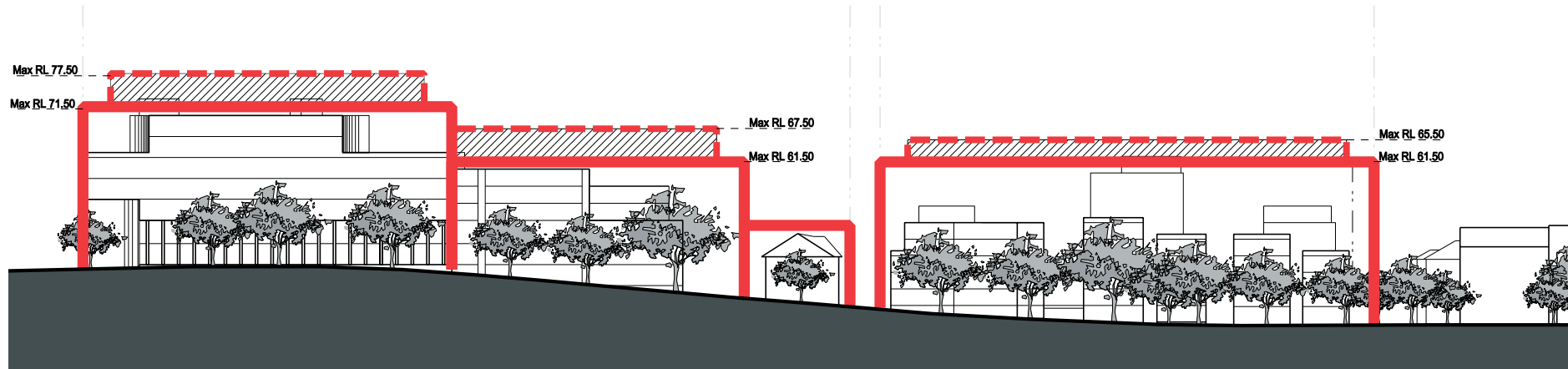
- To create a 'gateway' to King Street
- To ensure appropriate floor to floor heights are provided for academic, residential and retail uses.
- To relate the scale of new buildings to contributory items in conservation areas and heritage items.
- To locate taller buildings where they have minimal impact on the amenity of adjoining properties.
- To allow sufficient height to accommodate topography across the site, roofs, parapets, and access to roofs, roof gardens and terraces, plant rooms and service areas.

General Controls

- Overall maximum building heights in storeys are as indicated in *Figure 4.2.1: Height diagram*
- Optimum floor to floor heights are as follows:
 - 4m for academic uses
 - 3.1m for campus residential uses
- These controls assume:
 - 6m for roof, plant and services for buildings that are predominantly academic; and
 - 4m for roof, plant and services for buildings that are predominantly residential.
 - Maximum 1.2m for parapets
- These controls are to be read in conjunction with:
 - Street frontage heights and upperlevel setback controls
 - Street setback controls
 - Upper level setbacks for buildings adjacent to Heritage

Figure 4.2.1: Height diagram

Overall Building Height in Storeys



KEY


-  Plant rooms, lift towers and services areas

Figure 4.2.2: Diagram showing proposed height controls and the proposed concept plan

04 BUILT FORM CONTROLS

Street Frontage Heights

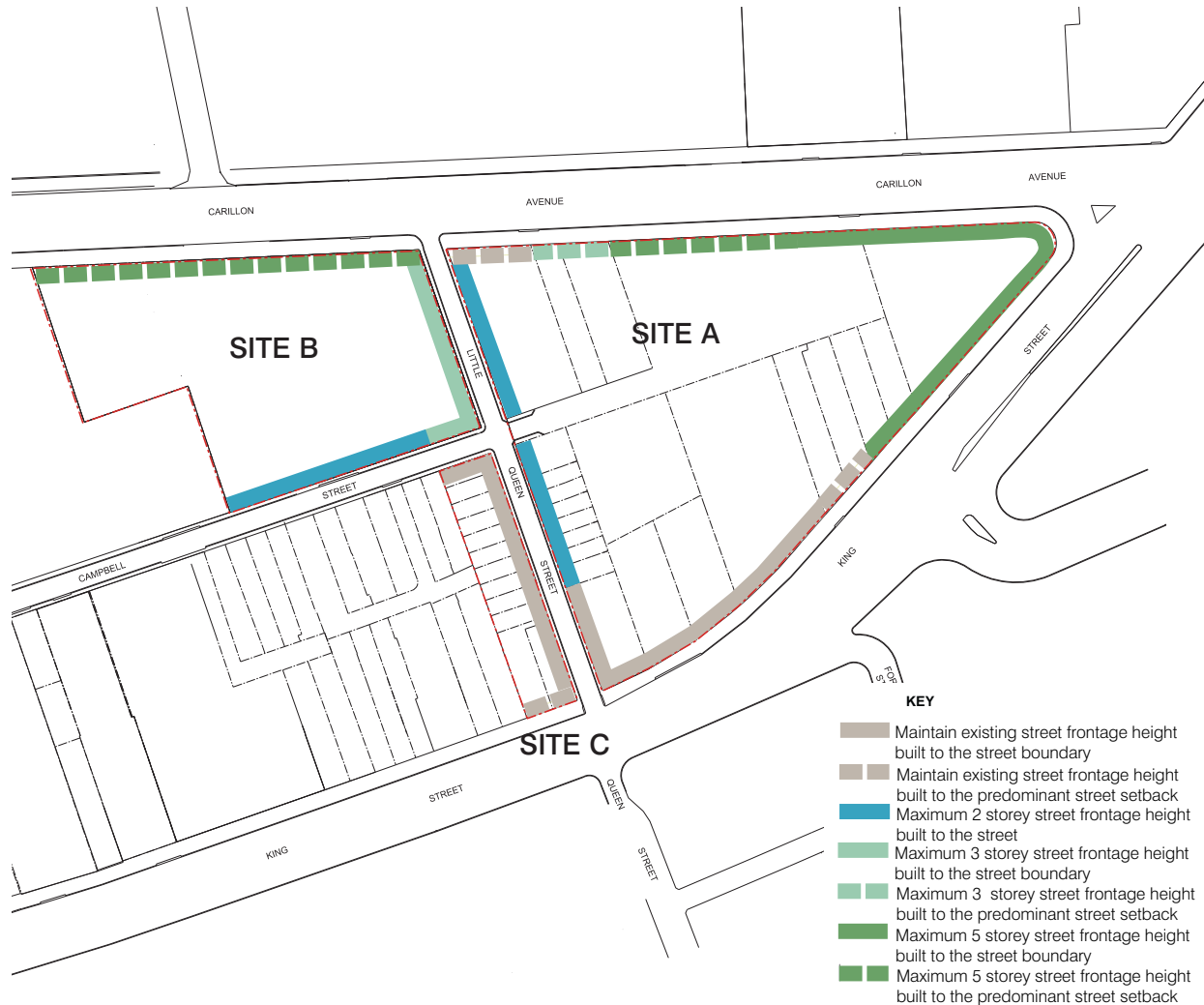


Figure 4.3: Street frontage height diagram

Street frontage heights relate to the height of the building interface to the street. These heights follow the intent of the proposed City of Sydney controls for height recognising the City's intent to maintain the existing street scale and proportion.

Objectives

- To manage change as redevelopment occurs.
- To enhance the streetscape scale of King Street Carillon Avenue, Little Queen Street and Campbell Street.
- To retain the intended street frontage scale of the City of Sydney proposed height controls.
- To locate higher building heights away from the street frontage.
- To allow for parapets and other vertical architectural elements

General Controls

- Maximum street frontage heights in storeys are indicated in *Figure 4.3.1: Street frontage height diagram*
- Street Frontage Height controls are to be read in conjunction with:
 - Overall building height in storeys control
 - Upper level setback controls
 - Street setback controls
 - Upper level setbacks for buildings adjacent to Heritage

Upper Level Setbacks

Upper level setbacks are the distance upper levels of proposed buildings are setback from the Street Frontage Heights and from adjacent heritage buildings to achieve the overall maximum building height.

Objectives

- To provide building modulation and articulation.
- To reduce the visual impact of buildings by locating additional building height away from the street edge inwards to within the site.
- To maintain the scale of streets as change occurs
- To respect the scale of existing heritage buildings within and adjacent to the Concept Plan.
- To optimise solar access to adjacent residential buildings.

General Controls

- Minimum Upper Level Setback controls are indicated in *Figure 4.4.1: Upper level setback diagram*
- Upper Level Setback controls are to be read in conjunction with:
 - Overall building height in storeys control
 - Street Frontage Height
 - Street setback controls

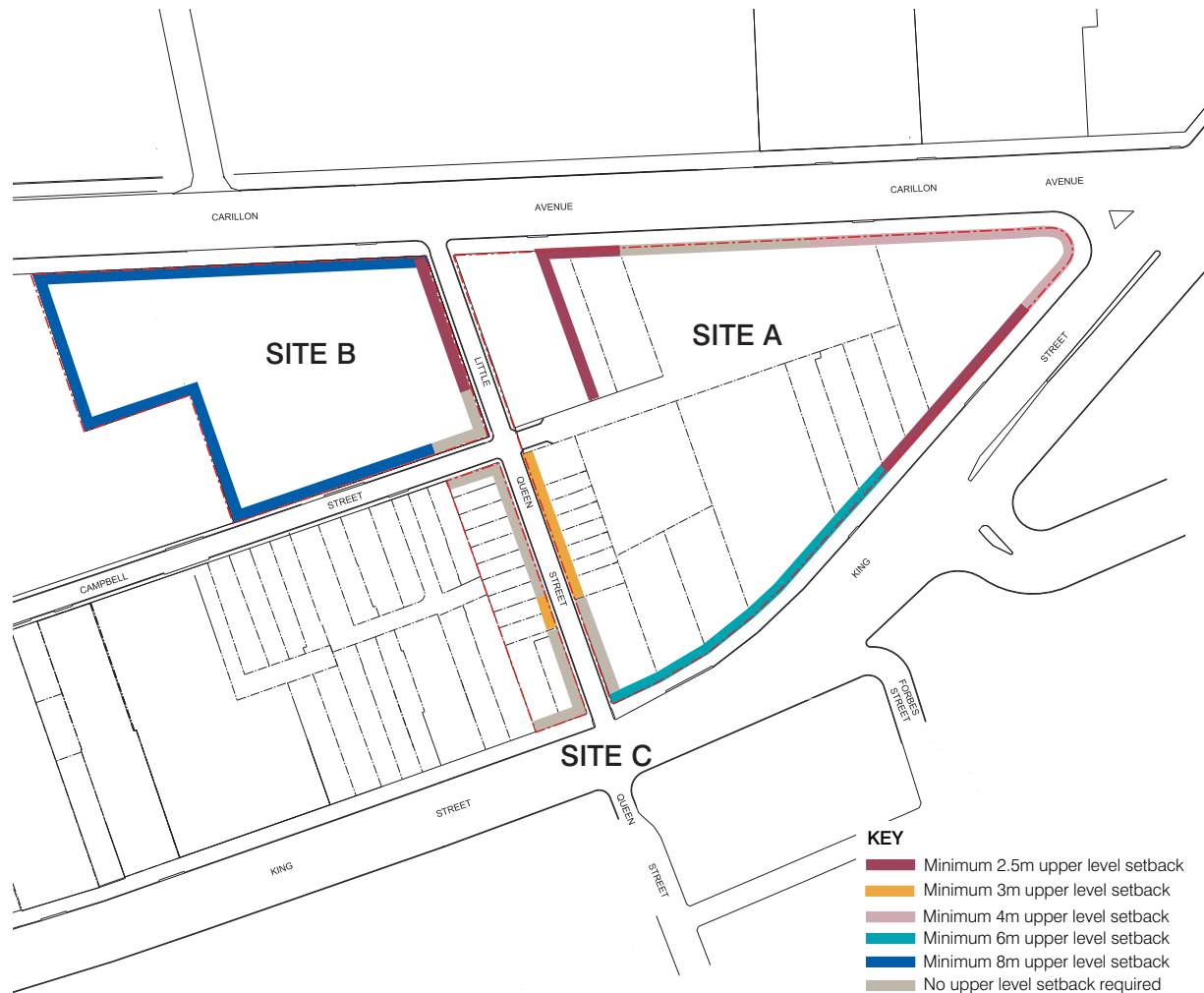


Figure 4.4.1: Upper level setback diagram

04 BUILT FORM CONTROLS

Street Frontage Heights & Upper Level Setbacks

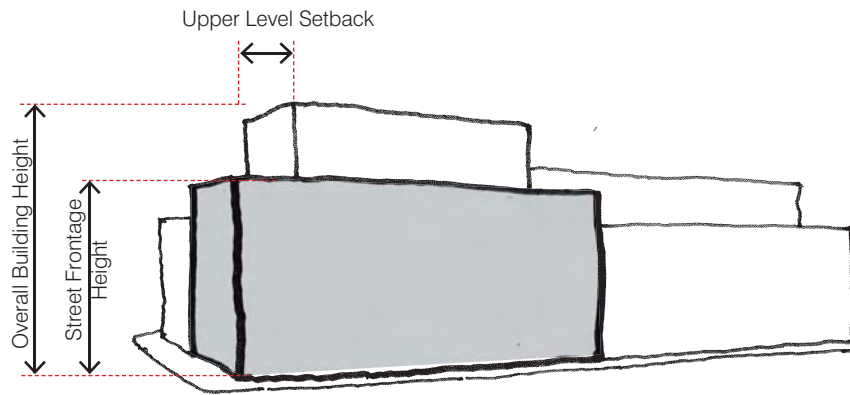


Figure 4.4.2: Relationship of street frontage height to overall height

General Controls

- This diagram demonstrates the relationship of Street Frontage Heights to the Overall Building Height of proposed buildings.
- Upper levels of buildings are to be setback from the Street Frontage Heights before achieving the Overall Building Heights

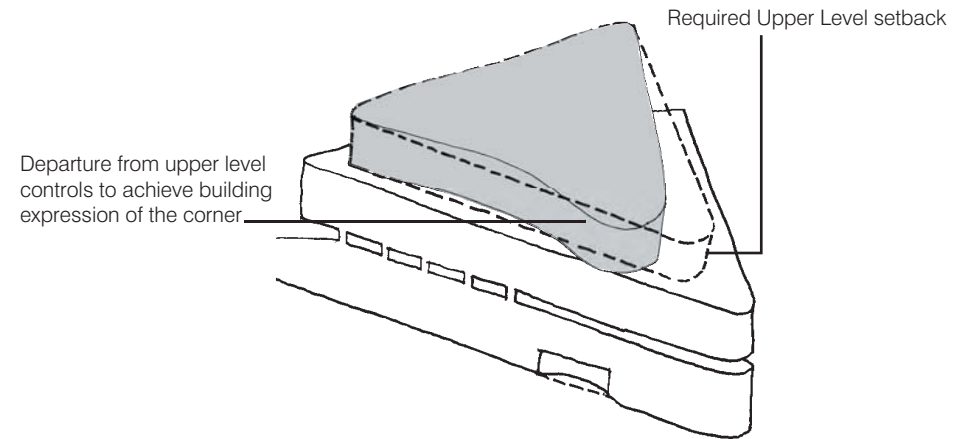


Figure 4.4.3: An interpretation of the specific controls for upper level setbacks

Specific Controls

- Minimum upper level controls apply in all cases, except:
 - Where employed to create a corner element.
 - To enhance building expression by limiting building length.
- This diagram illustrates one possible interpretation of the specific controls that allows a departure from the General Controls for Upper Level Setbacks to allow for building expression, articulation and architectural features.

Upper Level Setbacks for Buildings Adjacent to Heritage

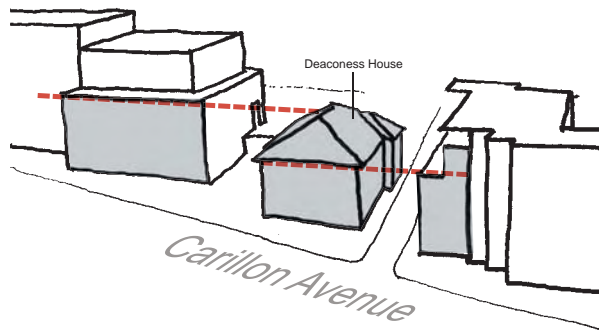


Figure 4.4.4: Relate to the scale of Deaconess House

Specific Controls

- Upper Level Setbacks apply for buildings adjacent to House.
- Within the Overall Building Heights:
 - Adjacent to Deaconess House new buildings can relate to the scale through facade treatments, building modulation, change of materials etc.



Figure 4.4.5: Relate to the scale of Campbell Street Terraces

Specific Controls

- Within the Overall Building Heights for proposed buildings the following applies for new buildings opposite the existing Campbell Street terraces:
 - Buildings are to have a maximum street frontage height of 2 storeys; and
 - A minimum upper level setback of 3m allows for an additional storey and/or roof form, otherwise an upper level setback of 8m is required before achieving the overall height.

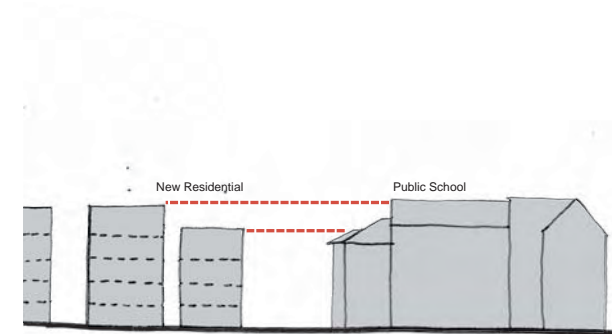


Figure 4.4.6: Relate to the scale of Newtown North Public School

Specific Controls

- Within the Overall Building Heights for proposed buildings the following applies for new buildings adjacent to the Newtown North Public School
 - Buildings are to step down in height to relate to the scale of the Newtown North Public School.

04 BUILT FORM CONTROLS

Street Setbacks

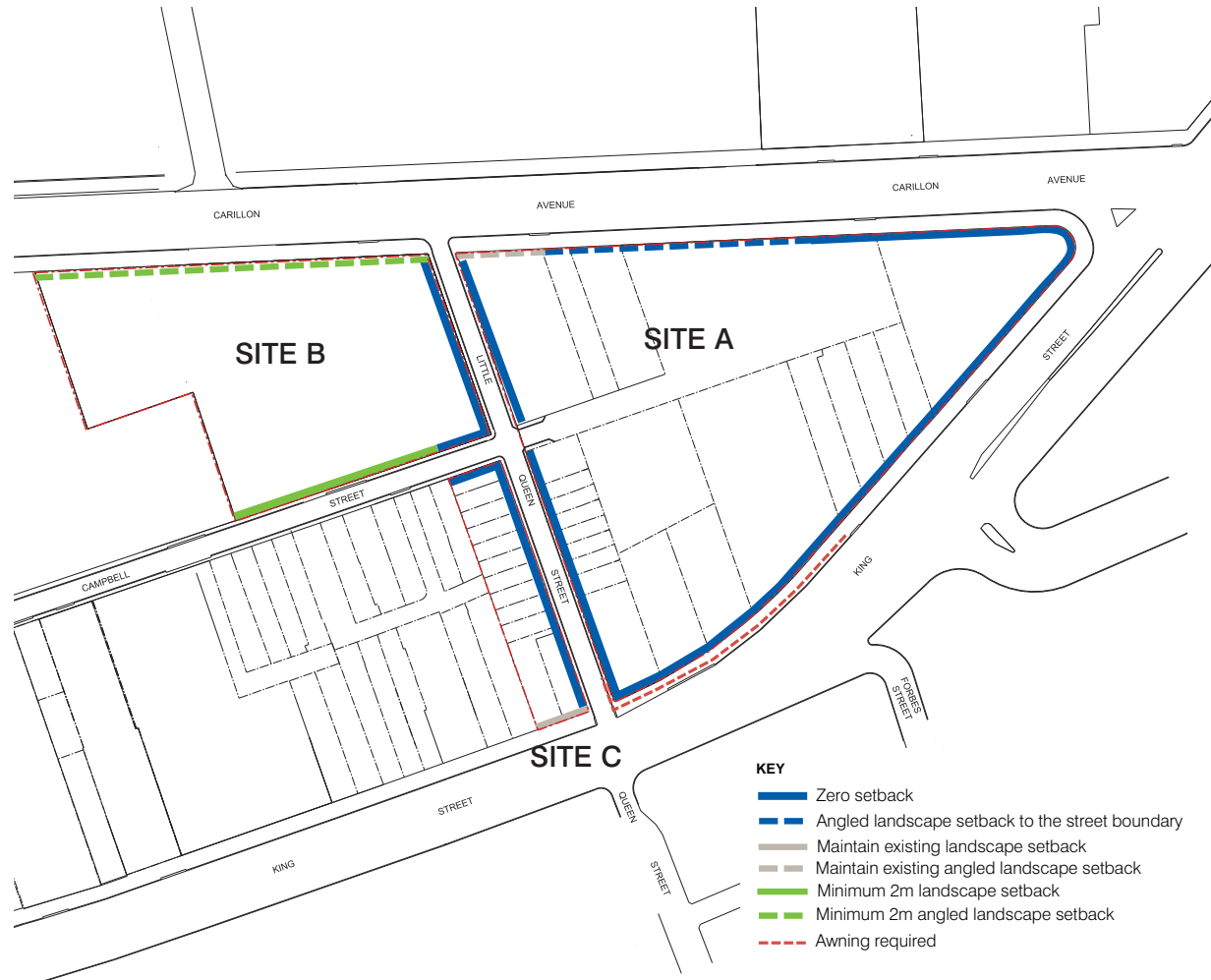


Figure 4.5.1: Street setback diagram

Objectives

- To manage change as redevelopment occurs.
- To maintain and reinforce the character of King Street as the 'high street' of Newtown. Characterised by buildings typically built to the street boundary.
- To maintain and reinforce the character of Carillon Avenue as a 'valley road'. Comprised of a predominant pattern of angled setbacks with landscaping in the private domain that contributes to the overall landscape quality of the public domain.
- To enhance the residential streetscapes of Campbell Street and Little Queen Streets.

General Controls

- Minimum street setbacks indicated in *Figure 4.5: Street setback diagram*
- Awnings are required where indicated in *Figure 4.5: Street setback diagram*
- Awnings are to be a continuous box awning at the same height and depth as adjoining buildings.
- Along Carillon Avenue proposed buildings are to follow the existing predominant pattern of buildings located at an angle to the street. The angle is related to the subdivision pattern with the building facade perpendicular to the side boundaries.

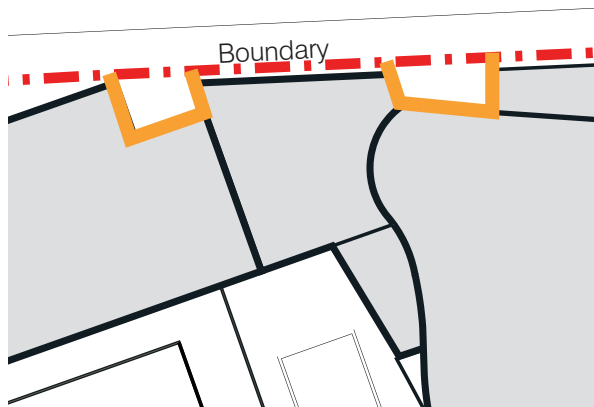


Figure 4.5.2: Exception to zero setback control

Specific Controls

- Where Zero Setbacks are indicated this is a predominant build-to line. Exceptions are permitted:
 - Where entry forecourts to the Campus are required.
 - To provide building articulation that will modulate building length, bulk and mass.
 - To provide footpath widening

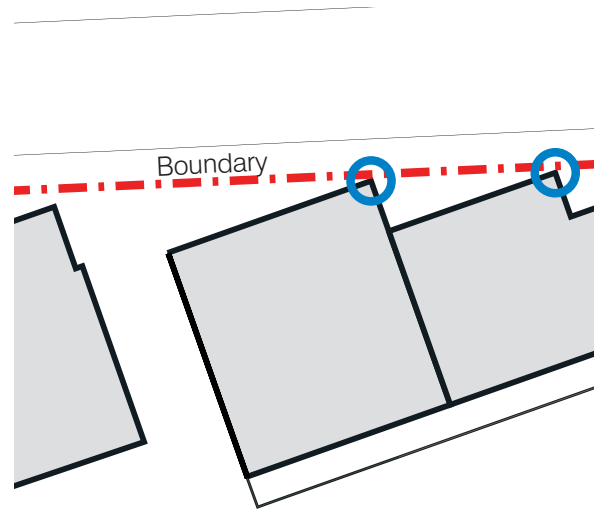


Figure 4.5.3: Angled landscape setback to the street boundary

Specific Controls

- Where Angled Landscaped Setbacks to the Street Boundary are indicated:
 - Buildings are permitted to have one corner built to the street boundary.

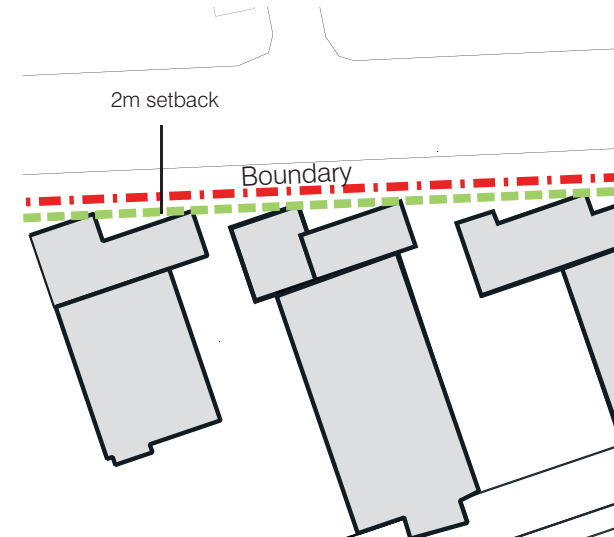


Figure 4.5.4: Angled landscape setback - 2m setback from the street boundary

Specific Controls

- Where a minimum 2m angled landscape setback is indicated:
 - Buildings are to be located to have an overall street setback of 2m.

04 BUILT FORM CONTROLS

Open Space & Landscape



Figure 4.6: Open space and landscape diagram

Objectives

- To provide a Campus Green that encourages collegiate interactions between students, Faculty and staff
- To create safe secure communal open space for Campus residents.
- To contribute to the landscape character of Carillon Avenue.
- To provide entry forecourts to the Campus.
- To create pedestrian links between residential and academic activities.

General Controls

- A minimum area of 1200m² is required for the Campus Green with a minimum dimension of 20m. 25% of the Campus Green is required to have sun access for a minimum of 2 hours on the last day of Winter Semester. (A)
- A primary communal open space with a minimum area of 480m² and minimum dimension of 20m is required for Campus residential uses. 50% of the communal open space in Site B is required to have sun access for a minimum of 2 hours on the last day of Winter Semester. (B)
- Landscape setbacks along Carillon Avenue are required to have trees, shrubs and the like that contribute to the landscape quality of the public domain.
- Fences and garden walls to Carillon Avenue are permitted to be a maximum of 1.2m high.
- Provide roof gardens and terraces with a minimum dimension of 4m.