

# **Greystanes Estate Southern Employment Lands URBAN DESIGN PLAN**

**Issue J - July 2008**

# CONCEPT

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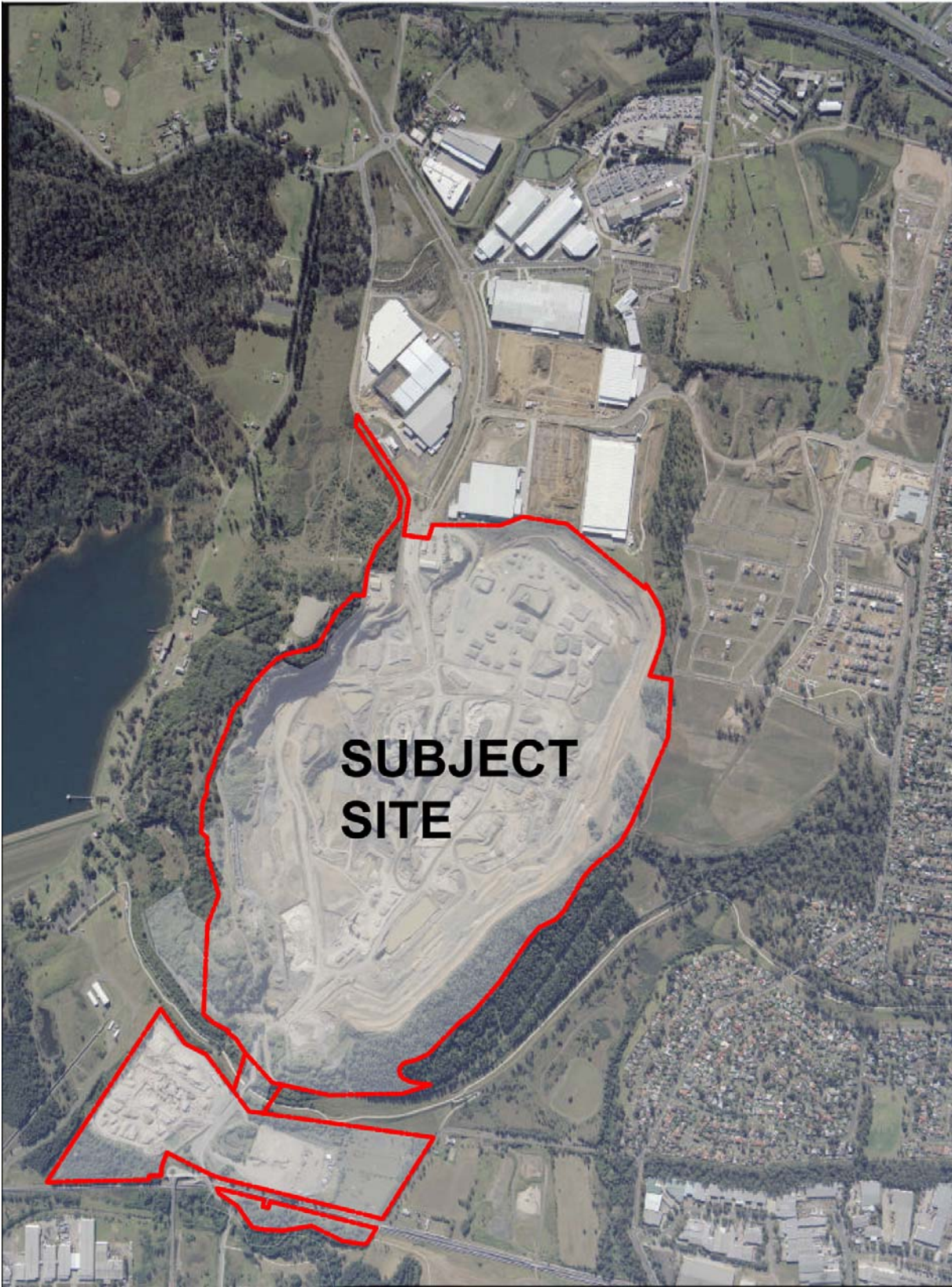


Figure 1.1.1: Aerial Photo of existing site

# 1 INTRODUCTION

## 1.1 INTRODUCTION

This Urban Design Plan applies to the land commonly known as the “Southern Employment Lands” (SEL) in the Greystanes Estate, as shown in Figure 1.1.1

The Greystanes Estate is located in close proximity to the M4 Motorway, Great Western Highway, M7 Western Sydney Orbital road system and the Cumberland Highway providing high levels of accessibility to Metropolitan Sydney. Also, unlike other Western Sydney employment lands, services are readily available making it ideal for creating employment opportunities in the near future by either utilising or augmenting infrastructure.

The ultimate physical attributes of the employment zone, in addition to its accessibility to a regional transport network, make it ideal for a range of employment developments. It is expected that it will meet a demand for a variety of land parcel sizes to accommodate the ever increasing needs of high technology uses, manufacturing, research, warehousing and distribution with office functions.

This Urban Design Plan (UDP) is divided into 2 parts which comprise the Part 3A application:

- PROJECT APPROVAL: The first part (sections 1, 2 and 3), describe the proposal. The UDP is to be read in conjunction with the *Greystanes Estate: Southern Employment Lands Environmental Assessment Report* prepared by Environmental Resources Management Pty Ltd.
- CONCEPT APPROVAL: The second part (section 4), describes the Objectives, Design Guidelines and ‘Exempt and Complying Development’ requirements that will apply to future development on individual lots. These lots are divided into 4 precincts, where the requirements vary due to accommodating a range of employment developments, land use, position and urban context. Developments on these sites will be subject to subsequent approvals

The UDP has been updated (May 2008) to reflect the Minister’s approval dated 20 July 2007, the subsequent Part 3A amendment approved (11 January 2008) and the condition 12 of the concept approval requiring the ecologically sustainable development principles to be revised.

## 1.2 ABBREVIATIONS

|             |                                        |
|-------------|----------------------------------------|
| AS          | Australian Standards                   |
| BCA         | Building Code of Australia             |
| C.1,2, etc. | Community Area Number 3...             |
| DDA         | Disability Discrimination Act          |
| EA          | Environmental Assessment               |
| EP&A        | Environmental Planning and Assessment. |
| FSR         | Floor Space Ratio.                     |
| GFA         | Gross Floor Area                       |
| OSD         | On Site Detention                      |
| NEL         | Northern Employment Lands.             |
| SEL         | Southern Employment Lands.             |
| UDP         | Urban Design Plan.                     |





Figure 2.1.1.1: Concept Masterplan

## 2 CONCEPT

### 2.1 CONCEPT

The vision is to transform a working quarry into a high standard industrial business estate comprising a range of complimentary uses and support facilities all of which provide a range of employment opportunities. The concept explores a synergy between users, precincts, a variety of lot sizes, efficient services and transport infrastructure, environmentally sustainable development and the optimisation of pre-existing infrastructure.

The vision is to create a well-served, adaptable and efficient industrial subdivision that exploits its unique locality and strategic position to attract a myriad of diverse and complimentary users. Encouraged by planning controls specifically tailored to address the changing face of technological advancement, industrial processing and workforce expectations, businesses located within the development will not only have at their disposal the infrastructure to support their growth but also the flexibility to adapt their operations to industry change.

The concept, shown in Figure 2.1.1 will be created by a successive exit strategy for quarry operations with the staged release of land and associated infrastructure for development.

### 2.2 AIMS & OBJECTIVES

The key objective of this document is to provide an urban design framework that guides the development of the site and provides an environmentally attractive and sustainable industrial business precinct. The aims and objectives of this Urban Design Plan are:

- to facilitate the State Government's objectives of strengthening the provision of employment lands in Western Sydney, the major growth centre;
- to provide employment lands in the geographical centre of Sydney that are well located and accessible to major transport routes and workforce, meeting the demands of industry;
- to provide a framework for designing and locating development to ensure the best possible urban design outcomes including landscape, user amenity and visual character; and
- to draw urban design principles from an analysis of the site (section 2.3) and its context; and influence parameters including setbacks, building materials and colour to minimise visual impact from main roads.



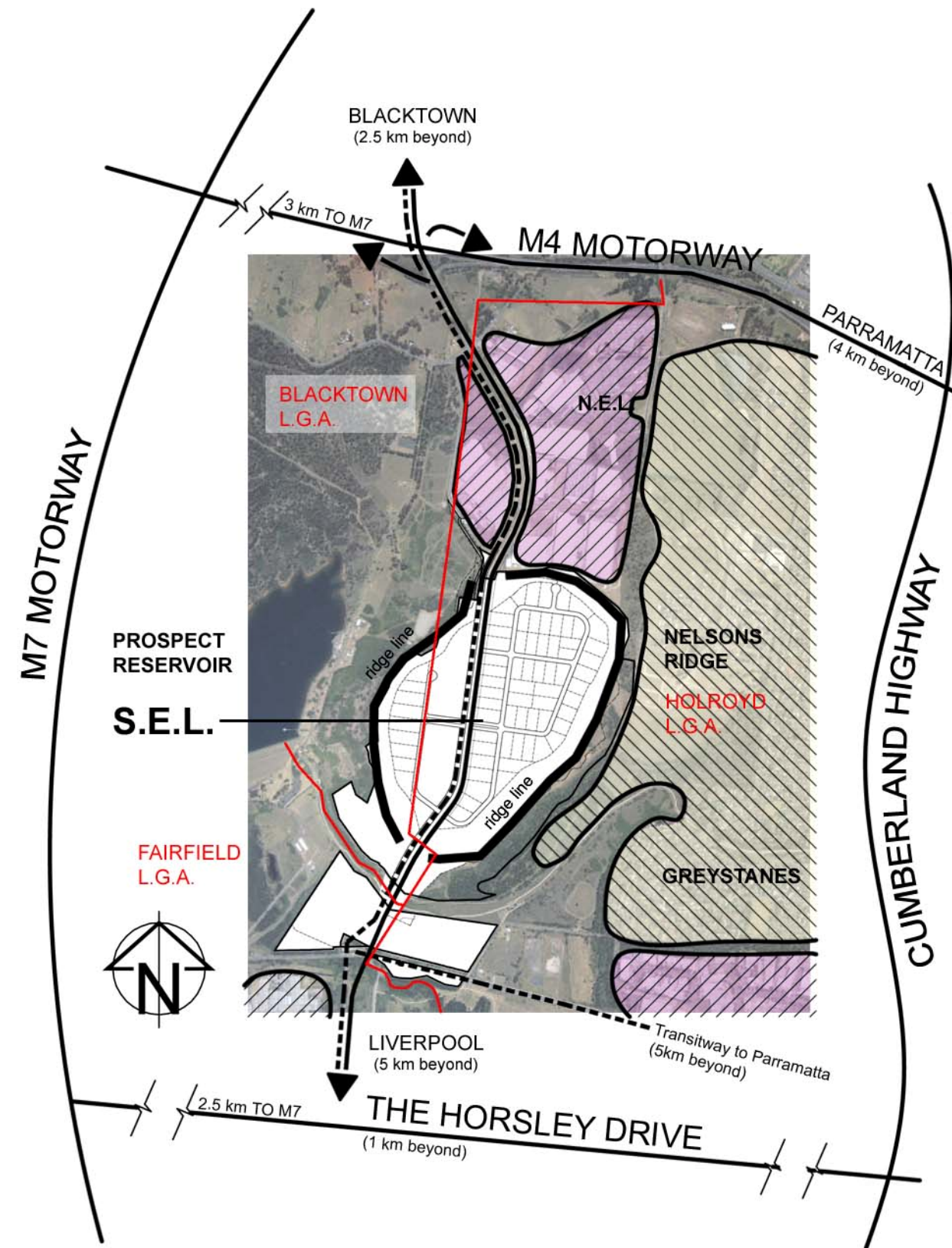


Figure 2.3.1: Site Analysis

## 2.3 SITE ANALYSIS

Greystanes Estate measures approximately 330 hectares and is located within the LGAs of Holroyd, Blacktown and Fairfield. In recent years significant parcels of land have been developed as residential (Nelson's Ridge) and industrial subdivisions (Northern Employment Lands – NEL). The remaining areas of land are currently being used for quarrying and associated activities. The quarry, known as "Prospect Quarry", has been producing aggregate for use in construction materials, for the last 100 years however, it is nearing the end of its economic life and is scheduled for decommission at the end of 2007.

It is the quarry itself, together with 3 other smaller adjacent parcels of land that form the SEL.

### Surrounding Development

To the north of the site lies the predominantly established Northern Employment Lands (NEL), an industrial subdivision consisting of lots sizes of approximately 5 hectares. Further north of the NEL are the M4 Motorway and the suburbs of Prospect, Girraween and (further afield) Seven Hills and Blacktown. Areas directly south of the site consist of a variety of open space regions, specifically Prospect Creek, Hyland Road Park (incorporating the Small-Bore Rifle Range and Pigeon Club), Gipps Road Sporting Complex, Rosford Street Reserve, and Long Street Park. Further afield again are the existing industrial /manufacturing areas of Wetherill Park, Smithfield and Fairfield West.

To the east of the site is the residential areas of Nelson's Ridge and the suburb of Greystanes.

To the west of the site is the Prospect Reservoir and Eastern Creek.

Surrounding development is shown in Figure 2.3.1

### Infrastructure Interface

The M4 Motorway and the Great Western Highway lie to north of the site, providing high levels of accessibility to Metropolitan Sydney. Between these arterial roads and the SEL is the NEL, which is serviced by the established north-south "Reconciliation Drive" and secondary road network. A Bus Transitway dedication is located parallel to Reconciliation Drive.

To the south, 'The Horsley Drive' and the Liverpool-Parramatta Bus Transitway are the main east-west arterial links from Wetherill Park. There is currently no public vehicular connection of Prospect Quarry to the arterial road network to the south.

The existing sections of the 'Lower Prospect' cycleway, adjacent to Widemere, utilise the path of the former Sydney Water Supply Canal to provide pedestrian and cycle movements between Prospect and Greystanes and beyond. (BikePlan 2010 – Bicycle Masterplan – Section #.3: - Bay to Mountains via Holroyd)

To the west lies the M7 Western Sydney Orbital road system, while to the east of the site are the heavily patronised routes offered by the Greystanes Road – Gipps Road – Hassell Street linkage, and further afield, the Cumberland Highway, both orientated north/south.





Figure 2.3.2 Panorama from Precinct 1 (elevated)



Figure 2.3.3 North-eastern batter looking south



Figure 2.3.4 "One tree" hill on eastern batter



Figure 2.3.5 "P2 Crusher" landform



Figure 2.3.6 North-western batter

## Views

There are virtually no visual implications arising from development within the SEL, given that predominantly all development will be located on the finished quarry floor. The distance from the top of the existing quarry walls to the finished quarry floor is approximately 60m, and development controls are being proposed for primary building heights not to exceed 25m.

There are four (4) parcels of land included in the SEL that may be visible beyond the boundaries of the site. They are:

- Precinct 1 (elevated) located toward the crest of the north-western quarry wall (described in detail in section 3.2 and 4.1);
- Widemere East precinct located on the southern foothills of the existing quarry (described in detail in sections 3.2 and 4.2);
- Widemere West precinct located on the southern foothills of the existing quarry (described in detail in sections 3.2 and);
- the 'Southern-Cut' through the southern end of the quarry required to form the arterial road and transitway connections.

## Orientation

The site has a predominantly north-south orientation. The proposed road network including Reconciliation Drive predominantly follows this bearing (reducing early morning and late afternoon glare issues). The proposed lot distribution roughly follows a N/S and E/W alignment of varying proportions in a regular matrix.

## Flora and Fauna

The site, given its historical and current use as a working quarry, is largely barren of all flora and fauna. Existing evidence of flora and fauna is restricted in part to the upper reaches of the surrounding quarry walls, located on eastern Ridgeline Reserve and the western batter adjacent to Prospect Reservoir, forming part of the Western Sydney Regional Parklands.

Vegetation near Widemere East and West present in parts examples of two "*endangered ecological communities*" – Swamp Oak Floodplain Forest (SOFF) and Swamp Sclerophyll Forest on Coastal Floodplains (SSFCF), however much of the vegetation is degraded or disturbed, with substantial areas of weed infestation. There is also a narrow band of planted Swamp Oak and occasional eucalypts along the eastern boundary of Widemere East. This vegetation is to be retained.

## Topography

Prior to the commencement of quarry activities over 100 years ago, Prospect Hill was the dominant landform in the area. Extensive quarrying activity has modified the topography significantly. The landform today presents a crater-like appearance.

As part of the quarrying exit activities, the quarry floor is being progressively shaped to an essentially flat landform with a slight fall toward the southern end and to the toe of the quarry walls. The stabilised quarry walls enclosing the quarry on the eastern, western and southern edges are steep and severe in nature, rising up to 60m from the quarry floor.

On the outer faces of the quarry walls, the topography is moderately steep to the south and west and more rolling in nature to the east toward residential areas. The NEL to the north of the quarry has been benched to an essentially flat landform.



### 3 URBAN DESIGN PRINCIPLES

#### 3.1 CHARACTER

The SEL will accommodate a variety of land uses and as such will present several different character statements. Each precinct is to develop an individual yet complementary character to adjacent precincts through diversified uses, urban design controls and streetscape design management.

The SEL includes several parcels of land within and adjacent to the existing quarry. All employment land, which is bounded by the former quarry walls, is identified as either Precinct 1 or 2. External to the quarry and on the northern batter adjacent Prospect Reservoir is a small elevated parcel of land to be included in Precinct 1. Access to this parcel of land is by way of Picrite Close and not via the proposed Reconciliation Drive extension. The two parcels of land to the south of the quarry, identified as 'Widemere East' and 'Widemere West' are nominated as Precinct 3 and Precinct 4 respectively.

The SEL will be serviced by an extension to Reconciliation Drive from the north, forming an arterial connection through the site to Wetherill Park. The primary and secondary road network establishes a regular geometric matrix of lot distribution, with long avenues of regular street frontages prevailing. Vehicular access to all development lots is restricted to secondary road frontages and intersections on Reconciliation Drive are kept to a minimum.

Along the western side of Reconciliation Drive, a business park and service retail uses of high quality will be located. Multi-storey, multi-use buildings, extensive landscaping and passive recreational areas are to be provided in this area. This area is nominated as Precinct 1.

To the east of Reconciliation Drive and also to the west of Precinct 1, industrial subdivisions are located. Developments will be of a smaller scale to that present in the NEL, featuring a higher level of office component, and greater intensity of development and activity.

Widemere East will essentially accommodate utilities and stormwater management facilities servicing the SEL. Widemere West will retain its current use as a construction materials recycling facility.





### 3.2 LAND USES

The objectives for the SEL will be to provide land for implementing employment-generating development. This is to include a range of industrial manufacturing, warehousing, high technology, storage, research uses and office space. It will contribute to the economic, employment and social growth of the area. The primary differences between the environment created within the NEL (under SEPP 59) and the new SEL development will be the density of development and proportion of office space present. This will be stimulated by the provision of a business park in Precinct 1, smaller lot sizes, and modification to planning controls to permit not only auxiliary but also associated office use in Precinct 2. The increased density and corresponding amplified intensity of pedestrian activity will assist in the sustainability of a high quality, relatively level, park-like industrial environment. Development will be permitted in the areas shown on Figure 3.2.1, precincts 1 through to 4.

#### Precinct 1 – Business Park and Service Retail Uses

The Business Park will be situated on the western side of Reconciliation Drive. It will form a key element in the creation of employment in the area presenting a high degree of visibility and accessibility, and being ideally located adjacent to the future Bus Transitway. Highly pedestrian-permeable building envelopes are envisaged, situated within a park-like setting.

The Business Park will offer flexible business accommodation suitable for one or more of the following uses:

- Office premises,
- Product assembly and service,
- Research and Development,
- Light industries,
- Warehouse or distribution facilities;
- .Function centres;
- Recreational facilities;
- Standard industries.

In addition to the Business Park, service retail uses will be accommodated within this precinct, providing employment opportunities and retail services for the area. Service Retail uses may include;

- A Tavern/Hotel and associated restaurants,
- Fast food outlets,
- Automotive Service: including a service station, car/truck wash, spare parts service/retail,
- Business Support: including office supplies and furniture, printing, office equipment repair/sales,
- Convenience Retail: including a small supermarket, newsagency, milk bar, pharmacy, café, dry cleaners or similar, and
- Community/Recreational facilities such as child care, indoor sports or fitness centres.

Development controls as outlined in Section 4 will be imposed to restrict the scale and size of service retail uses so as to be compatible with the retail hierarchy of the district.

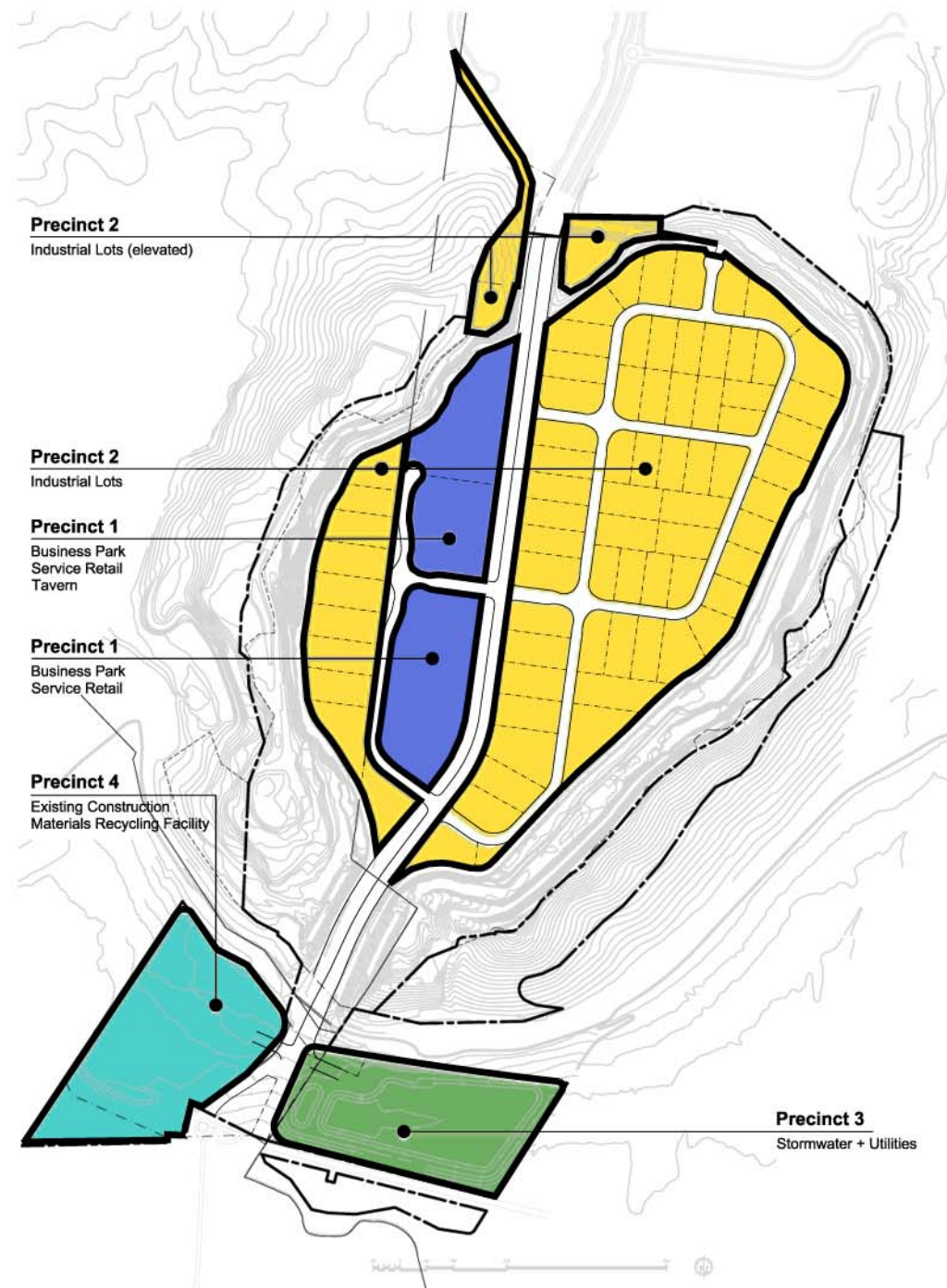


Figure 3.2.1: Land Use Plan



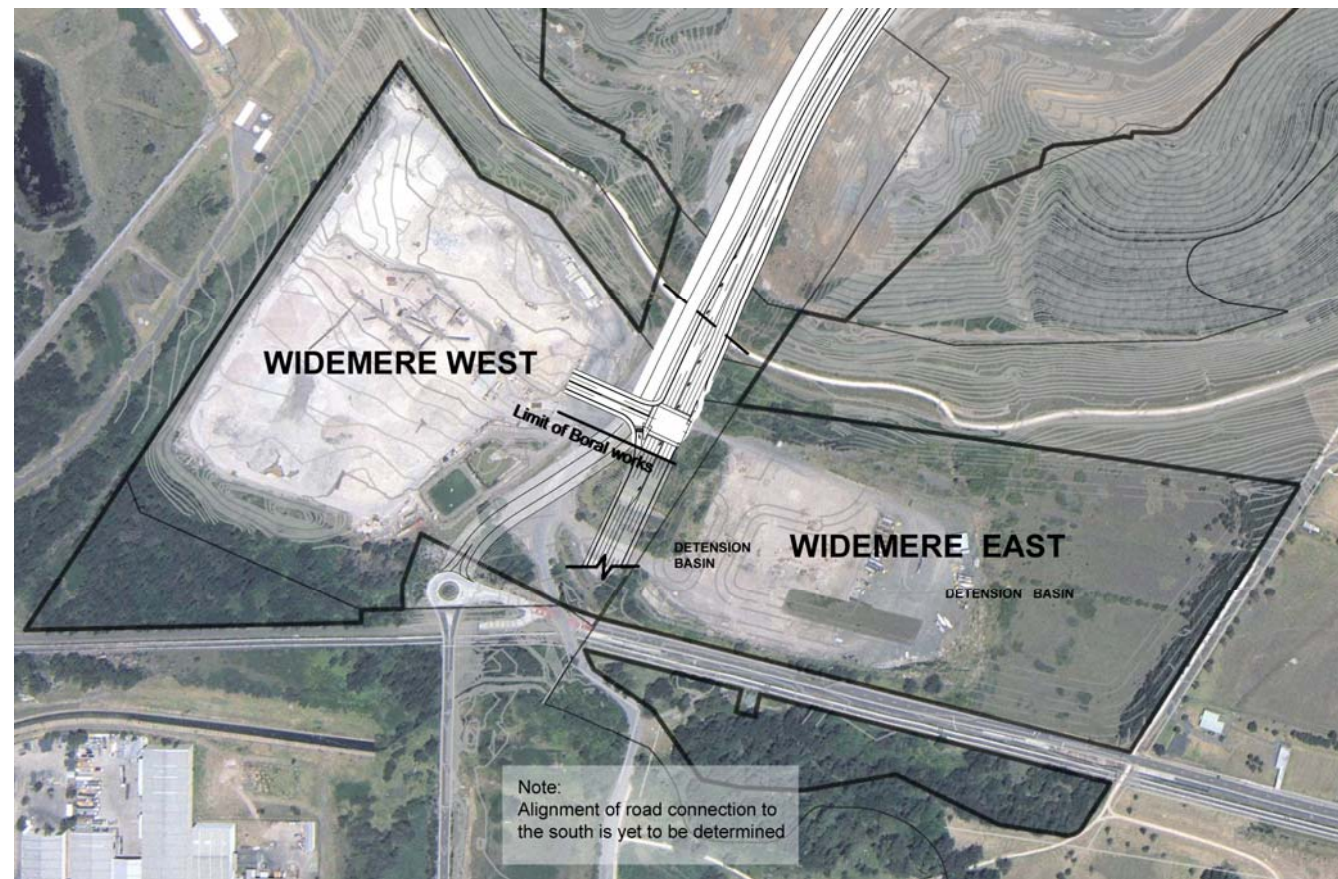


Figure 3.2.2 Widemere

### Precinct 2 – Industrial Subdivision

The primary industrial subdivision will be located within the existing quarry, clustered either side of Reconciliation Drive (although predominantly to the east). The subdivision will facilitate a range of high technology, research, warehouse, distribution and manufacturing uses. Lots within 400 metres of a bus stop may have a maximum of 50% of total Gross Floor Area (GFA) used for the purpose of associated offices. Lots that do not have any part of their boundaries within 400 metres from a bus stop may have up to 30% of gross floor space as associated offices.

*Associated Offices* means offices that are located on the same land as a permissible development and are part of the business that is operating on the land.

Lot sizes are proposed in a range of sizes, from approximately 0.25Ha to 2.5Ha.

A small elevated parcel of land located on the north-western batter also falls within Precinct 2 and is nominated for hotel accommodation.

### Precinct 3 – Widemere East

Within the area known as Widemere East, a significant portion of land will accommodate stormwater / sediment basins, and a water treatment basin to service the SEL.

### Precinct 4 – Widemere West

Boral Recycling currently occupies this site, under a Development Consent issued by the Minister for Planning (2002). Although approval is not being sought under Part 3A of the Environmental Planning and Assessment (EP&A) for an amendment to the existing use of this precinct, it is envisaged that should its use change, then characteristics and controls similar to that of Precinct 2 will be appropriate for any future development.



## Utilities / Common Areas

Although primarily an industrial subdivision, there will be a number of common areas within the development that will provide visual relief to the built industrial environment. Due to the nature of the areas, public access will be restricted, however, where possible each element will accommodate landscape treatment.

Common Open Space (refer figure 3.2.3) includes the following areas.

- C1: Western quarry walls, incorporating stormwater channel/swales, service road and batter maintenance zone.
- C2: Eastern quarry walls, incorporating stormwater channel/swales, service road and batter maintenance zone.
- C3: Stormwater Detention / Sediment / Treatment Basins (within Precinct 3).
- C4: Aquifer pumping station (within Precinct 1).
- C5: Sewer Pumping Station (within Precinct 2).
- C6: Groundwater Pumping Station (within Precinct 3).
- C7: Reconciliation Drive / Bus Transitway Stormwater Detention (between Precinct 3 & 4).
- C8: Interchange Road Reserve.

Even though the quarry walls will not be publicly accessible for safety reasons, they are a significant landscape feature and will therefore remain as a long-term major visual element.

The north/south wooded ridgeline on the eastern batter adjacent the Nelsons Ridge residential precinct, although playing little part in the development of the SEL, remains highly visible and important in the urban design context, as it forms a buffer zone to the residential areas beyond. Restrictions on building envelope and height limits contained in the Urban Design Plan, will ensure that appreciation of these green vistas both within and external to the SEL, will never be compromised.

## Riverine Corridor

A parcel of unimproved land (identified as Community Area 9 (C9) in figure 3.2.3, comprising 2.1Ha, is proposed to be dedicated to Holroyd Council as an extension to the Prospect Creek Open Space Corridor. The land adjoins Prospect Creek, is flanked to the south by a bicycle path, and contains a variety of indigenous and introduced species.

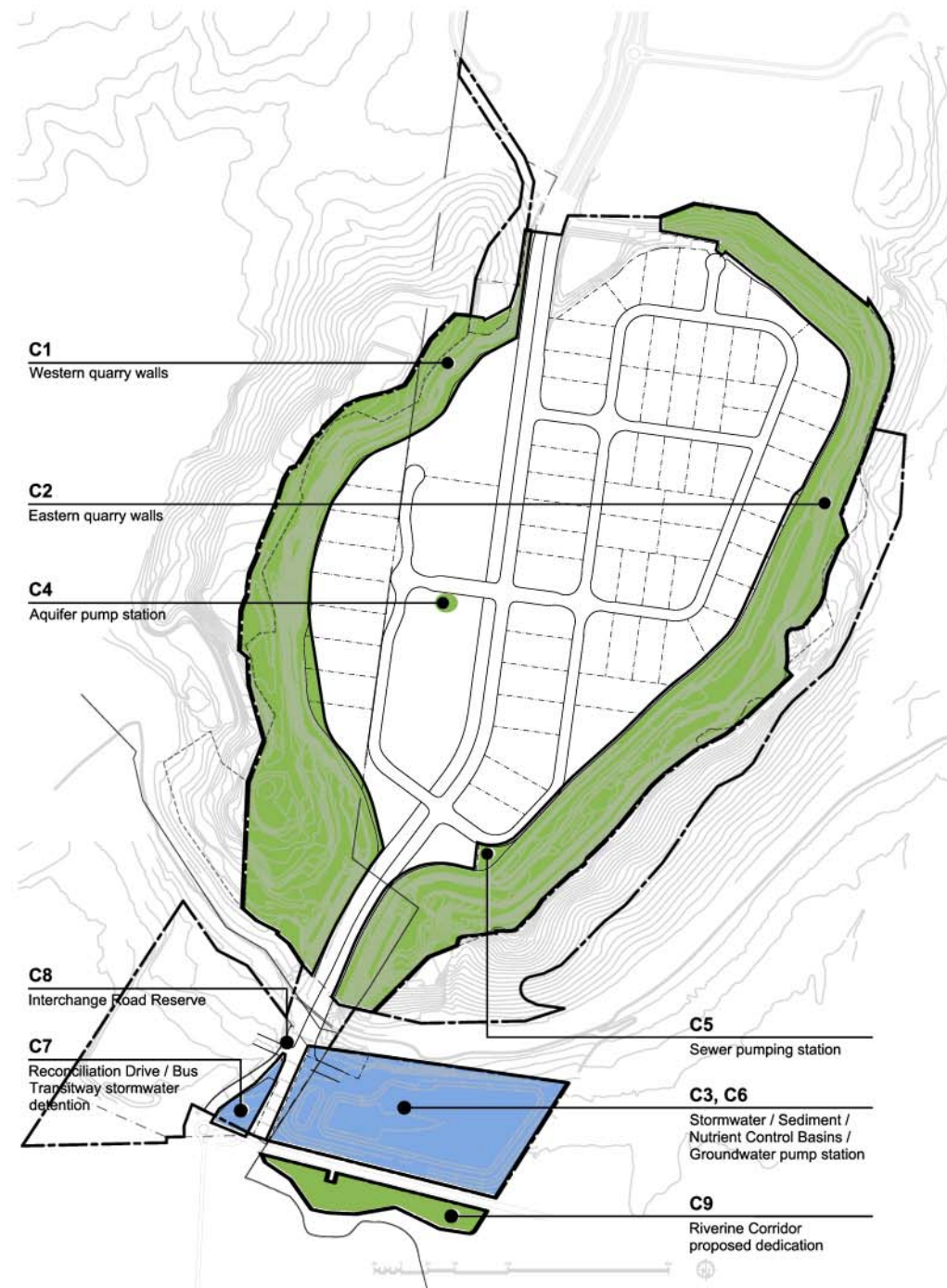


Figure 3.2.3: Utilities / Common Open Space Plan



Figure 3.2.4 Riverine Corridor (Southern edge)



Figure 3.2.5 Riverine Corridor



### 3.3 TRANSPORT INFRASTRUCTURE OVERVIEW

#### Roads

The proposed lot layout will deliver an efficient distribution of road traffic to each precinct.

The SEL will be serviced by a central spine road (Reconciliation Drive), of a predominantly north-south orientation, coupled with a local road network, as shown on figure 3.3.1. To the north, Reconciliation Drive connects the SEL with the M4 Motorway, Great Western Highway and M7 Western Sydney Orbital road system providing high levels of accessibility to Metropolitan Sydney. To the south, Reconciliation Drive will connect through Wetherill Park to Hassall Street.

Generally, a 50m wide road reserve accommodates the spine road (Reconciliation Drive), services reticulation, footpaths, future bus transitway, cycleway, and landscape zones. At the southern cut, the width of the corridor is reduced to minimise the disturbance to the landform whilst ensuring the efficient and safe functioning of Reconciliation Drive and the future transitway, cycleway and pedestrian access.

The local roads within the SEL will generally comprise a 20m wide road reserve with the exception of the east-west boulevard in Precinct 1. The Boulevard road reserve measures 30m.

A 60km/h operational speed limit is proposed for Reconciliation Drive although it will be designed for 80km/h. A 50km/h limit is proposed for all other local roads within the development.

Reconciliation Drive will primarily be located within the Holroyd LGA but will cross into Fairfield LGA and Blacktown LGA at the southern end of the Estate. All local roads will be wholly located in the Holroyd LGA.

#### Future Wetherill Park - Blacktown Bus Transitway

Provision will be made within the 50m wide road reserve for the future construction of the Wetherill Park to Blacktown Bus Transitway. A Transitway corridor, generally 25m wide, will run parallel to Reconciliation Drive for the full length of the SEL, linking with the provision already made within the NEL (to the north) and the Existing Transitway intersection to the south of Widemere East and Widemere West. The Transitway corridor will accommodate bus lanes, bus stops, cycleway, pedestrian paths and landscaping.

The local road network will cross the Bus Transitway at two intersections within the quarry walls of the SEL and once opposite Widemere West. (Refer figure 3.3.1). This will be consistent with the RTA Deed of Agreement applicable to the site.

A suitable landform will be created and dedicated to respective councils for the Bus Transitway. The construction of the Bus Transitway and associated infrastructure will be completed wholly by the RTA, at which point, locations and design of bus lanes, corresponding bus stop(s), cycleway and footpaths will be determined. However, given the anticipated higher density of employment embodied within the Business Park/Service Retail Precinct, it will be desirable to locate at least one bus stop central to Precinct 1.

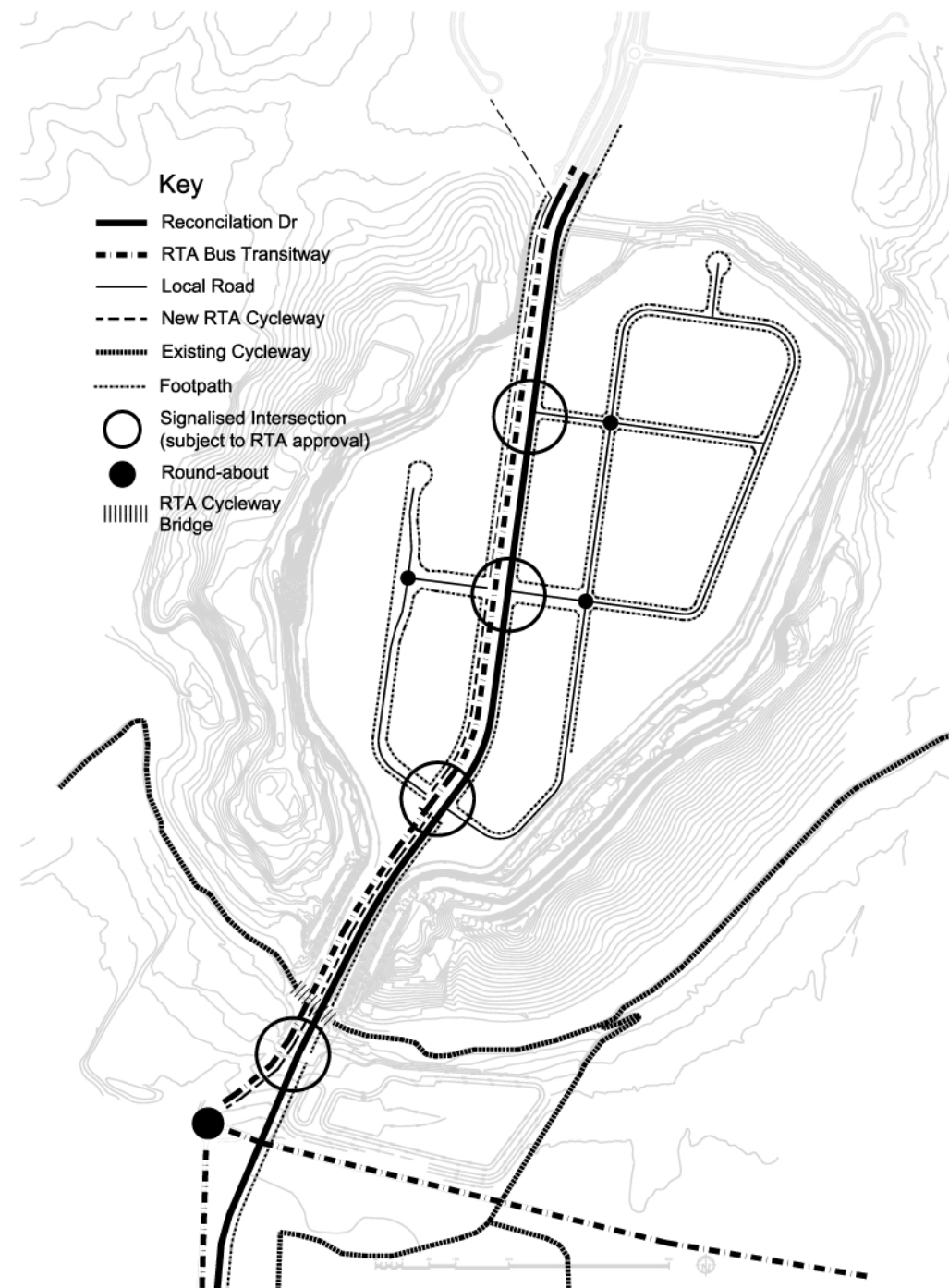


Figure 3.3.1: Transport Infrastructure





Figure 3.3.2 NEL footpath



Pedestrian Network

A network of pedestrian footpaths will be provided within the road reserves, and through landscape areas of Precinct 1. The network will be incorporated into controlled pedestrian crossings at the future signalised road intersections. All local roads will have pedestrian footpaths to both verges.

The pedestrian and cycle routes will be designed to maximise clear and unobstructed sightlines to avoid potential collision. All path crossings will be at grade and designed to minimise conflict with vehicular traffic.

Paths will be designed and constructed in reinforced concrete to conform to AS 1428.1 (2001) and AS1428.2,3,4,5 (2002).

Bicycle Network

Cycleway provision is made in the Transitway road reserve and is to be constructed by the RTA as part of the Transitway works. This cycleway, when constructed, will link to the cycleway network north and south of the Estate and integrate with “Bikeplan 2010” as issued by the RTA. (Refer Fig. 3.3.3)

A bridge over Reconciliation Drive is to be provided by the RTA to maintain the existing ‘Lower Prospect’ cycleway following the former Sydney Water supply route. Until the permanent bridge is built, Boral will be responsible for the provision of an interim cycleway (at grade). The design of the interim cycleway is currently under consideration by the RTA.

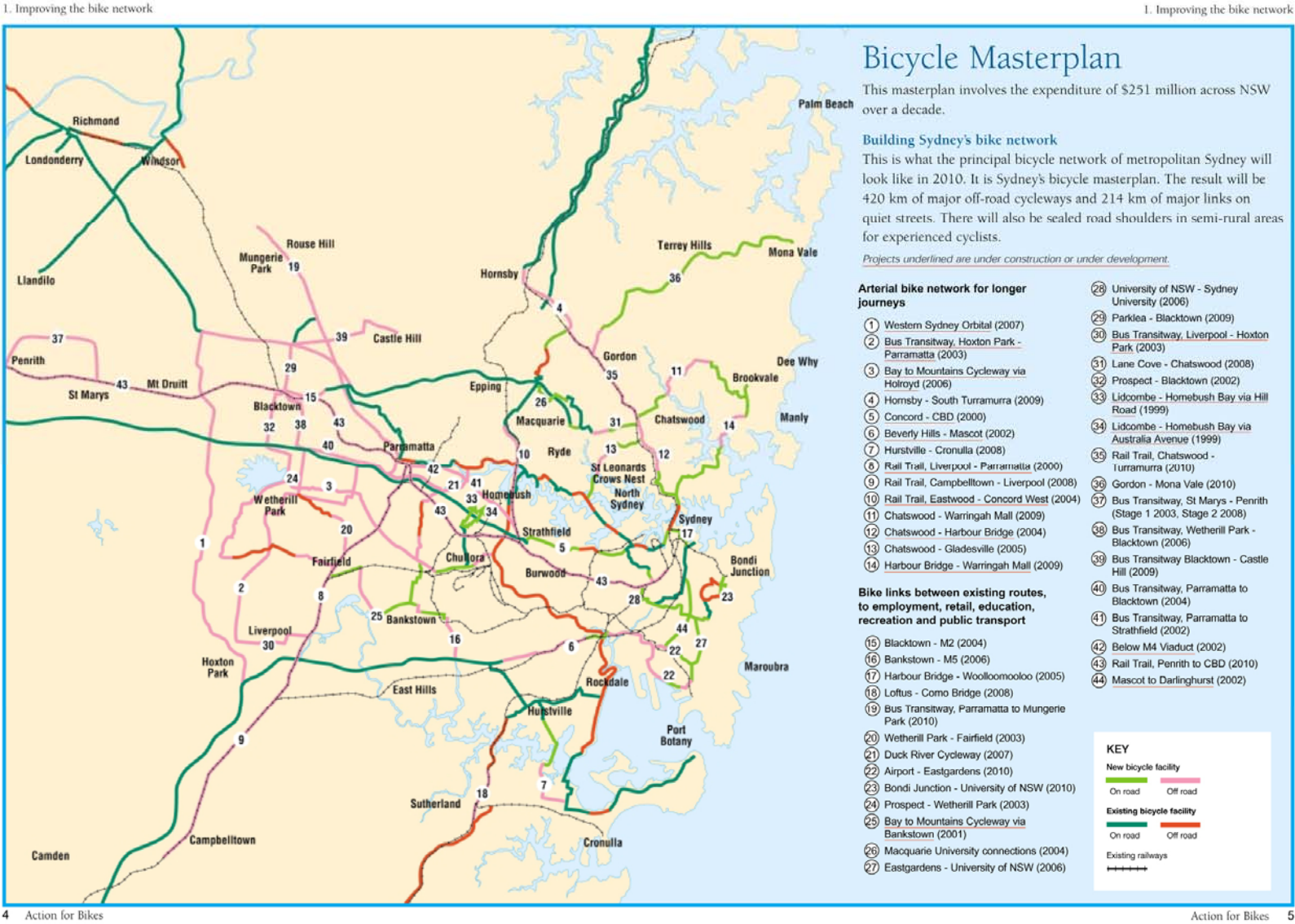


Figure 3.3.3 Extract from Bike Plan 2010



3.4 SUBDIVISION

The SEL will be divided into 4 precincts (refer section 3.2 above) together with community title administering the quarry walls, water treatment and detention basins. Each Precinct will be then further subdivided into a lot configuration generally as shown on figure 3.4.2. The proposed subdivision has the following attributes;

- Provides for a range of lot sizes and shapes, ranging from approximately 0.25Ha up to 2.5Ha;
- No lot requires direct vehicular access from Reconciliation Drive with the exception of Widemere East;
- The lot configuration has been designed to allow maximum flexibility and consolidation to meet the needs of end users; and
- Provides for a Business park, hotel accommodation, and service retail uses over four parcels of land. These parcels may be subsequently subdivided on a staged basis to meet end users requirements. The amount of floor space per lot will vary to suit end user requirements with the total floor space for precinct 1 not exceeding 104,000m2 (GFA) as outlined in Section 4.1.1.

Lots will be Torrens Title with owners having the responsibility through a community association for maintenance of quarry walls, drainage swales, detention basins and water management. All roads including land through the southern cut will be dedicated to councils as public roads. It is also proposed to dedicate to council the 'Riverine Corridor' as open space.

The subdivision will also involve the boundary adjustment along the western and eastern boundaries to align the employment lands with the top of the quarry walls and include 'One Tree Hill' within the Nelsons Ridge parklands.

Where subsequent strata subdivision of development lots is proposed, it should allocate parking to strata lots based on the parking ratio requirements identified in Section 4. Landscaped, OSD and access areas should remain as common property and also meet minimum design requirements as outlined in Section 4.



Figure 3.4.2: Proposed Lot configuration

Precinct 1

| Lot No: Area (Ha) |       |
|-------------------|-------|
| 1.1               | 5.151 |
| 1.2               | 2.702 |
| 1.3               | 3.240 |

Precinct 1

| Lot No: Area (Ha) |       | Lot No: Area (Ha) |       | Lot No: Area (Ha) |       | Lot No: Area (Ha) |       |
|-------------------|-------|-------------------|-------|-------------------|-------|-------------------|-------|
| 1                 | 0.823 | 21                | 0.462 | 41                | 0.583 | 61                | 1.066 |
| 2                 | 0.624 | 22                | 0.499 | 42                | 0.483 | 62                | 0.762 |
| 3                 | 0.624 | 23                | 0.499 | 43                | 0.683 | 63                | 0.707 |
| 4                 | 0.624 | 24                | 0.499 | 44                | 0.683 | 64                | 0.774 |
| 5                 | 0.624 | 25                | 0.499 | 45                | 0.483 | 65                | 0.956 |
| 6                 | 0.602 | 26                | 0.478 | 46                | 0.499 | 66                | 0.954 |
| 7                 | 0.701 | 27                | 0.454 | 47                | 0.499 | 67                | 0.773 |
| 8                 | 0.613 | 28                | 0.390 | 48                | 0.499 | 68                | 0.843 |
| 9                 | 0.749 | 29                | 0.499 | 49                | 0.550 | 69                | 0.846 |
| 10                | 0.544 | 30                | 0.499 | 50                | 0.732 | 70                | 0.869 |
| 11                | 0.445 | 31                | 0.499 | 51                | 0.644 | 71                | 0.868 |
| 12                | 0.641 | 32                | 0.624 | 52                | 0.499 | 72                | 0.809 |
| 13                | 0.655 | 33                | 0.575 | 53                | 0.499 | 73                | 0.596 |
| 14                | 2.511 | 34                | 0.538 | 54                | 0.499 | 74                | 0.733 |
| 15                | 0.524 | 35                | 0.520 | 55                | 0.930 | 75                | 2.084 |
| 16                | 0.586 | 36                | 0.494 | 56                | 1.071 |                   |       |
| 17                | 0.998 | 37                | 0.491 | 57                | 0.699 |                   |       |
| 18                | 0.706 | 38                | 0.740 | 58                | 0.748 |                   |       |
| 19                | 0.672 | 39                | 0.599 | 59                | 0.749 |                   |       |
| 20                | 0.483 | 40                | 0.599 | 60                | 0.747 |                   |       |





Figure 3.5.1: Indicative Ground Figure Plan.

### 3.5 INDICATIVE BUILT AREA

Development controls in this Urban Design Plan are commensurate with other industrial and business estates whilst providing a unique and desired environment to distinguish the SEL. The main objective of the SEL is to provide an increased density implemented by the provision of a business park, the availability of smaller lots, and a less restricted office use component including a higher permissible percentage of GFA used for office space.

Figure 3.5.1 illustrates indicative building footprints, which may be generated by the building controls within the SEL. Variances in footprints will be brought about by individual design, setbacks, orientation and use.

Setbacks and footprint controls will ensure the permeation of substantial landscaped areas. The streetscape will be sufficiently diverse to break the repetitious nature of industrial development, whilst maintaining the efficient use of the lots.

Section 4 of this plan sets out the Objectives, Design Guidelines and corresponding Exempt and Complying Development requirements for development on all lots. Where developments satisfy the Complying Development requirements they will require Complying Development Certificates to be issued prior to the construction certification being issued. All other developments will require project approval or development consent.



### 3.6 STREETSCAPES

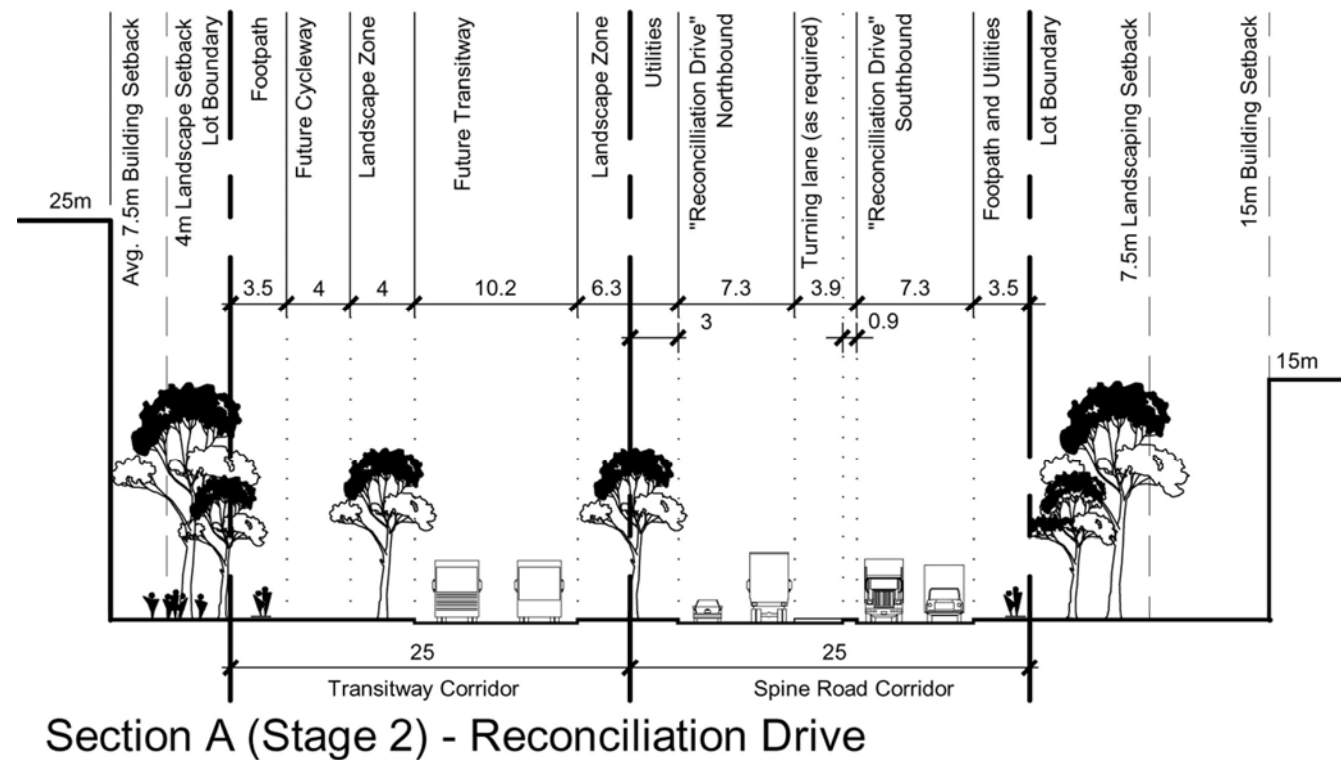
A variety of scales and space definition is proposed throughout the development. The streetscape is arranged in hierarchical graduation from that of the broad and free-flowing streetscape of 'Reconciliation Drive' through to collector roads to local distributor roads. Spatial definition through building envelope restrictions and thematic street tree planting will be used to complement streetscape characters.

Street furniture elements will be included in road reserves and consist of light poles and direction signs. Spacing of light poles will be co-ordinated with street tree placement. The selection of street furniture is to be consistent with the Northern Employment Lands. Street furniture such as litter bins, bus stops and the like within the Transitway corridor will be provided by others.



Figure 3.6.1 Streetscape Hierarchy





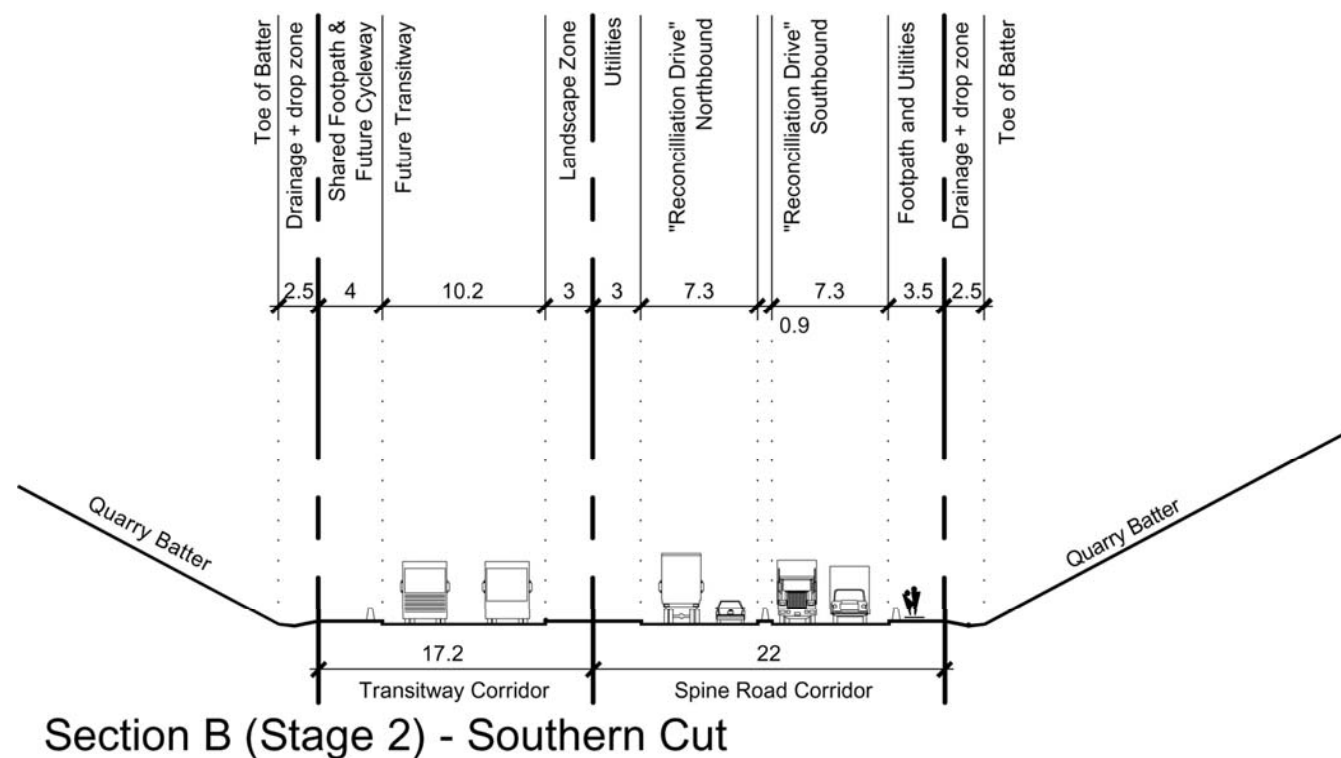
### Section A – Reconciliation Drive (General)

Reconciliation Drive is the major access to the SEL connecting the site to the NEL to the north and Wetherill Park to the south. Due to the incremental changes in traffic volumes resulting from staged development, it is proposed to develop an interim single carriageway road configuration in the early stages of development and then dual carriageway as required by traffic volumes. The spine road configuration is independent of Transitway construction and may exist with and without the Transitway.

### Section A (Interim) – Single Carriageway North/South, No Transitway

This configuration continues the road configuration from the NEL as an interim stage in the early stages of SEL development. The capacity of the road configuration has been determined by traffic engineering studies to determine the threshold at which the configuration no longer supports the traffic it serves. Refer to the Environmental Assessment Report (ERM:2006) for detail relating to development thresholds.

Figure 3.6.2 Reconciliation Drive (Interim)

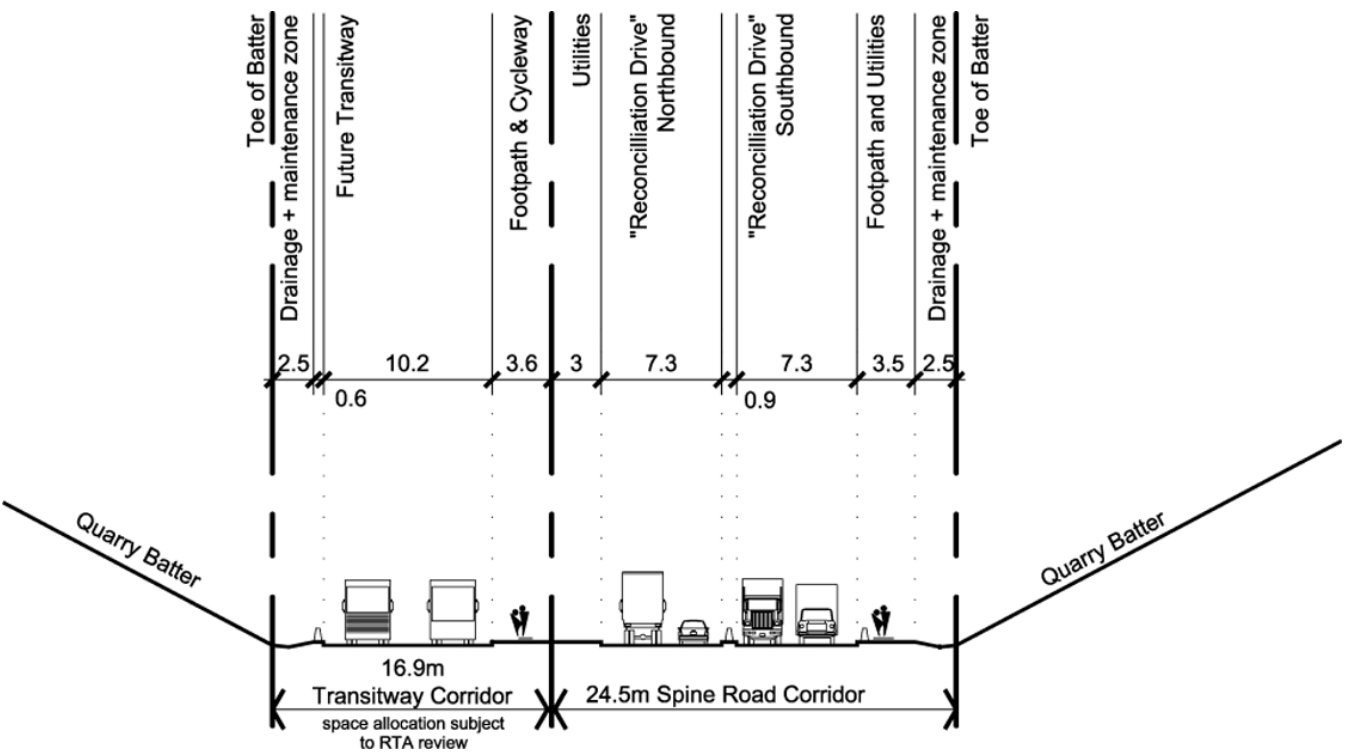


### Section A (Final) – Dual Carriageway North/South with Transitway

The final configuration of the spine road will accommodate a multi-lane carriageway, footpath, services corridors and, should the RTA determine, a Bus Transitway, bicycle/pedestrian footpath. A conceptual section is shown in Figure 3.6.3, noting that the Transitway Corridor design and provision is a matter for the RTA.

Figure 3.6.3 Reconciliation Drive (Final)





**Section B (Final) – Dual Carriageway North/South with Transitway through Southern Cut**

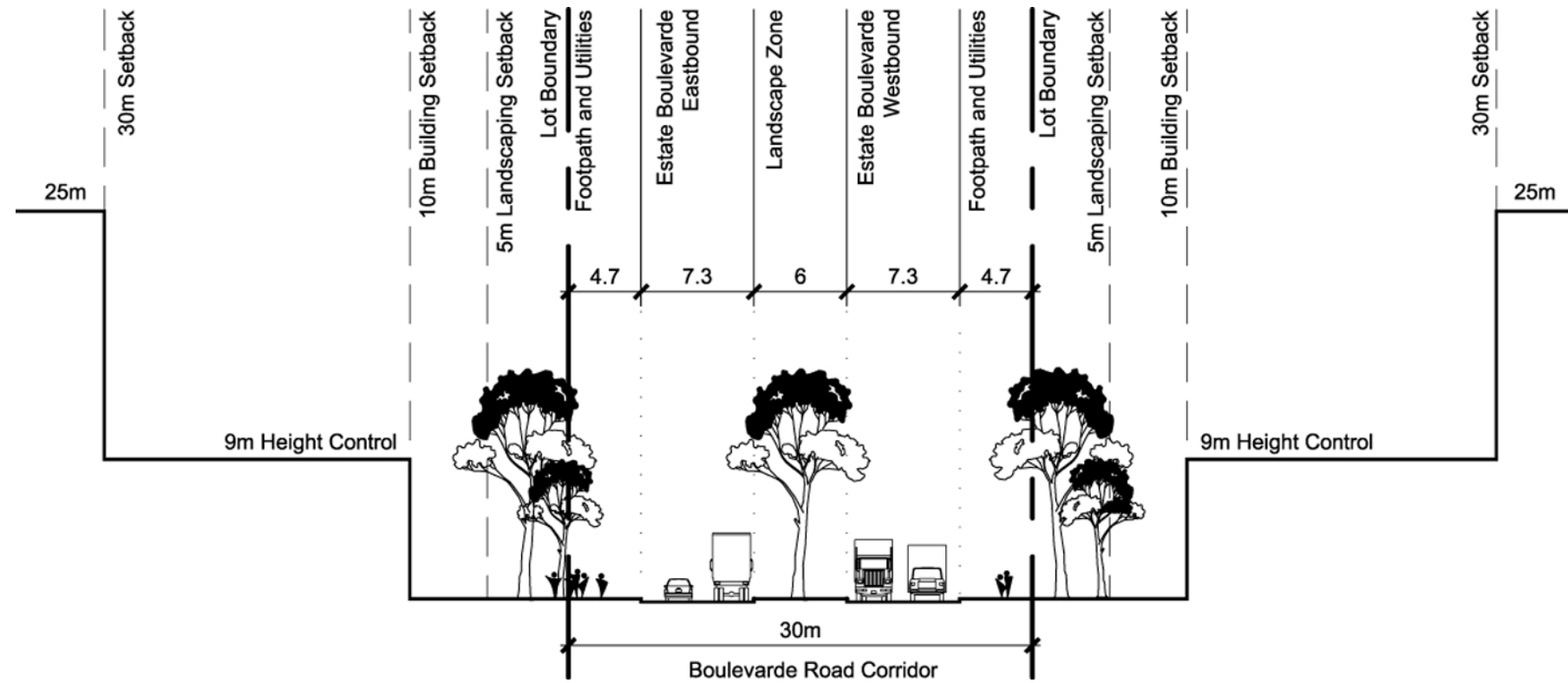
The road corridor width is too narrow as Reconciliation Drive passes through the southern cut of the quarry walls. The functionality of both the road and Transitway remain uncompromised with minimum carriage-way clearances unaffected, however landform scarring and bulk excavation is minimised by the reduction in excavated width.

Figure 3.6.4 Southern Cut (Final)



Figure 3.6.5 Indicative perspective of Reconciliation Drive (Final)





### Section C – Estate Boulevard

Central to the SEL is an east-west boulevard to provide a sense of place for the Estate and act as a focal point to the Business Park and Service Retail uses. Building controls ensure the road cross section avoids enclosure providing for a landscape setback and reduced height limit within 30m of the road frontage.

Figure 3.6.6 East-West Boulevard



Figure 3.6.7 Indicative perspective of East-West Boulevard



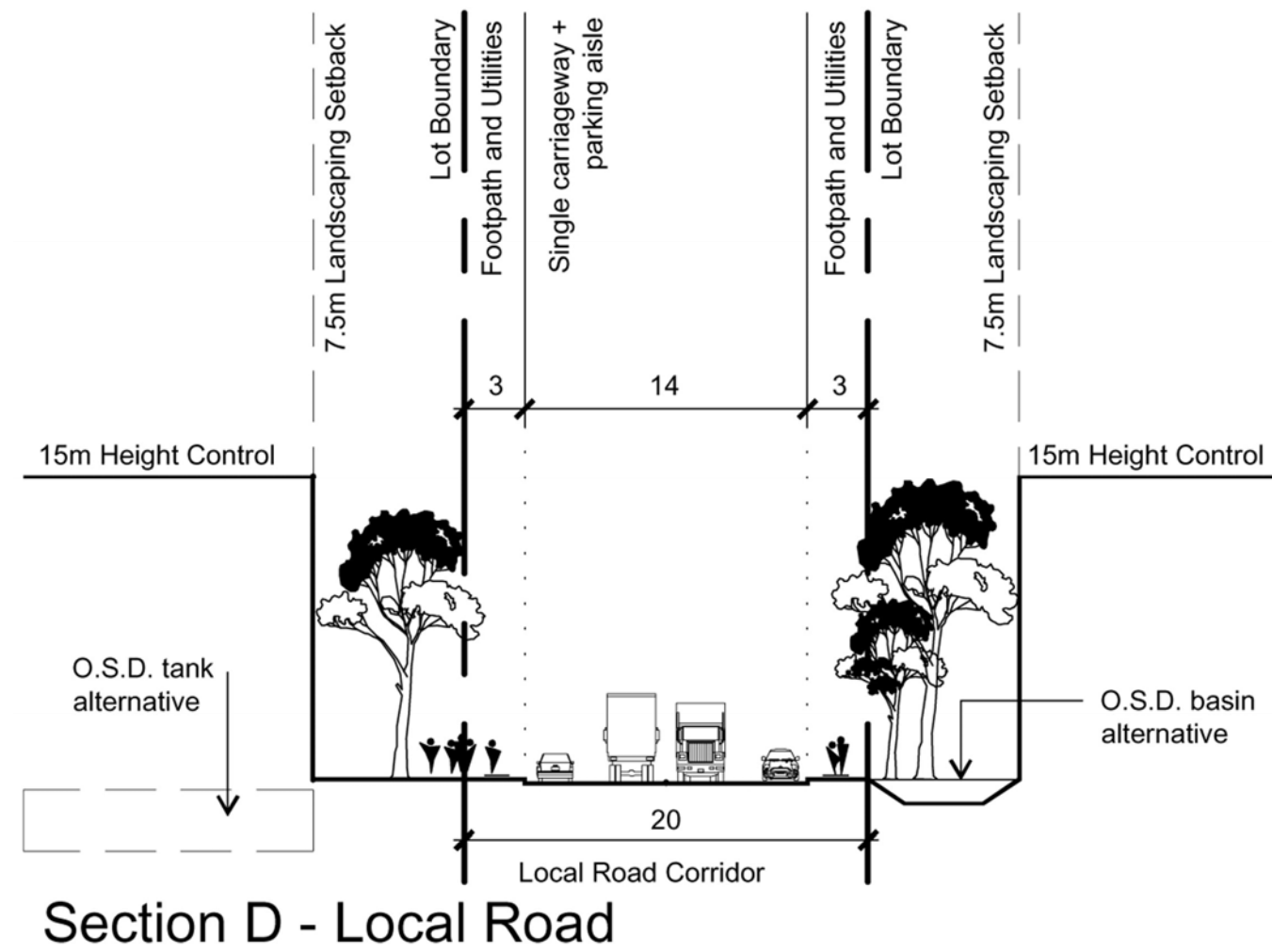


Figure 3.6.7: Section D – Local Road



Figure 3.6.8: Indicative view of a local road streetscape in Precinct 2:

### Section D – Local Road

The local road section, serving all industrial lots, defines design parameters to permit a relatively dense street façade complimented with landscape setback zones.



### 3.7 STORMWATER

The Greystanes SEL lies at the boundary of two catchments: Greystanes Creek to the north and Prospect Creek to the south. Historically, stormwater from the Greystanes SEL area has infiltrated into the ground, and in large storm events, it flowed in a northerly direction. Quarrying activities within the Greystanes SEL have since altered the stormwater flow paths.

As part of the rehabilitation of the quarry and creation of the final landform, stormwater flows from the quarry will be directed to drain in a southerly direction to discharge into Prospect Creek. The proposed final landform for the Greystanes SEL will allow stormwater to drain to the perimeter drains, before draining in a southerly direction to Widemere East, with a controlled discharge into Prospect Creek.

The proposed strategy uses a combination of source, conveyance and discharge control measures, including on-site treatment within the business park and service retail precinct, gross pollutant traps in lots, vegetated channels along the perimeter of the quarry and detention basin at Widemere East.

On-site detention storage is to be maintained as a requirement on the business park and service retail precinct sites. A bio-retention basin system will be incorporated into the design of the business park and service retail precinct sites to facilitate treatment of low flows. Higher flows would bypass this system and discharge directly to the stormwater perimeter channels and then to the harvesting and detention basin in Widemere East

Vegetated perimeter channels, will be designed to collect stormwater from the batter and benches and internal roads. The design will provide source control and improve water quality by acting as a filtering device. The perimeter stormwater channels will carry the full 1 in 100 year ARI flows for the site to the Widemere East detention basin. The peak discharge to Prospect Creek will be maintained at 0.2 cum/s so there will be no increase in the risk of flooding.

The detention basin at Widemere East will be designed to cater for stormwater events up to the 100 year ARI event and have a flood storage volume of approximately 202,255 cubic metres covering an area of approximately 11.1 hectares.

A 5 Mega litre storage dam / harvesting pond will also be located in Widemere East to collect and store the peak low stormwater flows as a minimum for the site for pumping to the Cumberland Country Golf Club for re-use purposes. Widemere East also has the capability to accommodate a bio-retention system in the event that the stormwater harvest operations are terminated.

A Stormwater Maintenance Plan has been developed, (Greystanes Estate - Southern Employment Lands - Stormwater Maintenance Plan, August 2007 prepared by GHD) to ensure the ongoing management and maintenance of the stormwater system.

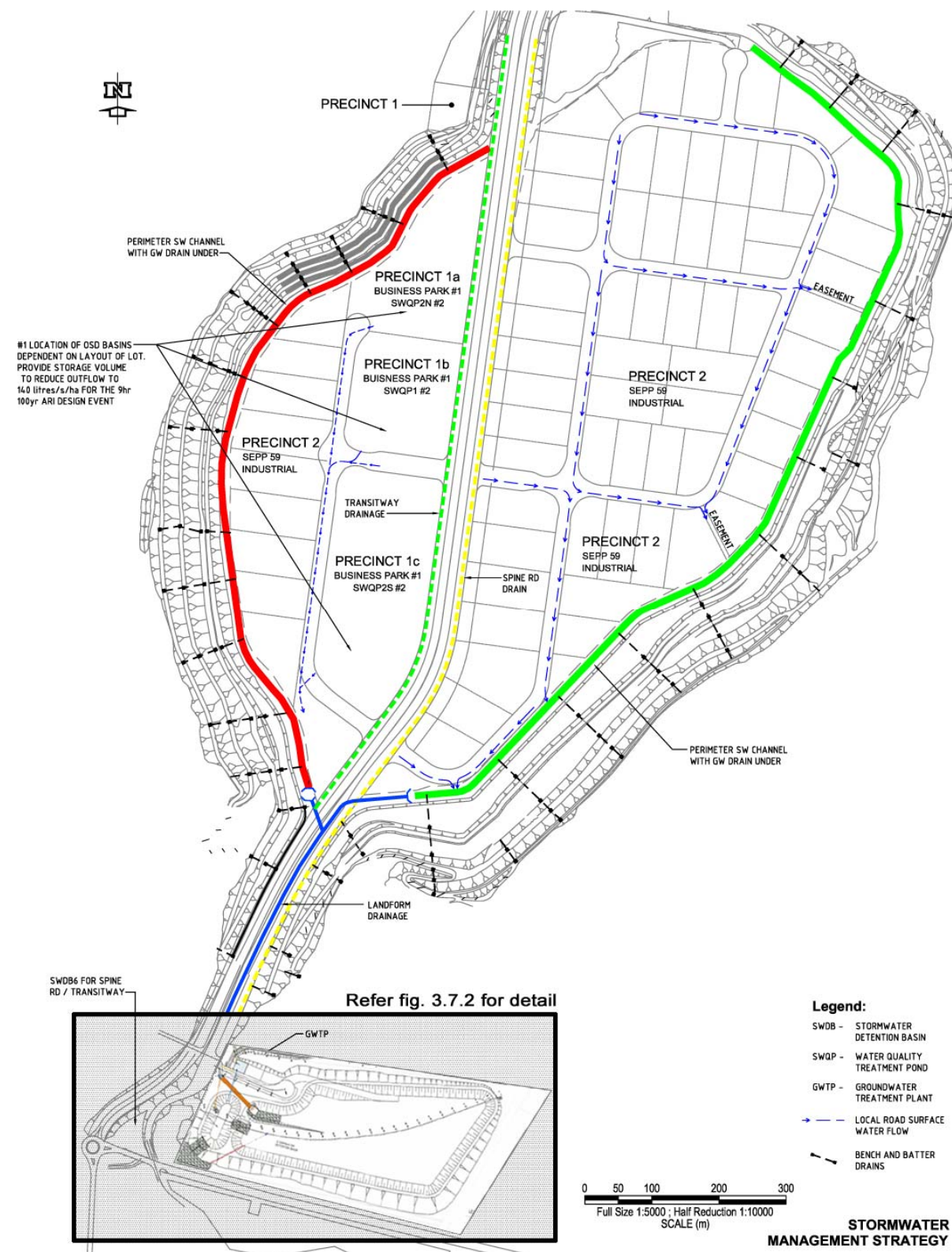


Figure 3.7.1: Stormwater Management Strategy



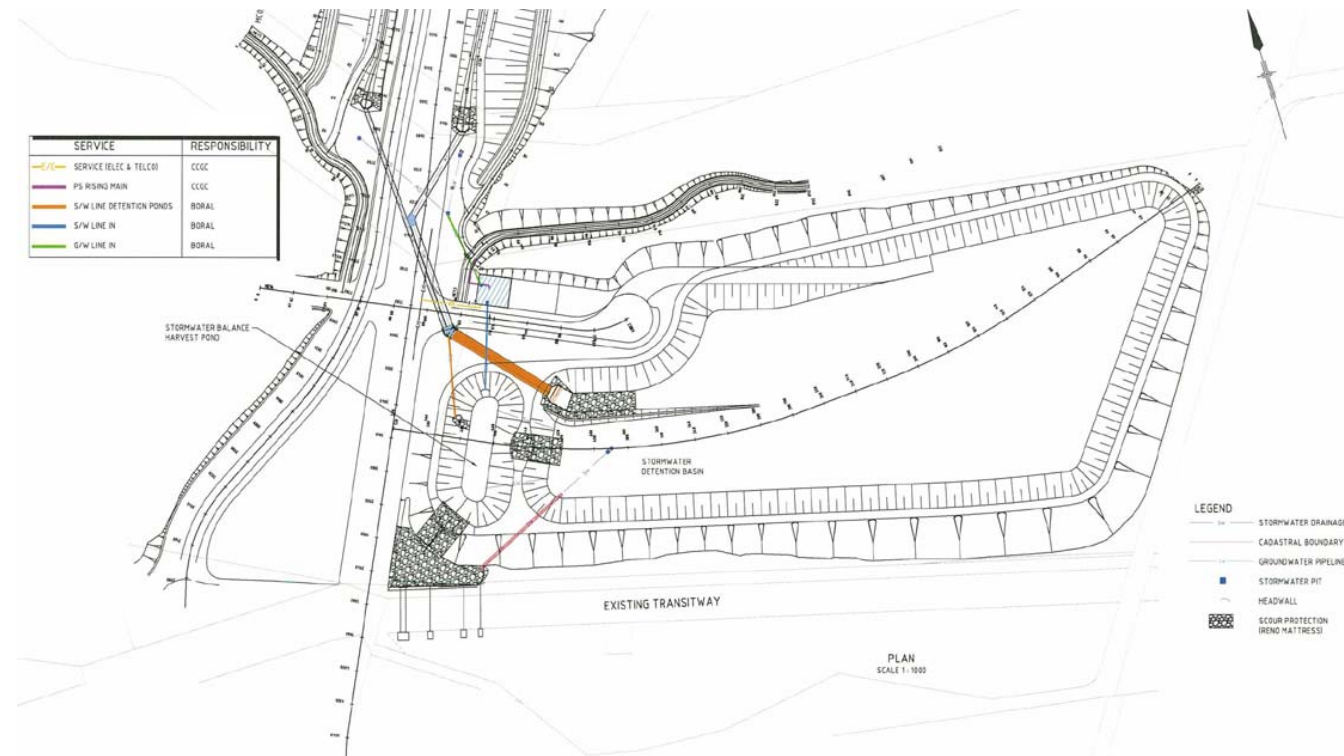


Figure 3.7.2: Stormwater Management- Widemere East

### 3.8 GROUNDWATER MANAGEMENT CONCEPT

Groundwater inflows to the quarry occur through:

- localised groundwater recharge that discharges through the walls and floor of the quarry;
- rainfall infiltration into the fill recharging the bedrock, which discharges into the quarry from the fill or from the bedrock; and
- regional groundwater through-flow.

Groundwater management will involve the harvesting and pumping of untreated groundwater, combined with stormwater, to the Cumberland Country Golf Club (CCGC) at Greystanes to satisfy their water management requirements. An agreement between Boral and the CCGC includes a minimum 25 year contractual obligation for water harvesting by the CCGC.

The proposed harvesting by the CCGC is in line with the NSW Government's policy of conserving water and providing alternate supplies to industry and other large users. Cumberland Country Golf Club has successfully applied for funding under the Community Water Grants scheme for construction of the water transfer pipeline and associated works and has development approval from Holroyd City Council.



### 3.9 SERVICES

All general services such as power supply (both high & low voltage), telecommunications, gas and water will be located in the verge area of the subdivision road network.

**Sewer reticulation** – Sewer mains are to be located generally at the low end of each development lot. The sewer system gravitates to the south following the ground profile discharging through the southern cut to a sewer pump station located in the south -eastern corner of Precinct 2. A rising main will then discharge sewer into the existing gravity system at the corner of Butu Wargan Street and Reconciliation Drive.

**Water Supply** – The water mains layout will generally follow the alignment of the road layout and be located in the standard water main allocation in the road verge. Water supply reticulation is by way of a ring main system to provide surety of supply, which should interruptions occur in a section of pipework, isolation of that pipework may be achieved without affecting water supply to unaffected lots.

**Electrical Supply** – Again, the electrical mains layout will generally follow the alignment of the road layout and be located in a standard electrical allocation in the road verge. Final location will be determined during detail design stage. Street lighting will be provided to the appropriate standards and staged to suite the sequence of subdivision development. Similarly, localised substations will be installed to service public infrastructure for respective stages; the location of which will be determined during detailed design stage.

**Telecommunications Supply** – The provision of a telecommunications network is a statutory requirement by the service provider (Telstra). It is envisaged the network to be extension of the telecommunications system existing in the Northern Employment Lands, and will follow the alignment of the road layout. The final location, number and size of conduits to be installed however is to be determined by the service provider.

**Gas Supply** – Provision of gas supply to the development is subject to cost/benefit analysis by the service provider. Should the service be provided the gas supply will follow the alignment of the road layout and be located in the standard gas allocation within the road verge.

Minor variations to the standard alignments are possible with the approval of the respective service providers including the installation of some services within common trench arrangements to minimise construction costs. For further information refer to the Site Servicing Strategy Report prepared by GHD P/L (13<sup>th</sup> September 2006)

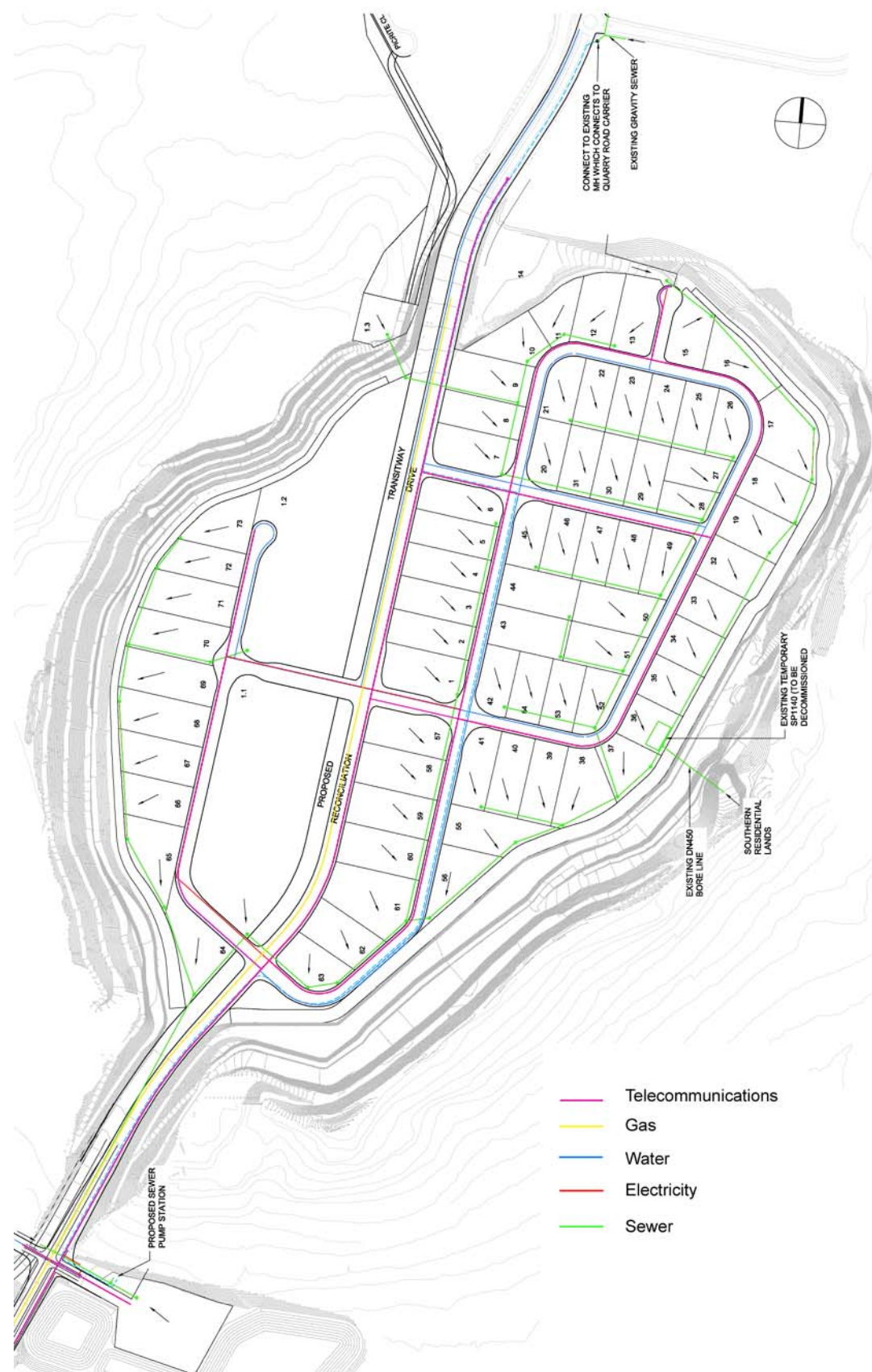


Figure 3.7.3: Services reticulation diagram

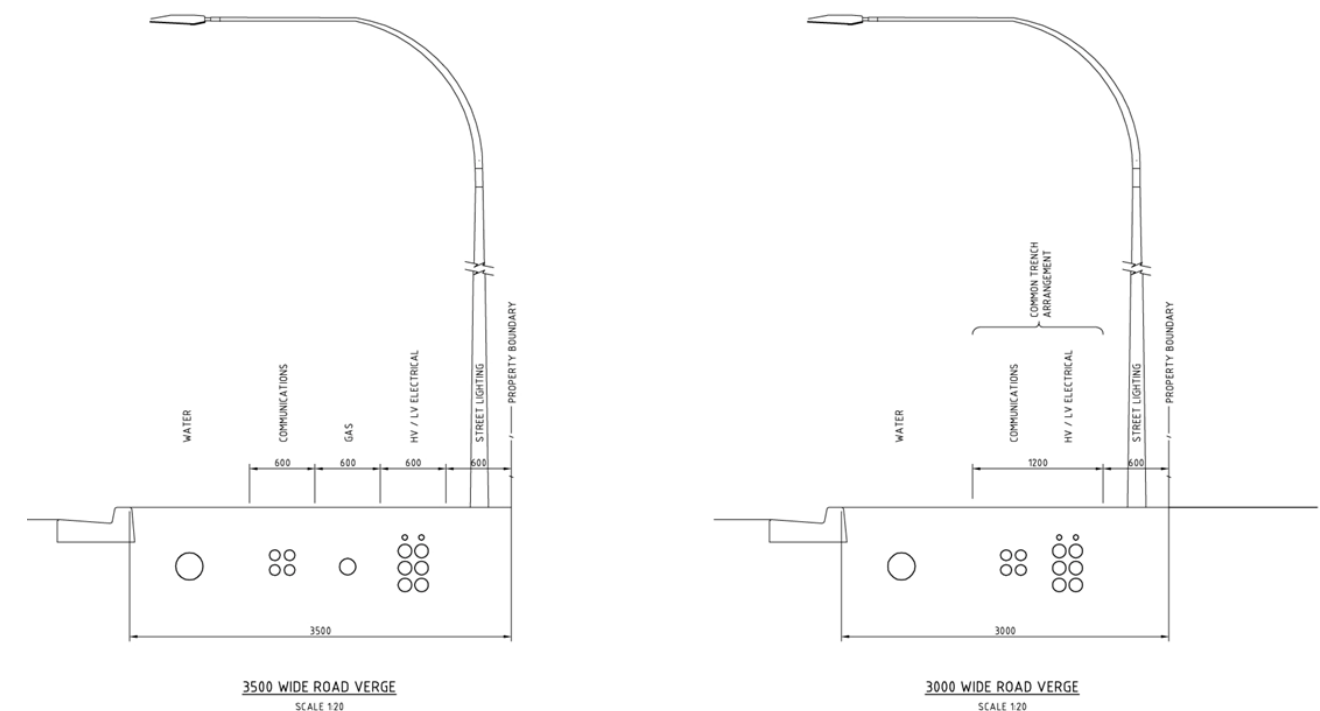


Figure 3.7.3: Services diagram – Road verges





## 4 DEVELOPMENT CONTROLS

### 4.0 GENERAL SITE CONTROLS

#### 4.0.1 INTRODUCTION

Section 4 describes the Objectives and Design Guidelines that apply to development within Precincts 1 and 2 in the Southern Employment Lands. Sections 4.1 and 4.2 contain additional requirements specific for the different precincts: Precinct 1 – Business Park and Service Retail Uses (Section 4.1) and Precinct 2 – Industrial Development and Hotel Accommodation (Section 4.2).

Annexure A sets out the provisions for exempt and complying development.



## 4.0.2 ECOLOGICAL SUSTAINABLE DEVELOPMENT PRINCIPLES

### Objectives

- To encourage site planning and building design that optimises site conditions to achieve energy efficiency and minimise energy consumption in buildings;
- To provide a healthy, safe and comfortable working environment;
- To encourage use of building materials that minimise impact on the environment; and
- To encourage reduction of potable water usage.

### Design Guidelines

#### 1. Business Park Precinct

The business park building orientation and alignment has generally been arranged in an east-west direction to maximise passive design opportunities. All office buildings within the business park shall aim to achieve a minimum of 4 stars under the Australian Building Greenhouse Gas Rating (ABGR) scheme, representing “Excellent” performance in terms of energy consumption and greenhouse gas emissions. In addition, to promote wider consideration of sustainability issues, office buildings within the business park should also consider:

- material usage,
- water efficiency,
- waste management and
- indoor environmental quality

as outlined for Precinct 2 below.

#### 2. Industrial Precinct

In the absence of a definitive rating or performance target system for industrial buildings (typically sheds and warehousing), and acknowledging the need for flexibility to account for potential occupiers and uses, no specific targets can be set for the industrial buildings at the site. For all industrial buildings, the following design guidelines will be used as far as is possible given their occupation use:

- The orientation, internal layout and design of the buildings should minimise energy consumption and mechanical cooling to the extent feasible given the orientation of the particular lot. Aspects to consider include:
  - passive solar access;
  - natural light penetration to internal areas;
  - natural cross ventilation;
  - solar access to outdoor recreation areas; and
  - use of landscaping to minimise thermal loads.
- Windows/glazing should be protected from summer sunlight by eaves, landscaping or sun shading devices to minimise glare and thermal loads.
- Insulate office components of buildings to reduce winter heat loss and summer heat gain.
- Low energy lighting should be used, unless otherwise required for specific tasks.
- Low embodied energy materials should be used wherever appropriate and practical. Building materials should be selected which, where feasible consider the following:
  - use renewable resources;
  - are energy efficient;
  - are low maintenance;
  - are recycled or recyclable;
  - are non-polluting;
  - are non-ozone depleting;
  - avoid where possible the use of PVC.
- Stairwells should to be positioned where ever possible to create a stack effect to enhance natural ventilation.







4.0.3 Indicative species to be used in development

(4.0.2 ECOLOGICAL SUSTAINABLE DEVELOPMENT PRINCIPLES – Continued)

- g. Building design should reduce reliance on existing energy supplies where possible through the use of renewable energy sources such as: photovoltaic cells; battery storage; solar hot water; and natural ventilation.
- h. Water conserving landscape techniques should be employed as outlined in section 4.0.3.

4.0.3 LANDSCAPING

Objectives

- a. To encourage a high standard of landscaping to enhance the streetscape and amenity of the Estate.
- b. To accommodate outdoor staff areas.
- c. To provide for retention of water for irrigation and drainage purposes.
- d. To minimise landscape maintenance requirements.

Design Guidelines

1. Landscaping incorporates vegetation, gardens, outdoor staff recreation areas, natural site features and watercourses, but does not include that part of the site used for driveways, parking or outdoor storage.
2. Landscape design of both hard and soft landscape features should create a quality industrial and business park setting. Hard landscape features include paving, terracing, retaining walls and kerbing. Soft landscape features refers to vegetation (including grass, shrubs, bio-retention areas and trees).
3. Landscaping can be provided as both hard and soft areas. Soft landscaping should include indigenous species selected from those listed in Annexure B – Landscape Report.
4. Outdoor staff areas should be provided on site to meet the likely needs of the workforce.
5. Where feasible, hardstand areas should be drained to soft landscaping areas.
6. Landscaping should incorporate mulched beds to help improve water quality and reduce water consumption.
7. Planting should be used to highlight pedestrian and vehicular access points and building entries.
8. Automatic soaker irrigation systems should be installed for all landscaped areas. They shall be designed to meet specific site requirements.
9. Landscaping should be designed to assist energy conservation in buildings and have regard to micro-climatic conditions and shading control.
10. Landscaping should be designed to encourage safety by allowing for street surveillance. Paths should not be excessively screened and lighting should be provided to pathways and building entries.
11. All lots should allow for a pedestrian access path from the pedestrian footpath on the street to the entrance of the building.
12. Landscaped areas should be separated from vehicle areas by an effective physical barrier e.g. a concrete curb.
13. Carparks should be landscaped to complement the surrounding landscaped areas, soften car parking areas and provide shade for parked cars.



#### 4.0.4 EXTERNAL MATERIALS AND COLOURS

##### Objectives

- a. To encourage a high aesthetic standard and enhance the general streetscape, character and amenity of the Estate.
- b. To present a variety of colours and textures throughout the Estate.

##### Design Guidelines

1. The objectives and design guidelines relating to materials set out in Section 4.0.2 should be addressed.
2. The range of external materials on any individual building should be limited and compatible.
3. External materials should include one predominant external material, however accent colours are acceptable.
4. Low maintenance and robust materials should be used.
5. Where concrete roofs are proposed for the purpose of additional parking, parapeted edge conditions are preferred, with concealment of car parking with perforated materials.
6. Materials that are likely to contribute to poor internal air quality, such as those generating formaldehyde or those that may create a breathing hazard in the case of fire (eg polyurethane), should be avoided.
7. Dado panels or similar, where required, to external walls should be constructed of a durable material that also provides a high standard of finish.
8. Materials and colours for buildings and roofs should be non-reflective. Metal deck roofs should be pre-coloured in subtle tones to minimise glare.







#### 4.0.5 ACCESS, PARKING AND LOADING

##### Objectives:

- To locate and design car parking, driveways and servicing areas so that they are efficient, safe, convenient and easily identified;
- To ensure car parking areas are of suitable dimensions/layout to allow for vehicle manoeuvring space;
- To ensure adequate areas are set aside on site to allow for the safe and efficient manoeuvring of delivery and service vehicles;
- To provide for garbage collection to be carried out inside each site;
- To provide off-street parking facilities that do not detract from the overall visual amenity and character of developments when viewed from the street;
- To provide for safety through the design of vehicular, bicycle and pedestrian access; and
- To provide adequate on site car parking.

##### Design Guidelines:

###### General:

- Carpark design is to meet the minimum requirements prescribed by AS 2890 Off Street Parking Code.
- Provide an appropriate level of visual screening to reduce the visual impact of loading and car parking areas from the street. For sites with less than 20 car spaces, screen planting to the perimeter of the car park shall be sufficient. For sites with more than 20 car spaces, tree bays must be incorporated at one bay for every 10 spaces except where bays abut rear or side walls of buildings.
- Vehicular access should be designed to avoid conflicts with pedestrians.
- Designated pedestrian paths should have surfaces that are differentiated from vehicular road parking surfaces with a perceivable change in material or colour.
- Pedestrian access and circulation is to meet the minimum requirements prescribed by AS 1428.
- No vehicular access to Reconciliation Drive and Transitway is permitted in Precinct 1 and 2.

###### Driveways:

- Access ways and manoeuvring areas should comply with Australian design standards AS 2890.1 and 2.
- Driveways should be designed to enable vehicles to enter and leave the site in a forward direction.
- Ramps servicing rooftop car parking should comply with the setbacks described in sections 4.1.3 and 4.2.3.
- A maximum of two vehicle crossovers are permitted for lots with road frontages of 50m or less.
- A maximum of three vehicle crossovers are permitted for lots with a road frontage greater than 50m. In the case of corner blocks, the road frontage calculation is the addition of the frontage to each road.
- Driveway crossovers accessed by heavy vehicles should be a minimum of 9m wide, when measured at the kerb alignment.

###### Loading Docks and Service Areas:

- Loading docks should be positioned so they do not interfere with visitor and employee parking spaces.
- Garbage storage and collection areas should be designed so as to be readily accessible within the site.

###### Parking Areas:

- Parking space numbers should be provided as follows:
  - Industrial – 1 space/77m<sup>2</sup> GFA;
  - Warehouses – 1 space/300m<sup>2</sup> GFA;
  - Office – 1 space/40m<sup>2</sup> GFA;
  - Retail – 1 space/20m<sup>2</sup> GFA.

For other uses, parking requirements is be determined by a parking demand study.







16. Where car parking is orientated in long aisles, traffic calming devices should be incorporated. If a marked pedestrian crossing is required, then this should be incorporated into the traffic calming arrangements.
17. Where parking is located directly in front of pedestrian footpaths, kerbs should be of a height that is non-mountable and located so as to prevent any part of the vehicle intruding onto the pedestrian path.
18. 'Disabled' parking spaces should be provided adjacent to building entries. The number of spaces shall be in accordance with the corresponding Australian Standards.
19. Rooftop parking in the industrial precincts is permitted where adequate screening is provided.

#### 4.0.6 BICYCLE PARKING

##### Objectives:

- a. To provide convenient and safe facilities for people who travel to and from places using bicycles.

##### Design Guidelines:

1. Bicycle racks shall support bicycles in a stable position without damage to wheels, frames or other components.
2. Bicycle racks should be located in highly visible, illuminated areas to minimise theft and vandalism, securely anchored to the site surface to negate removal and shall be of sufficient strength to resist vandalism and theft.
3. Bicycle racks shall be located so they do not impede pedestrian or vehicular circulation.
4. Bicycle racks should not be placed too close to any wall/obstruction so that use of racks are not impeded.
5. A physical barrier to protect bicycles from damage by cars, such as curbs, wheel stops or other similar features, shall separate bicycle parking racks within car parking areas.
6. Bicycle parking racks should be provided for development which exceeds 4,000m<sup>2</sup> in floor area.
7. Bicycle parking for the above developments should be provided at a rate of 2 bicycle parking spaces plus 5% of the total number of car parking spaces.

#### 4.0.7 SAFETY AND SECURITY

##### Objectives

- a. To take into account the safety of occupants and visitors by applying the principles of Crime Protection through Environmental Design (CPTED) to the design and layout of developments.
- b. To design developments to allow for the surveillance of the site to discourage vandalism and criminal activity.

##### Design Guidelines

1. Buildings should be designed to overlook public and communal streets and other public areas, to provide a sense of increased passive surveillance.
2. Site planning, buildings, fences, landscaping and other features should clearly define territory and ownership of all public, common, semi-private and private space. This guideline may be varied for the business park precinct in order to achieve pedestrian permeability.
3. Appropriate lighting should be provided to all pedestrian paths between public and shared areas, parking areas and building entries, to identify and promote use of safe access routes for both employees and visitors.
4. Building design should ensure building entrances are visible and discourage entrapment.
5. Planting within car parks and along pedestrian paths should not include foliage between the heights of 0.5m and 2m to allow for passive street surveillance.



4.0.8 LIGHTING

Objectives:

- 1. To provide a site lighting system across the Estate that provides a safe and attractive environment.
- 2. To ensure that lighting does not cause distraction to vehicle drivers on internal or external roads or to the occupants of adjoining properties.

Design Guidelines:

- 1. Car parks and pedestrian areas should be designed with an appropriate lighting level providing good quality face recognition by CCTV surveillance. Generally these areas should be illuminated to a minimum level of between 25 and 50 lux at ground level.
- 2. Accent illumination should be provided at key locations such as building entrances and driveways.
- 3. In the business park precinct, external lighting should be integrated into the building form and designed to accentuate architectural form and features.

4.0.9 SIGNAGE

Objectives:

- a. To provide businesses the opportunity of identifying their location and activity.
- b. To ensure that signs do not proliferate to an extent that detracts from the aesthetic quality of the Estate.
- c. To ensure signage does not detract from the visual appearance of the buildings.
- d. To provide easily identifiable and legible street numbering for each property.

Design Guidelines:

- 1. Advertising, other than real estate signs, must relate to the use occurring on the respective property.
- 2. Directional and tenancy signage must be located in a convenient point close to the development's main entry. Directory signage should be placed so that it is easily legible for people/vehicles entering or approaching the site.
- 3. Generally only one primary sign should be provided per building. More than one sign may be provided where a building has more than one entrance on different sides of the building or where the nature of the development (eg multiple occupants) and adjacent roads require more than one sign for adequate identification.
- 4. For buildings with multi-occupancies, signage for each tenancy must be of uniform size and shape and integrated into the design of the building.
- 5. Free standing signs in Precincts 2 should be kept to a minimum to avoid visual clutter and should be less than 15m in overall height. Free standing signs in Precinct 1 will be considered on merit.
- 6. Signs should be of a size and location which does not obscure vehicular sightlines or control signs.
- 7. Sign illumination should not cause visual nuisance or annoyance to pedestrians, vehicles or adjoining uses. Signs should not move, blink or flash.
- 8. All directional or functional control signs that are not illuminated signs should use reflective material.
- 9. Advertising signs other than an identification or directory sign/board should comply with the setback requirements set out in sections 4.1.3 and 4.2.3.
- 10. Façade signage should be located below parapet level.
- 11. Each site must have an easily identifiable and legible street number on the front of the building that is illuminated or uses reflective material.



Identification sign is acceptable in the setback area





## PRECINCT 1 – BUSINESS PARK & SERVICE RETAIL USES

### 4.1.1 INTRODUCTION

A Business Park is to be provided on the western side of Reconciliation Drive, as highlighted on figure 4.1.1.

A concept plan illustrating a potential layout is shown on figure 4.1.3. This is indicative only and will be further developed and refined for specific developments. Development application(s) / Project application(s) will be required for the Business Park consistent with the Design Guidelines set out in this Plan.

The Business Park is positioned in a highly accessible and prominent location, ideally located adjacent to the future Bus Transitway. Buildings are to be sited and designed within a business park-like setting, to accommodate a range of uses that may include one or more of the following:

*Function centres, light industries, recreational facilities, office premises, standard industries and warehouse or distribution centres.*

Within this precinct up to 100% of total GFA may be used as office premises. A building for the purposes of an office premises must have a minimum floor plate of 3,000m<sup>2</sup> (gross floor area).

Service Retail Uses are also to be provided within this precinct. Development application(s) / Project application(s) consistent with the design guidelines set out in this Plan will be required for the Service Retail Uses.

The types of uses may include:

- i. A Tavern/public house;
- ii. Food and drink premises;
- iii. Automotive Services: including a Service Station, car/truck wash, spare parts, service/retail;
- iv. Business Support: including office supplies and furniture, printing, office equipment repair/sales;
- v. Convenience Retail: including a small supermarket, newsagency, milk bar, pharmacy, café, dry cleaners or similar; and
- vi. Community/Recreational facilities such as indoor sports, fitness centres or child care centres.

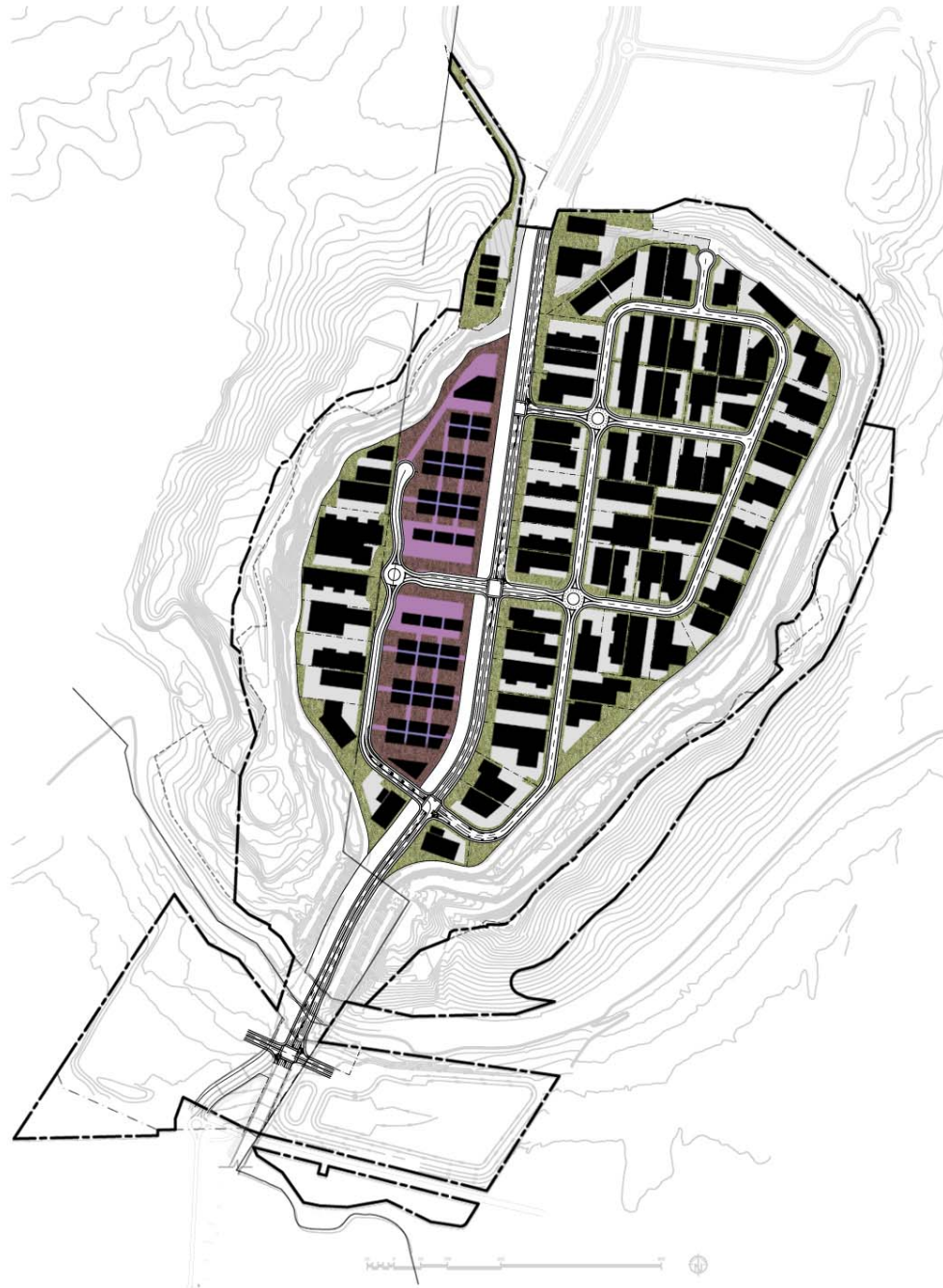
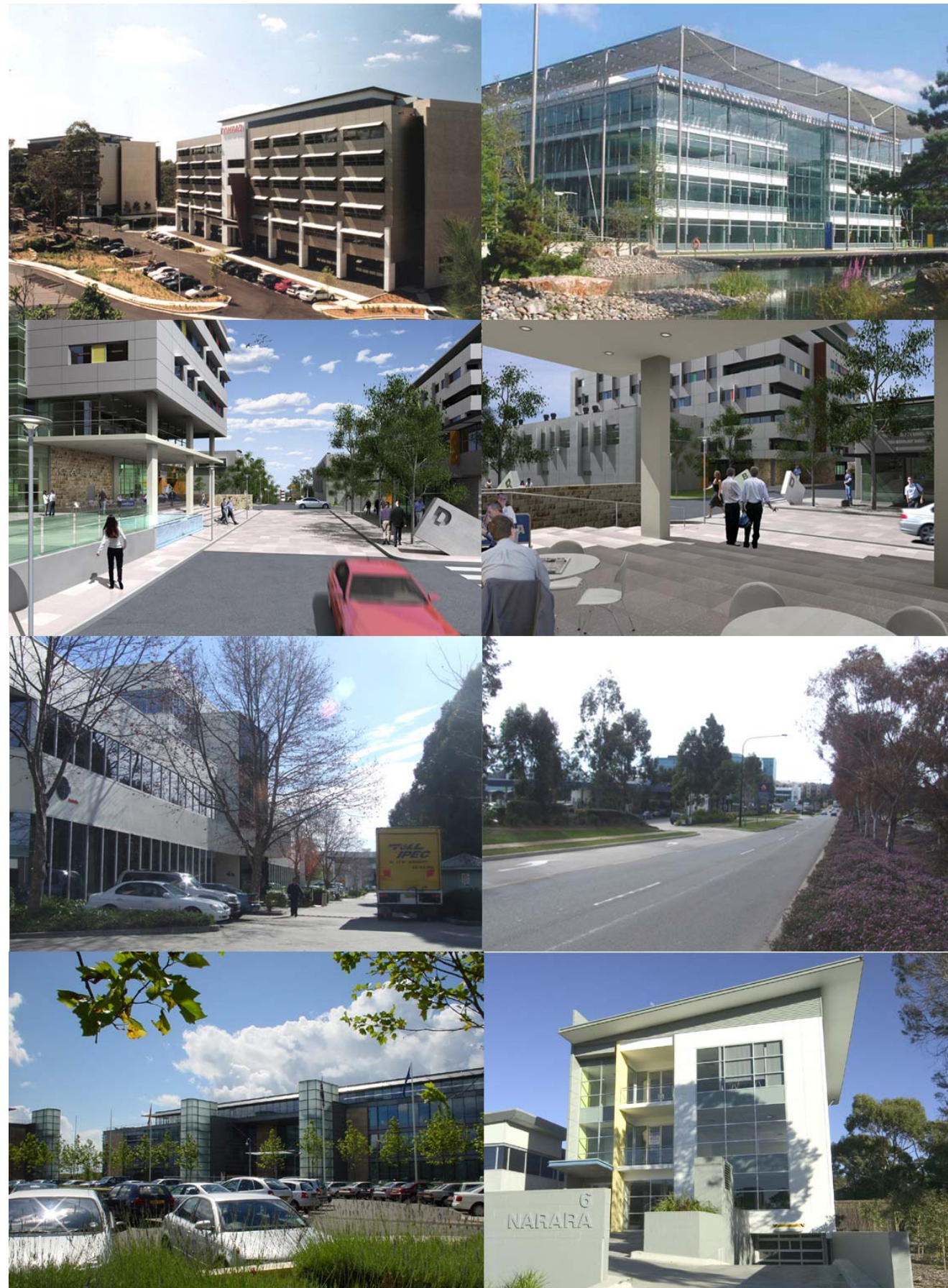


Figure 4.1.1 Precinct 1 – Business Park and Service Retail Uses.





#### 4.1.2 OBJECTIVES

Objectives common to both the Business Park and Service Retail Uses are as follows:

- To provide an attractive working environment for businesses and their employees;
- To make adequate provision for landscaping, carparking and loading areas;
- To provide for a high degree of pedestrian access and site permeability;
- To achieve attractive streetscapes and setbacks with an appropriate scale and distribution of building forms and;
- To ensure that fencing does not detract from overall visual amenity, character or pedestrian permeability of the precinct.

Objectives specific for the Business Park are as follows:

- To provide adaptable accommodation for businesses ranging from headquarters for large corporations to multi-tenanted accommodation for small to medium companies requiring flexible floor plates that can be adapted for office, product assembly, research and development, light manufacturing and light distribution;
- To encourage innovative and contemporary design that incorporates the principles of Ecological Sustainable Development and integrates the design of buildings and landscaped areas.

Objectives specific for Service Retail Uses are as follows:

- To provide retail and commercial services that are readily accessible to the local workforces and passing traffic; and
- To reinforce Greystanes Estate as a major employment centre through providing a range of services to support businesses.

Figure 4.1.2: Indicative images of Business Parks



### 4.1.3 DEVELOPMENT SITING CONTROLS

#### Design Guidelines

Development Siting Controls for the Business Park are as follows:

1. Buildings should be setback from:
  - a. The property boundaries to the western side of the Wetherill Park to Blacktown Bus Transitway corridor a minimum of 4m with an average setback of 7.5m. This setback is required to integrate the business park development with the future transitway and provide convenient, short and direct pedestrian and cyclist access for the employees.
  - b. All other public roads a minimum of 10m from the property boundary. The first 5 metres is to be soft landscaped in accordance with landscaping section 4.0.3.
2. Buildings should be sited and designed so that solar access is available to staff recreation areas.

Development Siting Controls for Service Retail Uses are as follows:

3. Buildings should be setback from:
  - a. The property boundary to the western side of Wetherill Park to Blacktown Bus Transitway corridor a minimum of 7.5m. This setback is required to integrate the service retail uses with the future transitway and provide convenient, short and direct pedestrian and cyclist access for the visitors and employees. Within the setback area:
    - i. External (outdoor) seating/dining areas may encroach to within 0m of the property boundary for 70% of the retail street frontage.
    - ii. Verandas, awnings and porticos may encroach to within 0m of the property boundary;
  - b. All other public roads, a minimum of 5m from the property boundary.
  - c. Locate service retail uses on ground and first floors to maximise pedestrian accessibility.

General – in the business park and service retail uses:

4. All buildings are to be setback a minimum of 7.5 metres from all boundaries unless specific setback provisions are prescribed for road frontages.
5. The setback controls may be varied where public domain improvements or environmental benefits, such as solar access, are achieved.
6. Building setbacks on corner sites must provide adequate sight distance at the road intersections.
7. Building setback areas must not be used for the display or storage of goods / materials.
8. Car parking and driveway may encroach within setback areas provided at least 50% of the setback area is soft landscaping.



Figure 4.1.3: Indicative Business Park layout



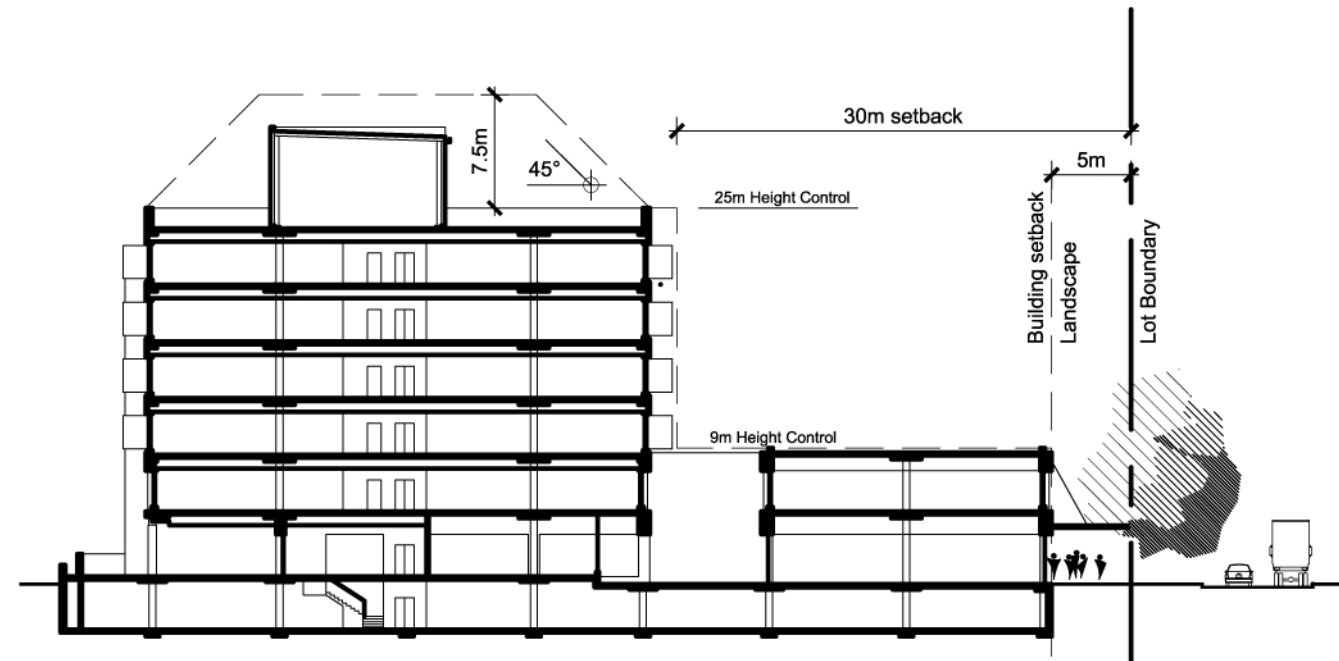


Figure 4.1.4: Possible building configuration to East-West Boulevard

#### 4.1.4 BUILT FORM

##### Design Guidelines

Built Form Design Guidelines common to the Business Park and Service Retail Uses are as follows:

1. A minimum of 15% of the site area should be soft landscaping (includes setbacks) in accordance with Section 4.0.3. Site area is defined as the whole of the land to which an application relates and includes areas set aside for open space, drainage and other services.
2. Building heights should generally not exceed 25 metres. The building height means the vertical distance between finished ground level at any point to the highest point of the building but excludes communication devices, antennae, satellite dishes, masts, flagpoles chimneys, flues and the like.
  - a. Building heights along the east west Boulevard should not exceed 9m within 30m of the frontage.(Refer to diagram 4.1.4)
3. Roof top plant may be permitted up to 7.5m above the building height limit, but should be contained within building envelopes generated by a 45 degree sightline from the parapet/eaves edge, and subsequently screened with an appropriate perforated material, compatible with the building design. All associated ductwork and piping should only be permissible above the roof plane within the concealed plant area. Otherwise, all other plant and/or associated reticulating ducting/piping/wiring, shall be contained beneath the roof.
4. The maximum site coverage is 50% - where site coverage is defined as the area of a site covered by buildings – including atria but excluding awnings. Site area is defined as the whole of the land to which an application relates and includes areas set aside for open space, drainage and other services.
5. Design should encourage pedestrian permeability throughout the precinct.
6. Open space areas for employees and visitors should be provided, preferably within or adjacent to landscaped areas. The areas should be directly accessible from pedestrian paths.
7. Building facades to public road frontages should be articulated. Building facades can be articulated using architectural elements which include:
  - a. variable roofs and skyline silhouettes (for example: saw toothed or pitched roofs and innovative skillion curved or 'floating' roof forms);
  - b. varying facade alignments and height;
  - c. 'breaking-up' facades with windows, changing wall alignments and the use of decorative features and structural features;
  - d. variation in materials and colours;
  - e. location, style and quantity of windows;
  - f. cantilevered or overhanging elements; or
  - g. sun shading devices.
8. The total floor space (GFA) for the Business Park Precinct is 104,000 m<sup>2</sup> comprising of up to:
  - 2,000m<sup>2</sup> for the purpose of a supermarket,
  - 2,000m<sup>2</sup> for the purpose of service retail uses,
  - 2,500m<sup>2</sup> for the purpose of a tavern / restaurant; and
  - 97,500m<sup>2</sup> for the purpose of Business Park uses.



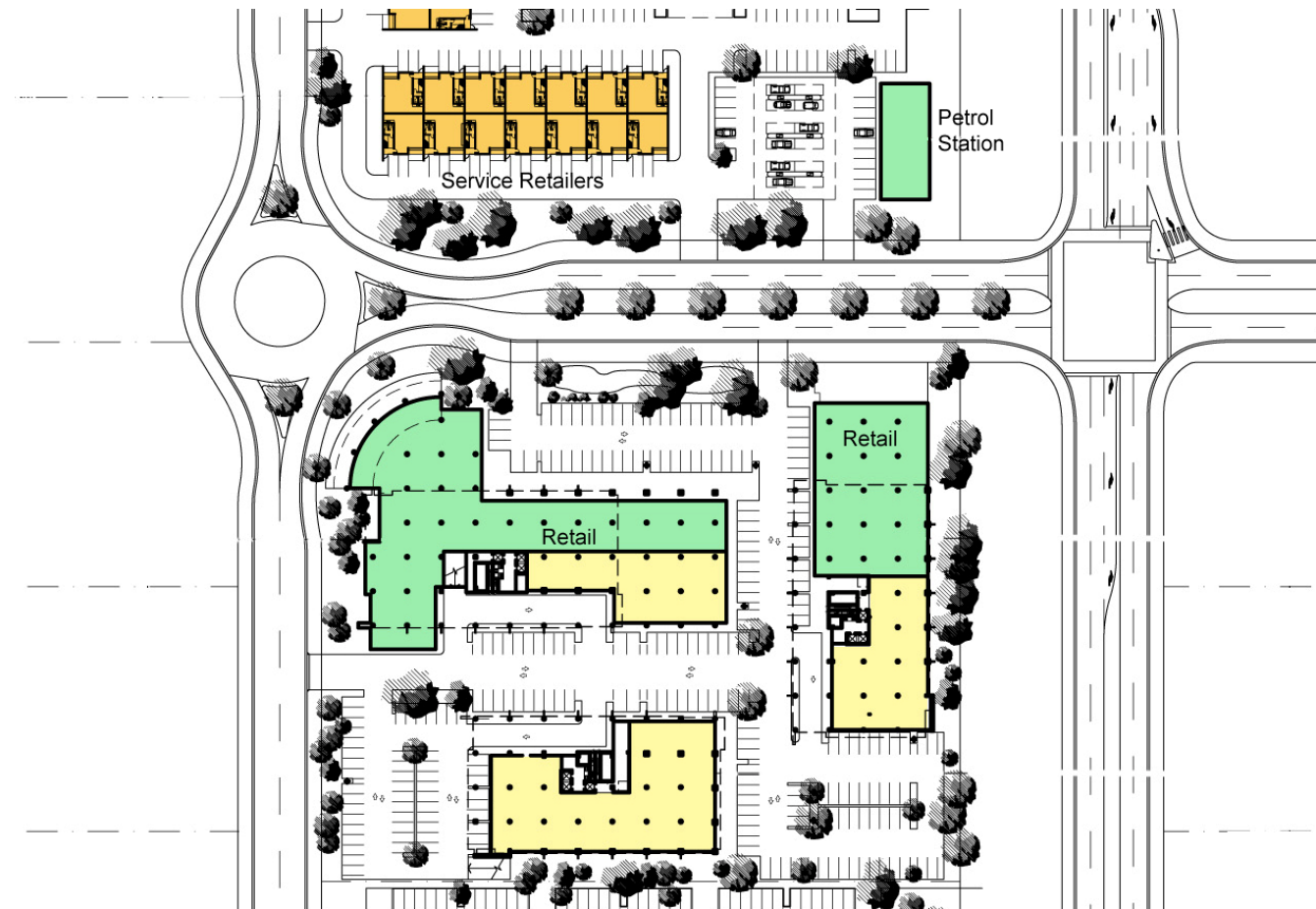


Figure 4.1.6 Indicative Service Retail Layout (Part Plan)

A conceptual layout for the Service Retail Uses is shown on Figure 4.1.6. The types of uses and layout are indicative and will be subject to further details in subsequent applications.

Built Form Design Guidelines for Service Retail Uses are as follows:

9. Roof top deck car parking is not permitted.
10. Buildings which open directly onto pedestrian areas should be provided with either colonnades or awnings, to provide sheltered pedestrian access. The colonnades or awnings should be of a length and depth suitable for anticipated pedestrian volumes and provide protection from moderate wind driven rain.

#### 4.1.5 FENCING

##### Design Guidelines

Fencing Design Guidelines for the precinct are as follows:

1. Fencing within setback areas to public roads should be avoided except for a low ornamental type fence;
2. To achieve pedestrian permeability through the precinct, fencing off a site is not permitted. Fencing of part of a site may be permitted to provide extra security and safety to individual developments provided pedestrian access through the site is achieved;
3. Fencing should be sited so it does not impede sight lines for drivers.
4. Chain-wire fencing is to be black or dark green in colour;
5. Pre-painted solid, metal fencing is not acceptable; and
6. Safety fencing to the stormwater management channel at the base of the quarry wall is exempt from points 1 and 2 above.



#### 4.1.6 SITE WATER MANAGEMENT - DETENTION AND TREATMENT

##### Design Guidelines

In addition to Section 3.7 the following guidelines aim to:

- treat and manage stormwater to minimise site and downstream impacts.
- To encourage reuse, recycling and harvesting of stormwater.
- provide for site stormwater disposal in an efficient and environmentally effective method.

- On-site detention must be provided to ensure the discharge from the lot is a maximum of 140 litres/second/hectare.
- Bioretention areas for water quality treatment should be provided as follows:
  - 1,000m<sup>2</sup> for Precinct 1a,
  - 1,200m<sup>2</sup> for Precinct 1b, and
  - 900m<sup>2</sup> for Precinct 1c.

These areas are subject to detailed design.

The siting and design of the bio-retention area will need to be addressed with the first application for development within that sub precinct area. If an alternative to providing one bio retention area for each of the sub precinct area is proposed, an assessment will need to be provided such that the treatment system meets the following removal rates for key pollutants:

Total suspended solids – 80% removal,

Total nitrogen – 45% removal, and

Total phosphorus – 45% removal.

- On site detention and bio-retention areas should be designed as part of the communal or private landscaped area, incorporating the following design features:
  - Accessible banks;
  - Incorporate areas of small-scale recreation;
  - Incorporate pockets of street furniture; and
  - Add value to the visual quality of landscaped areas

These areas are to be clay lined to ensure there is minimal infiltration into the groundwater system. The detention ponds should be grassed and a typical bio-retention area contains filter media and water tolerant plants. The bio-retention area should be kept separate and access restricted to ensure the system functions as per its design. Above ground OSD tanks are not permitted in front of the building line.

- Stormwater detention for the entire precinct is limited to a discharge of 140 litres/second/hectare.
- A 300mm minimum freeboard above the 100y ARI level in the detention basins should be provided for the enclosed building envelopes for each lot.
- Grey water reuse should be investigated and incorporated where possible.

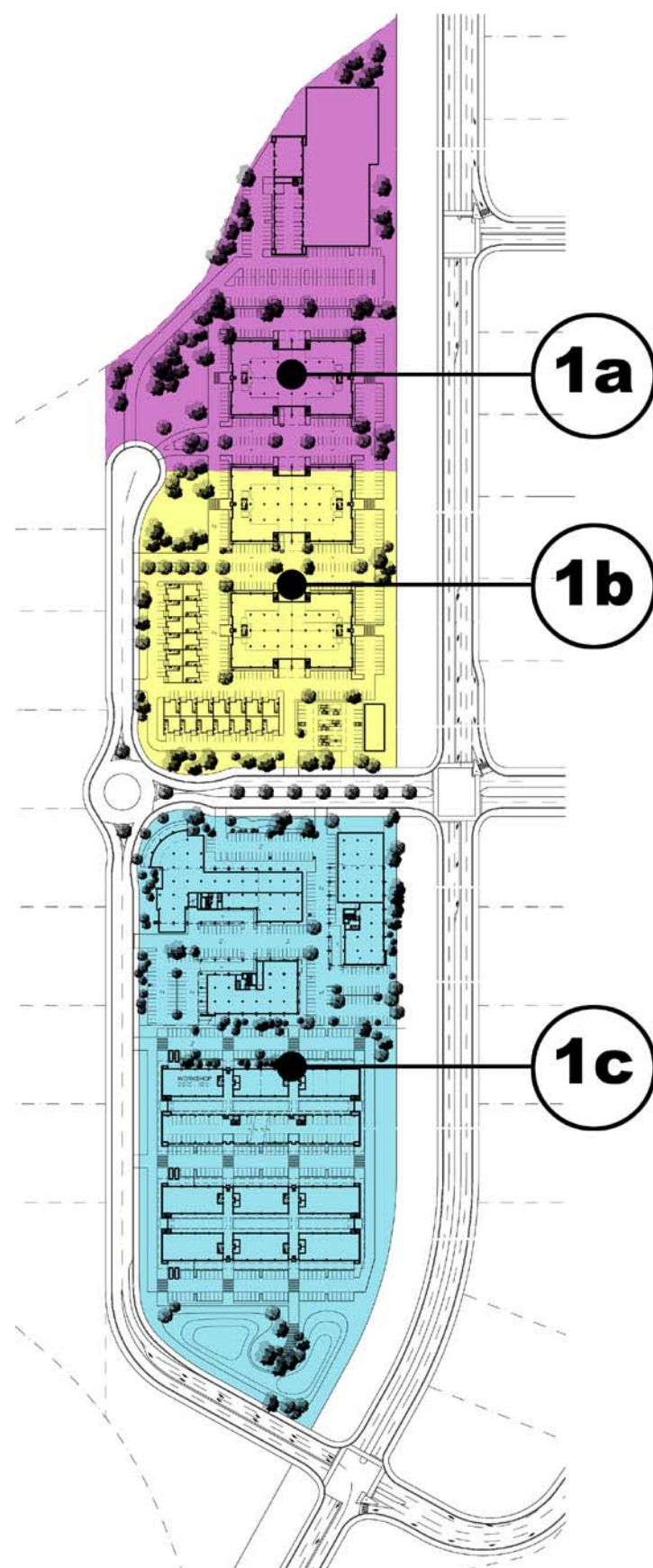


Figure 4.1.7 Detention zones

## PRECINCT 2 – INDUSTRIAL DEVELOPMENT

### 4.2.1 INTRODUCTION

Development on the lots as highlighted on figure 4.2.1 will require separate approval. Where the development satisfies the Complying Development requirements detailed in Annexure A, a Complying Development Certificate may be approved. All other development will require Project Approval or Development Consent.

Hotel accommodation may be located within this Precinct. Such a proposal will be subject to a separate application detailing the proposal and assessing its economic impact and justifying the demand for the proposal. An application for the purposes of hotel accommodation on the lot located on the north-west batter must:

- demonstrate that the development has been designed to take into account (and where relevant mitigate against) the heritage impact on the adjoining Prospect Reservoir and its recognised curtilage and any other adjacent heritage items;
- include a visual analysis and other documentation to demonstrate the relationship of the proposed development with Prospect Reservoir;
- include design details of the proposed external materials and finishes, including schedules and sample board of material and colours; and
- set out general construction impacts associated with the development and how these impacts will be mitigated, monitored and managed.

### 4.2.2 OBJECTIVES

Objectives are as follows:

- a. To achieve a quality industrial park setting and ensure adequate provision is made for landscaping, parking and manoeuvring areas;
- b. To provide the opportunity to co-locate high technology, research and development, distribution, manufacturing uses with associated offices;
- c. To achieve attractive streetscapes with an appropriate scale and distribution of floor space that reinforces the desired streetscape character; and
- d. To encourage a high architectural standard of contemporary design.

Objectives specific for the hotel accommodation are as follows:

- e. To provide suitable accommodation for people visiting businesses in the district that is conveniently located and reduces car travel;
- f. To reinforce Greystanes Estate as a major employment centre through providing a service to support businesses.

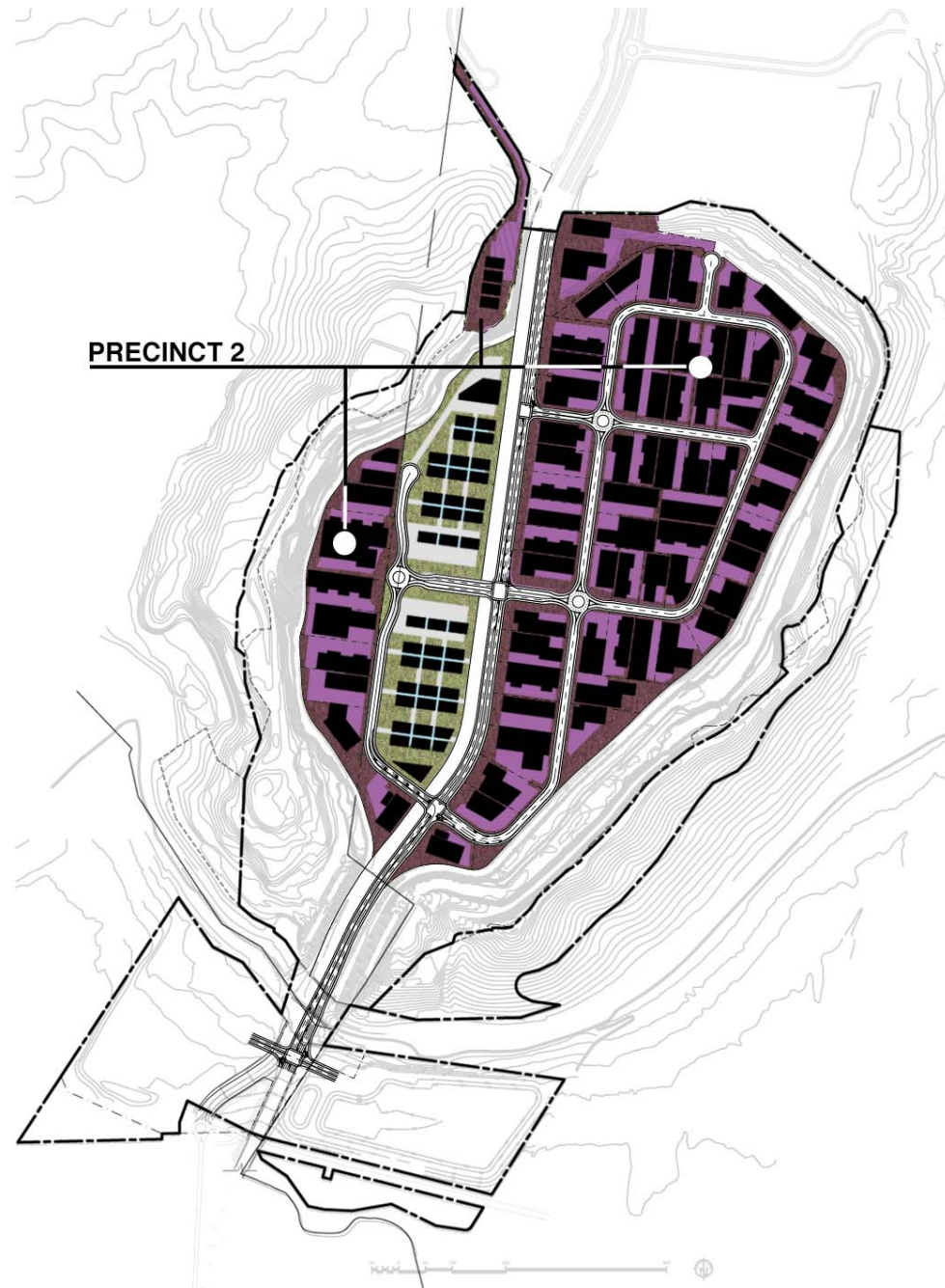


Figure 4.2.1: Precinct 2 – Industrial Subdivision



### 4.2.3 DEVELOPMENT SITING CONTROLS

#### Design Guidelines

1. The minimum building setback for all lots fronting the spine road –“Reconciliation Drive” or the Transitway, should be 15m from the property boundary.
  - a. The first 7.5m should be soft landscaping in accordance with the section 4.0.3.
  - b. Car parking may encroach to within 7.5m of the property spine road boundary.
  - c. Directional signage/boards may be located within the setback area. All other signs must be setback a minimum of 7.5m from the front property boundary.
  - d. Porte Cocheres or porticos may encroach to within 10.0m of the property boundary..
  - e. Outdoor storage of goods/materials must comply with the 15m setback and must be screened from public view .
2. The minimum building setback to all other public roads should be 7.5m from the property boundary. Apart from access-ways and directional signage/boards, the setback area should be soft landscaping in accordance with the section 4.0.3
3. On corner sites car parking is permitted within 3.0m of the longer street frontage setback. Apart from access-ways and directional signage/boards the secondary setback area should be soft landscaping in accordance with section 4.0.3.
4. A minimum building setback of 6.0m is required from one side boundary. Where lots are affected by easements for sewer and/or stormwater, greater setbacks may be required.
5. Buildings should be sited and designed so that solar access is available to staff recreation areas.
6. The site layout, building design and landscaping should provide direct, convenient and safe access to the street for the pedestrians.
7. Buildings should be sited to allow for adequate lines of sight for pedestrians, cyclists and vehicles.
8. Building setback areas to public roads should not be used for the display or storage of goods / materials.
9. The setback controls may be varied where public domain improvements or environmental benefits such as solar access are achieved.

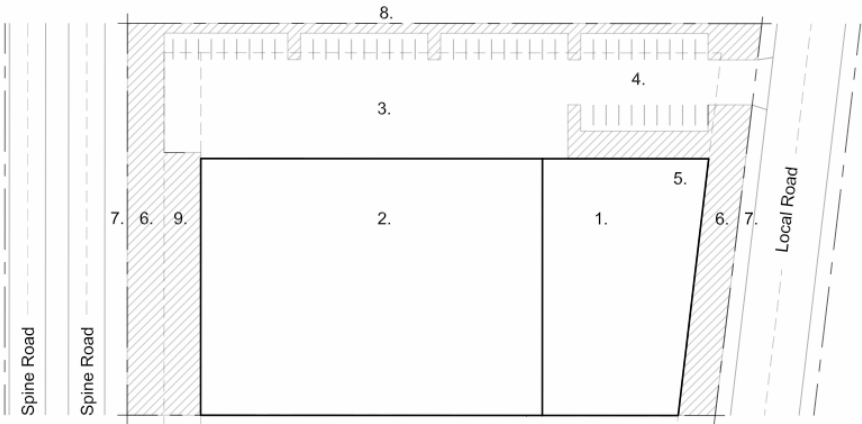


Figure A: Double Fronted Development Lot - Spine Rd. and Local Rd.

KEY:

1. Office component to the front of the site.
2. Warehouse component to the rear of the site.
3. Servicing and loading to the rear of the site appropriately screened to spine road.
4. Carparking to the side of the site is permitted to within 2m of boundary with shade trees every 10 car spaces.
5. Carparking beneath elevated office component. Basement parking option beneath at-grade office.
6. 7.5m soft landscape setback zone,
7. Verge.
8. 2m soft landscaped deep soil setbacks to one boundary, with a 6m building setback.
9. 15m rear Spine Road building setback. No vehicular access to spine road is permitted.

## 4.2.4 BUILT FORM

### Design Guidelines

Built Form Design Guidelines for Precinct 2 are as follows:

1. Building facades to public road frontages should be articulated. Building facades can be articulated using architectural elements which include:
  - a. Variable roofs and skyline silhouettes (for example: saw toothed or pitched roofs and innovative skillion curved or 'floating' roof forms);
  - b. Varying facade alignments and height;
  - c. 'Breaking-up' facades with windows, changing wall alignments and the use of decorative features and structural features;
  - d. Variation in materials and colours;
  - e. Location, style and quantity of windows;
  - f. Cantilevered or overhanging elements; verandas, terraces, sun shading devices; or
  - g. Colonnades.
2. Loading dock roller shutters should generally not be located on a façade facing a road where they are within 25m of a road boundary.
3. The maximum GFA for a hotel accommodation development on the the lot located on the north-west batter is 5000 m<sup>2</sup>. The development for the purposes of hotel accommodation on that lot however shall not exceed a total maximum FSR of 1:1.
4. The maximum floor space ratio (FSR) on all other lots in the industrial precinct is 0.75:1.
5. Maximum site coverage is 70% - where site coverage is defined as the area of a site covered by buildings including awnings. Site area is defined as the whole of the land to which an application relates and includes areas set aside for open space, drainage and other services.
6. Building heights should not exceed 15 metres from finished ground level on industrial lots. The building height means the vertical distance between ground level (finished) at any point to the highest point of the building but excludes communication devices, antennae, satellite dishes, masts, and flagpoles.
7. The maximum building height for the lot located on the north-west batter is 25 metres. The building height means the vertical distance between ground level (finished) at any point to the highest point of the building but excludes communication devices, antennae, satellite dishes, masts, and flagpoles.
8. Roof top plant may be permitted above the building height limit, but should be contained within building envelopes generated by a 45 degree sightline from the parapet/eaves edge, and subsequently screened with an appropriate perforated material, compatible with the building design. All associated ductwork and piping should only be permissible above the roof plane within the concealed plant area. Otherwise, all other plant and/or associated reticulating ducting/piping/wiring, shall be contained beneath the roof.
9. Associated office space should not exceed 50% of GFA where the site is within 400m of a bus stop or 30% of GFA where the site is more than 400 metres from a bus stop.

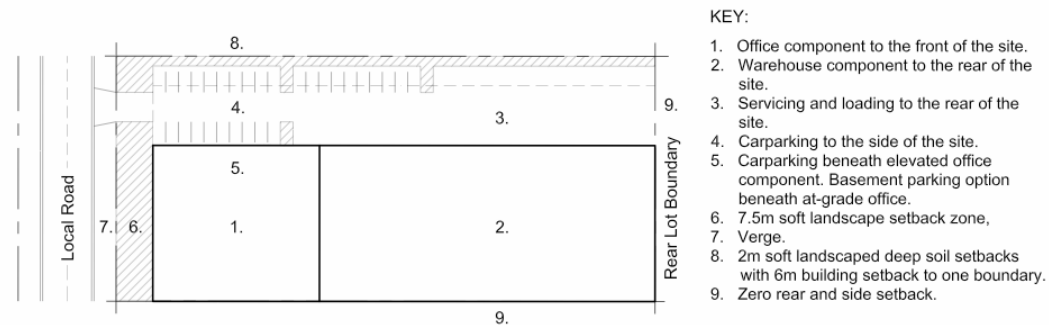


Figure B: Single Fronted Development to Local Rd.

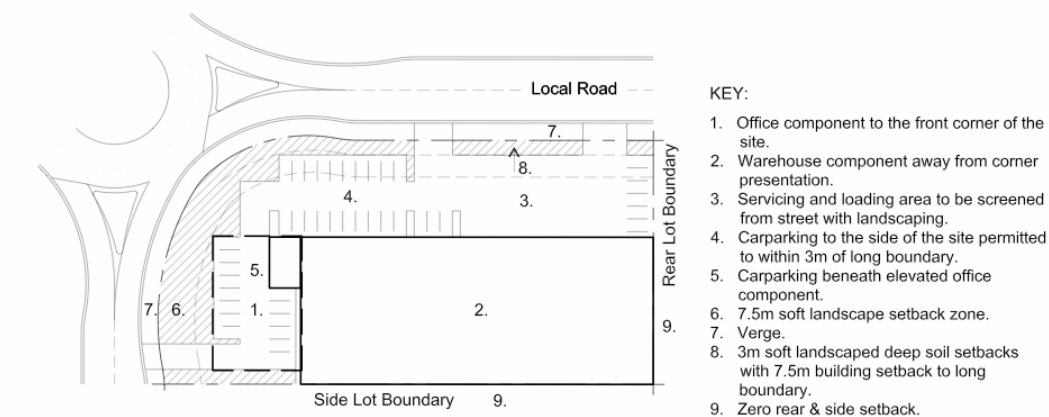


Figure C: Corner Lot Development.



#### 4.2.5 FENCING



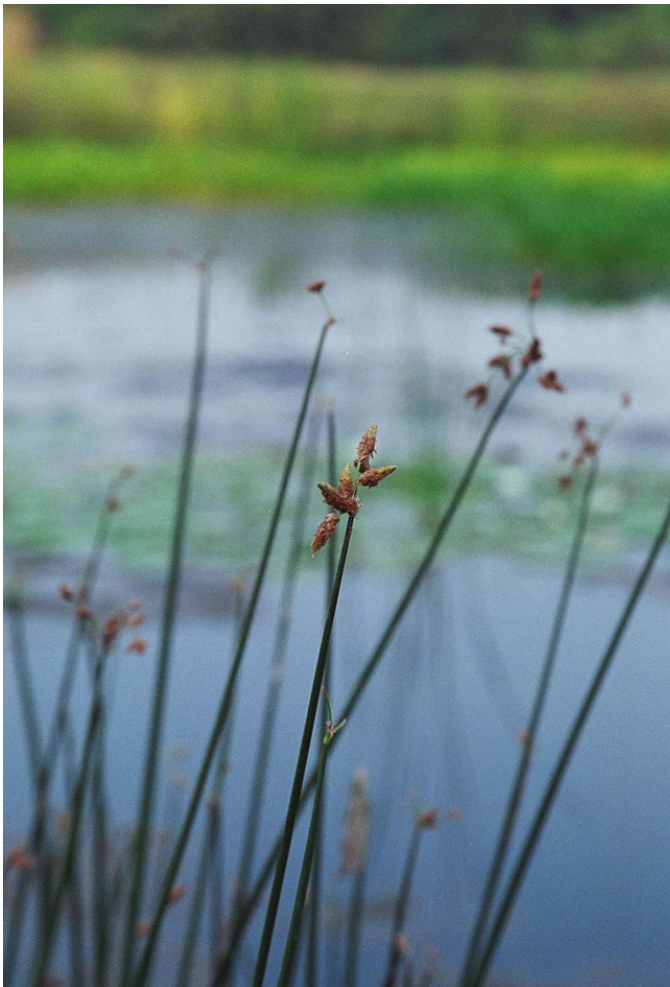
##### Design Guidelines

1. Fencing between the building and the principal street frontage is not encouraged.
2. Where fencing is required for safety or security reasons to be forward of the building line, it should be of a standard and style that does not detract from the landscaping and main building facades. Details of fencing are to be provided at the development application/complying development certificate stage.
3. Fencing should be sited so it does not impede sight lines for drivers.
4. Fencing should be either 'transparent' or integrated into the building form. 'Transparent' fencing shall be designed to ensure its materials and colours blend into the landscape and allow visual access.
5. Solid fencing should be designed to be part of the building form and be constructed of the same or complementary materials to the building.
6. Fencing within the front boundary setback area of a height greater than 1m should be located behind a landscape buffer of a minimum depth of 3m.
7. Pre-painted solid, metal fencing should be avoided.
8. Fencing along street boundaries should not exceed a height greater than 3m, measured from ground level (finished).
9. The above guidelines do not apply to fencing along Reconciliation Drive. Along Reconciliation Drive, where fencing is required for safety or security reasons, it may be positioned on the property boundary and it must be black or dark green chain wire.

#### 4.2.6 SITE WATER MANAGEMENT

##### Design Guidelines

1. All water leaving the site should be treated for the removal of sediments, heavy metals, pollutants and other contaminants that may be produced by the industrial activities on site in accordance with the following objectives:
  - i. Oil and grease – no visible discharge; and
  - ii. Unnatural discolouration – no visible discharge.



ANNEXURE A – EXEMPT DEVELOPMENT CONTROLS

All development of the types listed in the table below is to comply with the “deemed to comply” requirements of the *Building Code of Australia* and the provisions in Schedule 3 of the State Environmental Planning Policy (Major Projects) that relate to the land.

| Development type                    | Conditions                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|-------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Erection of a building or structure |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Air conditioning units              | <ul style="list-style-type: none"><li>▪ Either attached to an external wall or mounted on the ground</li><li>▪ Located a minimum of 3m off any property boundary and located behind required street setback to any street frontage</li><li>▪ The building work must not reduce the structural integrity of the section of the building affected by the installation of the unit</li><li>▪ Any opening created by the installation is to be adequately weather proofed and the required fire rating is not reduced.</li></ul>                                                                    |
| Barbecue                            | <ul style="list-style-type: none"><li>▪ Located at least 900mm from any property boundary</li><li>▪ Located behind building line to any street frontage</li><li>▪ Maximum height 2.1m above natural ground level</li><li>▪ Maximum area of base 4m<sup>2</sup></li></ul>                                                                                                                                                                                                                                                                                                                        |
| Canopies, awnings and storm blinds  | <ul style="list-style-type: none"><li>▪ Attached to a building</li><li>▪ Maximum area 10m<sup>2</sup></li><li>▪ Located behind building line to any street frontage</li><li>▪ Located at least 900mm from any property boundary</li><li>▪ Located behind building line to any street frontage</li><li>▪ Installed to manufacturer’s specifications.</li></ul>                                                                                                                                                                                                                                   |
| Deck                                | <ul style="list-style-type: none"><li>▪ Maximum area of deck 20m<sup>2</sup></li><li>▪ Located behind building line to any street frontage</li><li>▪ Located at least 3m from property boundary</li><li>▪ Deck is not roofed</li><li>▪ Maximum height 500mm above ground level to top of deck with balustrade height not exceeding 1.2m above top of deck</li></ul>                                                                                                                                                                                                                             |
| Driveways and pathways              | <ul style="list-style-type: none"><li>▪ Not over common land</li><li>▪ Only 1 driveway for a lot.</li><li>▪ To be of structurally sound and of stable construction with adequate reinforcement</li><li>▪ May not be elevated or suspended above natural ground level</li><li>▪ Rainwater not to be redirected onto adjoining property</li><li>▪ An appropriate fall and grated drain is to be provided to prevent the entry of stormwater onto the footpath, building or garage</li><li>▪ Consult with relevant utility providers regarding underground infrastructure and easements.</li></ul> |

|                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|---------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Earthworks/landfill                   | <ul style="list-style-type: none"><li>▪ Maximum depth of 200mm of clean fill from natural ground level</li><li>▪ Rainwater not to be directed into adjoining property.</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| Fence                                 | <ul style="list-style-type: none"><li>▪ Maximum height 1.2m above natural ground level if it is located at least 3m from the front boundary and is of open construction.</li><li>▪ Maximum height 1.8m above natural ground level, if it is located behind the street setback area</li><li>▪ Masonry fences are to be structurally adequate for the intended purpose and to comply with AS 3700 and AS 1170</li><li>▪ Not to contain barbed wire.</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Flag pole                             | <ul style="list-style-type: none"><li>▪ Maximum height 6m above existing ground level and located at least 7m from any boundaries</li><li>▪ One only for each allotment</li><li>▪ To be structurally adequate.</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Hoardings                             | <ul style="list-style-type: none"><li>▪ Any hoarding erected must meet with Workcover Authority requirements</li><li>▪ All care must be taken to safe guard the general public</li><li>▪ The least horizontal distance between the common boundary of the site and a footpath or public thoroughfare and the nearest parts of the structure is to be greater than twice the height of the structure being erected or demolished</li><li>▪ The vertical height above footpath level of the structure being demolished or erected must be less than 4m</li><li>▪ A hoarding is to be constructed of solid materials to a height not less than 2.4m above the level of the footpath or thoroughfare</li><li>▪ Not to encroach onto public footway or thoroughfare</li><li>▪ Appropriate signage is to be provided in accordance with AS 1319</li><li>▪ The hoarding is to be structurally adequate</li><li>▪ In instances where the building is situated away from the boundary by twice the measurement of the height of the building other non solid hoardings may be provided subject to appropriate signage being provided</li><li>▪ These structures are of a temporary nature and are only permitted as exempt development if installed for less than 12 months</li></ul> |
| Private electricity service pole/post | <ul style="list-style-type: none"><li>▪ Not to exceed specifications of electricity distributor (Electricity Association of NSW—Service and Installation Rules 1996).</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| Access ramps                          | <ul style="list-style-type: none"><li>▪ Maximum height of less than 1m (above ground level)</li><li>▪ To comply with the minimum front setback and be a minimum of 900mm from the side boundary</li><li>▪ Grade to be a maximum of 1:14 and otherwise in accordance with AS 1428.1.</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |



|                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|-----------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Replacement or repair of existing roof and walls to building/carport/garage | <ul style="list-style-type: none"> <li>No alteration to existing window or door openings or their location and size</li> <li>Materials other than masonry with a low reflectivity index</li> <li>No structural alterations required</li> <li>No change to the roof height, pitch or profile</li> <li>All stormwater is to be directed to a suitable system</li> <li>All work involving asbestos cement must comply with the Workcover Authority's <i>Guidelines for Practices Involving Asbestos Cement in Buildings</i>.</li> </ul>                                                                 |
| Retaining wall                                                              | <ul style="list-style-type: none"> <li>Maximum height 900mm above or below ground level and located at least 900mm off any property boundary</li> <li>Retaining walls are to be structurally adequate for the intended purpose and to comply with AS 3700, AS 3600 and AS 1170 and timber walls must comply with AS 1720 and AS 1170.</li> </ul>                                                                                                                                                                                                                                                     |
| Roof ventilators and skylight roof windows                                  | <ul style="list-style-type: none"> <li>Maximum area of installation not to exceed 3m<sup>2</sup></li> <li>The building work must not reduce the structural integrity of the building or involve structural alterations and must be structurally adequate</li> <li>Located a minimum of 900mm from property boundary or 900mm from a separating wall between 2 buildings</li> <li>Must comply with the Building Code of Australia</li> <li>Installed to manufacturers' specifications</li> <li>Must not reduce weather proofing of roof or wall in which it is located or fire resistance.</li> </ul> |
| Satellite dish                                                              | <ul style="list-style-type: none"> <li>Roof or rear yard mounted</li> <li>Maximum diameter 1.5m</li> <li>The building work must not reduce the structural integrity of the building or involve structural alterations and must be structurally adequate</li> <li>One only for each lot</li> <li>Maximum height 1.8m as measured from the roof level on which it is mounted</li> <li>Installed to manufacturer's specifications.</li> </ul>                                                                                                                                                           |
| Scaffolding                                                                 | <ul style="list-style-type: none"> <li>To meet with all of the WorkCover Authority's requirements</li> <li>Not to encroach onto footpath or public thoroughfare</li> <li>To have sufficient structural strength to withstand and be impenetrable to the impact of falling rubble</li> <li>Must enclose the work area</li> <li>Must comply with AS 1576</li> <li>Must be removed immediately after the purpose for which it was initially provided has concluded and no safety problem will result due to removal.</li> </ul>                                                                         |
| Television aerial/microwave antennae                                        | <ul style="list-style-type: none"> <li>Maximum height 6m above roof</li> <li>Must be structurally adequate.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |

|                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Temporary structures and temporary buildings <ul style="list-style-type: none"> <li>Builders sheds</li> <li>Portaloos</li> <li>Marquees</li> <li>Mini stages</li> </ul> | <ul style="list-style-type: none"> <li>Removal must occur after construction of associated development or 5 months whichever is the lesser</li> <li>Located within property boundaries</li> <li>Marquees/mini stages not in place longer than 1 week with a maximum gross floor area of 12m<sup>2</sup>.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| Water heaters                                                                                                                                                           | <ul style="list-style-type: none"> <li>Includes solar systems</li> <li>The work must not reduce the structural integrity of the building or involve structural alterations</li> <li>The work must not interfere with views from surrounding properties</li> <li>Installed to manufacturer's specifications and by a licensed person.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Water tanks                                                                                                                                                             | <ul style="list-style-type: none"> <li>Located at least 900mm from any property boundaries</li> <li>Located behind building line to any street frontage</li> <li>Maximum height 1.8m above ground level</li> <li>Overflow to suitable stormwater system</li> <li>Maximum size 1000 litres</li> <li>Tank to be installed on a solid base or attached to existing single storey buildings in accordance with manufacturer's specification.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                            |
| Windows, glazed areas and external doors                                                                                                                                | <ul style="list-style-type: none"> <li>Replacement in residential premises with materials that comply with:               <ul style="list-style-type: none"> <li>(a) AS 1288 <i>Glass in buildings—Selection and installation</i>, and</li> <li>(b) AS 2208 <i>Safety Glazing Materials for Use in Buildings (Human Impact Considerations)</i> and to be of the same size and location</li> </ul> </li> <li>No reduction in the area provided for light and ventilation is permitted and structural support members cannot be removed.</li> </ul>                                                                                                                                                                                                                                                                                                              |
| <b>Demolition of a building</b>                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Demolition of a building                                                                                                                                                | <ul style="list-style-type: none"> <li>Approval is not required if the council has consented to demolition as a condition of development consent or an order to demolish has been issued by the council under section 124 of the <u><i>Local Government Act 1993</i></u></li> <li>Approval is not required for demolition of any building in a category under this Policy for which approval to erect that building would not be necessary (whether erected before or after this Policy took effect)</li> <li>Demolition to be carried out to AS 2601-1991 <i>Demolition Code</i></li> <li>All works involving asbestos cement must comply with the WorkCover Authority's <i>Guidelines for Practices Involving Asbestos Cement in Buildings</i></li> <li>All work involving lead paint removal must not cause lead contamination of air or ground.</li> </ul> |
| <b>Signs</b>                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Identification, interpretive, directional and advance warning signs                                                                                                     | <ul style="list-style-type: none"> <li>Constructed and installed by or on behalf of the Council or the Roads and Traffic Authority.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Signs on motor vehicles                                                                                                                                                 | <ul style="list-style-type: none"> <li>Vehicle is able to be driven with the sign displayed and the vehicle is used principally for the conveyance of passengers and/or goods.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |

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| Signs not visible from a public place                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Signs less than 1.5m associated with business and industrial uses                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Temporary signs                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Real estate signs                                                                                                 | <ul style="list-style-type: none"><li>No more than one sign with a maximum area of 1.1m<sup>2</sup> per site.</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Under awning sign                                                                                                 | <ul style="list-style-type: none"><li>Associated with a business or industrial use</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|                                                                                                                   | <ul style="list-style-type: none"><li>No more than one sign per site which is a minimum of 2.7m above ground level and does not extend beyond the width of the awning.</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| Window signs                                                                                                      | <ul style="list-style-type: none"><li>Occupy less than 50% of the window area and located below the awning level.</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <b>Use of land</b>                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Change of use (not involving a change of class of building as defined in the <i>Building Code of Australia</i> ): | <ul style="list-style-type: none"><li>Use must be an existing legal use</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| - From shop to another shop                                                                                       | <ul style="list-style-type: none"><li>No extension to hours outside of existing hours of operation</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| - From office to another office                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| - Between social and sporting clubs                                                                               | <ul style="list-style-type: none"><li>No display or sale of publications within the meaning of the <i>Classification (Publications, Films and Computer Games) Enforcement Act 1995</i>, or display of objects primarily concerned with sexual behaviour</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                        |
| - Between community or cultural centres                                                                           | <ul style="list-style-type: none"><li>The curtilage of any shop or office must not be used for storage or display purposes</li><li>Social and sporting clubs must not include clubs registered under the <i>Registered Clubs Act 1976</i></li><li>Any use that is changed must continue subject to the conditions of any development consent relating to the use of the building or land</li><li>No change of use if the new use attracts additional car parking requirements</li><li>New use does not conflict with any existing conditions of consent</li><li>Not to reduce travel distances or widths as required in the <i>Building Code of Australia</i>.</li></ul> |
| Commercial use of footpath or road (or closed road)                                                               | <ul style="list-style-type: none"><li>On council-owned land and in accordance with terms and conditions of a licence obtained from the council prior to use.</li><li>Consistent with any Plan of Management that applies to the land</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                           |
| Use of public open space for community, cultural or commercial purposes                                           | <ul style="list-style-type: none"><li>Must be in accordance with a temporary licence or hire agreement issued by the council.</li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>Public works</b>                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Bus shelters                                                                                                      | <ul style="list-style-type: none"><li>Must be suitably designed and constructed by or for the council</li><li>Must relate to character and amenity of the area</li><li>Structurally adequate construction</li><li>Not to obstruct the line of sight of vehicular traffic</li><li>A maximum height of 2.7m above the footpath</li><li>Area of less than 10m<sup>2</sup></li><li>Non reflective surface finishes.</li></ul>                                                                                                                                                                                                                                                |

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| Goal posts, sight screens and similar ancillary sporting structures (excluding lighting) | <ul style="list-style-type: none"><li>Construction by or for the council and installed in accordance with relevant Australian Standards and/or <i>Building Code of Australia</i></li><li>Located in public parks or recreation areas</li><li>Exemption specifically excludes buildings which accommodate people.</li></ul>                                                                 |
| Park and street furniture                                                                | <ul style="list-style-type: none"><li>Such as seats, bins, picnic tables, community notice boards and minor shelters not including bus shelters</li><li>Construction by or for the council and designed, fabricated and installed in accordance with relevant Australian Standards and/or <i>Building Code of Australia</i></li><li>Located on land under control of the council</li></ul> |



## ANNEXURE B – COMPLYING DEVELOPMENT CONTROLS

Complying development applies to land in Precinct 2 shown in map 1406-MP-05(B) of this Urban Design Plan.

| Use                                                                                                                                                                                                 | Requirement                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Outcomes      |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|
| <b>Light Industry</b>                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |               |
| a new use                                                                                                                                                                                           | <ul style="list-style-type: none"> <li>The use must be a hazardous or offensive industry or involving use of a hazardous or offensive storage establishment, in which the processes carried on, the transportation involved or the machinery or materials used do not interfere with the amenity of the neighbourhood by reason of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil, or otherwise.</li> </ul> | A to L        |
| a change of use from one type of [approved] light industrial, high technology, storage or research activities to another type of light industrial, high technology, storage or research activities. | <ul style="list-style-type: none"> <li>provided is does not increase the total floor area of the building.</li> </ul>                                                                                                                                                                                                                                                                                                                                                        | C, D, E, F, H |
| an alteration to [approved] light industrial high technology, storage or research activities                                                                                                        | <ul style="list-style-type: none"> <li>provided is does not increase the total floor area of the building.</li> </ul>                                                                                                                                                                                                                                                                                                                                                        | A to L        |
| <b>Warehouse or distribution centre</b>                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |               |
| a new use                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | A to L        |
| a change of use from one type of [approved] storage or distribution centres to another type storage or distribution centre                                                                          | <ul style="list-style-type: none"> <li>provided it does not increase the total floor area of the building.</li> </ul>                                                                                                                                                                                                                                                                                                                                                        | C, D, E, F, H |
| an alteration to [approved] storage or distribution centres                                                                                                                                         | <ul style="list-style-type: none"> <li>provided it does not increase the total floor area of the building.</li> </ul>                                                                                                                                                                                                                                                                                                                                                        | A to L        |
| <b>Commercial uses</b><br>internal alterations                                                                                                                                                      | <ul style="list-style-type: none"> <li>an existing approved use provided it does not increase the total floor area of the building.</li> </ul>                                                                                                                                                                                                                                                                                                                               | A to L        |

### COMPLYING DEVELOPMENT MUST:

|          |                                                                                                                                                                                                                                               |
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| <b>A</b> | <b>ESD Principles</b>                                                                                                                                                                                                                         |
| A.4      | NatHERS – where applicable, is to be enforced.                                                                                                                                                                                                |
| <b>B</b> | <b>Landscaping</b>                                                                                                                                                                                                                            |
| B.1      | Planting must be native species that are listed in Annexure A.                                                                                                                                                                                |
| B.2      | A minimum of 10% of the site must be soft landscaped.                                                                                                                                                                                         |
| B.3      | All land within 7.5 metres of the front boundary of a lot shall be soft landscape unless required for driveway purposes. Landscaped areas must be separated from vehicle areas by an effective physical barrier (typically concrete kerbing). |

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| B.4      | A minimum of one canopy tree is to be planted every ten (10) contiguous car parking spaces.                                                                                                                                                                                                                |
| <b>C</b> | <b>Access, Parking and Loading</b>                                                                                                                                                                                                                                                                         |
| C.1      | Pedestrian access and circulation minimum requirements must meet those as precribed by AS1428.                                                                                                                                                                                                             |
| C.2      | Access ways and manoeuvring areas must comply with Australian design standards AS 2890.1 and 2.<br><br>Turning provisions must be provided within the site for the maneuvering of vehicles using the loading and unloading facilities in accordance with AUSTROADS Design Vehicular and Turning Templates. |
| C.3      | Adequate area must be provided on site and driveways designed to enable all vehicles including large trucks to enter and leave the site in a forward direction.                                                                                                                                            |
| C.4      | The maximum number of vehicle crossovers for lots with a road frontage of 50m or less, is 1.                                                                                                                                                                                                               |
| C.5      | The maximum number of vehicle crossovers for lots with a road frontage greater than 50m, is 2. In the case of corner blocks, the road frontage calculation is the addition of the frontage to each road.                                                                                                   |
| C.6      | Laybacks must be a minium of 9m wide, when measured at the kerb alignment.                                                                                                                                                                                                                                 |
| C.7      | Parking must otherwise comply with the provisions of the AS2890.                                                                                                                                                                                                                                           |
| C.8      | Parking space numbers must be provided as follows: <ul style="list-style-type: none"> <li>Factories – 1 space/77m<sup>2</sup> GFA;</li> <li>Warehouses – 1 space/300m<sup>2</sup> GFA;</li> <li>Office – 1 space/40m<sup>2</sup> GFA;</li> <li>Retail – 1 space/20m<sup>2</sup> GFA.</li> </ul>            |
| C.9      | Stacked car parking is not to be included in complying car parking calculations.                                                                                                                                                                                                                           |
| <b>D</b> | <b>Bicycle Parking</b>                                                                                                                                                                                                                                                                                     |
| D.1      | Bicycle parking facilities are required to be provided for any new development, which exceeds 3,000m <sup>2</sup> in floor area                                                                                                                                                                            |
| D.2      | A minimum rate of 2 bicycle parking spaces plus 5% of the total number of car parking spaces is required.                                                                                                                                                                                                  |
| D.3      | Bicycle parking must be located within 30 metres from the entrance of the building on site and not exceed contiguous 12 spaces.                                                                                                                                                                            |
| <b>E</b> | <b>Services</b>                                                                                                                                                                                                                                                                                            |
| E.1      | All on site services must be underground.                                                                                                                                                                                                                                                                  |
| E.2      | All services must meet the minimum requirements of relevant Australian Standards                                                                                                                                                                                                                           |
| E.3      | Service areas including waste/recycling areas and external storage areas must be located away from principal frontages and adequately screened from view from any public road.                                                                                                                             |
| E.4      | Arrangements satisfactory to Integral Energy must be made by the owner or applicant for the provision of of underground low voltage electricity reticulation.                                                                                                                                              |
| E.5      | Arrangements satisfactory to the water supply authority must be made by the owner or applicant for the amplification and reticulation of water and sewerage services. Written confirmation of the water supply authority aproval is required.                                                              |
| <b>F</b> | <b>Stormwater Management</b>                                                                                                                                                                                                                                                                               |
| F.1      | Lot owners must be responsible for management of stormwater quality and quantity on their site.                                                                                                                                                                                                            |
| F.2      | Each lot must provide water quality treatment consisting of oil and grease separation, gross                                                                                                                                                                                                               |

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|          | pollutant and nutrient retention in accordance with the corresponding Australian Standard.                                                                                                                                                                                                                                                      |
| F.3      | A 300mm minimum freeboard must be provided for the enclosed building envelopes for each lot                                                                                                                                                                                                                                                     |
| F.4      | An unobstructed overland flow path must be provided for each lot.                                                                                                                                                                                                                                                                               |
| <b>G</b> | <b>Lighting</b>                                                                                                                                                                                                                                                                                                                                 |
| G.1      | All parking areas and driveways should be illuminated to a minimum level of between 25 and 50 lux at ground level.                                                                                                                                                                                                                              |
| <b>H</b> | <b>Signage</b>                                                                                                                                                                                                                                                                                                                                  |
| H.1      | Must be a sign on the façade or a directory sign. Signs which are not freestanding, must be located below parapet level.                                                                                                                                                                                                                        |
| H.2      | A façade sign must be located below parapet level.                                                                                                                                                                                                                                                                                              |
| H.3      | Signs on the front facade of the building must not be greater than 1/3 of the total length of the front facade and not longer than 12m in total length.                                                                                                                                                                                         |
| H.4      | Freestanding directory sign must be placed parallel to the road alignment and may be up to 12m in height.                                                                                                                                                                                                                                       |
| H.5      | Identification signs on a secondary street frontage must be 50% of the size of those on the primary frontage.                                                                                                                                                                                                                                   |
| H.6      | Blinking or flashing or moving signage is not permitted.                                                                                                                                                                                                                                                                                        |
| <b>I</b> | <b>External Materials and Colours</b>                                                                                                                                                                                                                                                                                                           |
| I.1      | Materials and colours for buildings and roofs should be non-reflective.                                                                                                                                                                                                                                                                         |
| <b>J</b> | <b>Development Siting Controls</b>                                                                                                                                                                                                                                                                                                              |
| J.1      | The minimum building setback from a lot boundary adjacent the spine road or transitway, is 15m. The first 7.5m must be landscaped in accordance with section 4.0.2; Carparking areas may encroach to within 7.5m of the property boundary and Porte Cochères or porticos may encroach to within 10m of the property boundary.                   |
| J.2      | The minimum front building setback of lots in all other roads is 7.5m, with the setback area to be landscaped in accordance with section 4.0.2.                                                                                                                                                                                                 |
| J.3      | A minimum 6m building setback is required to one side boundary, with the first 2m to be landscaped in accordance with section 4.0.2.                                                                                                                                                                                                            |
| J.4      | Building setback areas must not be used for the display or storage of goods / materials.                                                                                                                                                                                                                                                        |
| <b>K</b> | <b>Built Form</b>                                                                                                                                                                                                                                                                                                                               |
| K.1      | The floor space ratio must not exceed 0.75:1                                                                                                                                                                                                                                                                                                    |
| K.2      | A maximum of 50% of total Gross Floor Area is permitted for office space where the site is within 400 metres of a bus stop or 30% of the GFA where the site is more than 400 metres from a bus stop.                                                                                                                                            |
| K.4      | Maximum site coverage is 70%.                                                                                                                                                                                                                                                                                                                   |
| K.5      | The maximum building height is 15 metres on industrial lots. The building height means the vertical distance between ground level (existing) at any point to highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like. |
| K.6      | Roof top plant and services must be integrated into building/roof forms or screened from view from common open space or roads.                                                                                                                                                                                                                  |
| <b>L</b> | <b>Fencing</b>                                                                                                                                                                                                                                                                                                                                  |
| L.1      | Fencing along street boundaries of a height greater than 1m must be located behind a landscape buffer of a minimum depth of 3m.                                                                                                                                                                                                                 |
| L.2      | Pre-painted solid, metal fencing is not acceptable                                                                                                                                                                                                                                                                                              |

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| L.3 | Fencing greater than 3m in height is not permitted. Fencing above 1m in height must be 70% transparent. |
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### Complying development conditions

- The development must be carried out in accordance with the complying development certificate.

### Before work begins

- Two days before any site works, building or demolition begins, the applicant must:
  - forward Form 7 under the *Environmental Planning and Assessment Regulation 1994* to the council (notice of commencement of work and appointment of Principal Certifying Authority), and
  - notify the adjoining owners that work will commence.
- Before any site works, building or demolition begins, the applicant or builder must:
  - notify the council of the name, address, phone number and licence number of the builder, and
  - erect a sign at the front of the property with the builder's name, licence number, site address and consent number, and
  - provide a temporary on-site toilet, and
  - protect and support any neighbouring buildings, and
  - protect any public place from obstruction or inconvenience in the carrying out of the development, and
  - prevent any substance from falling onto a public place, and
  - follow any other conditions prescribed in the *Environmental Planning and Assessment Regulation 1994*.

### Site management

- Install run-off and erosion controls to prevent soil erosion, water pollution or the discharge of loose sediment on surrounding land, as follows:
  - divert uncontaminated run-off around cleared or disturbed areas, and
  - erect a silt fence to prevent debris escaping into drainage systems or waterways, and
  - prevent tracking of sediment by vehicles onto roads, and
  - stockpile top soil, excavated material, construction and landscaping supplies and debris within the site.
- Removal or disturbance of vegetation and top soil must be confined to within 3 metres of the approved building area.

### Drainage

- The land surrounding any structure must be graded to divert surface water to the stormwater system, and clear of existing and proposed structures and adjoining premises. Stormwater is then to be disposed of in a manner consistent with the Soil and Water Management Policy.

### Inspections during construction

- Notify either the council or an accredited certifier in advance—48 hours in writing or 24 hours by phone—to inspect the following:
  - erosion controls, site works and site set out, before building starts,



- (b) placement of piers or foundation before placing footings,
- (c) steel reinforcing before pouring concrete,
- (d) framework of structure before lining or cladding is fixed,
- (e) stormwater drainage and on-site detention before backfilling,
- (f) wet areas treated before lining or tiling.

#### Hours of works

8. Any building work must be carried out only between 7.00 am and 6.00 pm, Monday to Friday and 8.00 am to 5.00 pm Saturdays, excluding public holidays.

#### Survey certificate

9. The following survey certificate must be given to the principal certifying authority, at the following stages:
- (a) on completion of floor slab framework before concrete is poured, detailing the location of the structure to the boundaries,
  - (b) at completion of the lowest floor, confirming that levels are in accordance with the approval—levels must relate to the datum approved under the complying development certificate.

#### Fire safety

10. The fire safety measures in the fire safety schedule attached to the complying development certificate are to be installed in the building the subject of the complying development certificate. (This condition does not apply to Class 1 and Class 10 buildings.)

#### Site access

11. Where kerb and gutter is provided, driveways are to be a minimum of 500 mm clear of all drainage structures on the kerb and gutter and are not to interfere with the existing public utility infrastructure, including council drainage structures, unless prior approval is obtained from the relevant authority.
12. Where kerb and gutter is not provided:
- (a) a gravel vehicular entrance incorporating a 375 diameter stormwater pipe and concrete headwalls, or
  - (b) a 6 metre by 6 metre concrete slab dish drain,
- must be constructed to provide access to the lot.
13. Driveways are to be a minimum of 6 metres from a road intersection.
14. Driveways are to be constructed in accordance with Australian Standard 2890, with appropriate transition zones.

#### Notes:

The building must not be occupied or used until an occupation certificate is issued either by the council or an accredited certifier.

The complying development certificate must be issued in the name of the council or the accredited certifier with an accreditation number.