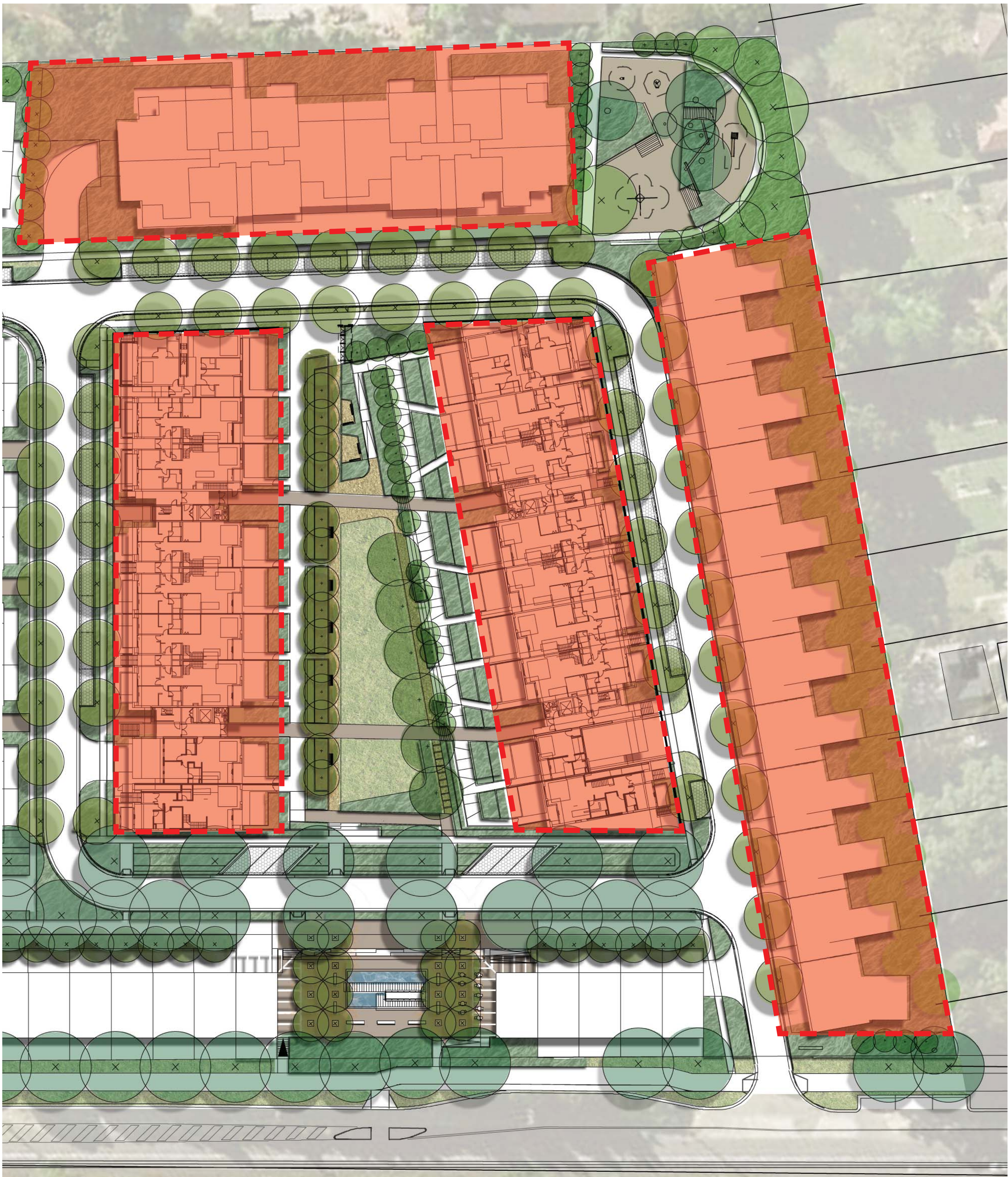




Epping Park Stage 1 Landscape Master Plan

Epping Park,

61 Mobbs Lane Epping

Stage 1 Landscape Package

Contents

S1 - PA01	Site Context + Master Plan
S1 - PA02	Site Analysis Plans
S1 - PA03	Stage 1 Plan of Management
S1 - PA04	Tree Removal Plan
S1 - PA05	Building 3 Landscape Plan
S1 - PA06	Building 3 Detail Plan, Sections + Indicative Planting
S1 - PA07	Building 4+5 Landscape Plan
S1 - PA08	Building 4+5 Sections + Planting
S1 - PA09	Building 7 Detail Plan, Sections + Indicative Planting

Site context and Master plan



Site Context Plan
1:10000



Site Master Plan
1:2000

- KEY**
- Main Roads
 - Major Local Roads
 - Train Line
 - Council Boundary
 - Existing Creekline (Terry's Creek)
 - Site
 - Eastwood Brickworks
 - Retail Precincts
- Boronia Park
 - Duncan Park
 - David Scott Reserve and Tennis Courts
 - George Harley Reserve
 - Edna May Hunt Sanctuary
 - Skenes Avenue Reserve
 - David Hamilton Reserve
 - Fred Spurway Park
 - Mobbs Lane Reserve
 - Raimonde Reserve

- KEY**
- Stage 1 Site boundary
 - Epping Park Site Boundary

Epping Park is located on Mobbs Lane in Epping. The site is bound by Ryde TAFE Epping Annex and existing low density residential housing to the north, Eastwood Brickworks and existing residential houses to the south, existing low density residential houses to the east and Mobbs Lane reserve to the west.

The Stage 1 scope of works consists of 4 building parcels on the eastern side of the development site. The building parcels include building 3, 4, 5 and 7.

Building 3 consists of 12 courtyard houses along the eastern boundary. Most of these houses are two storey, some with an additional mezzanine level at the top.

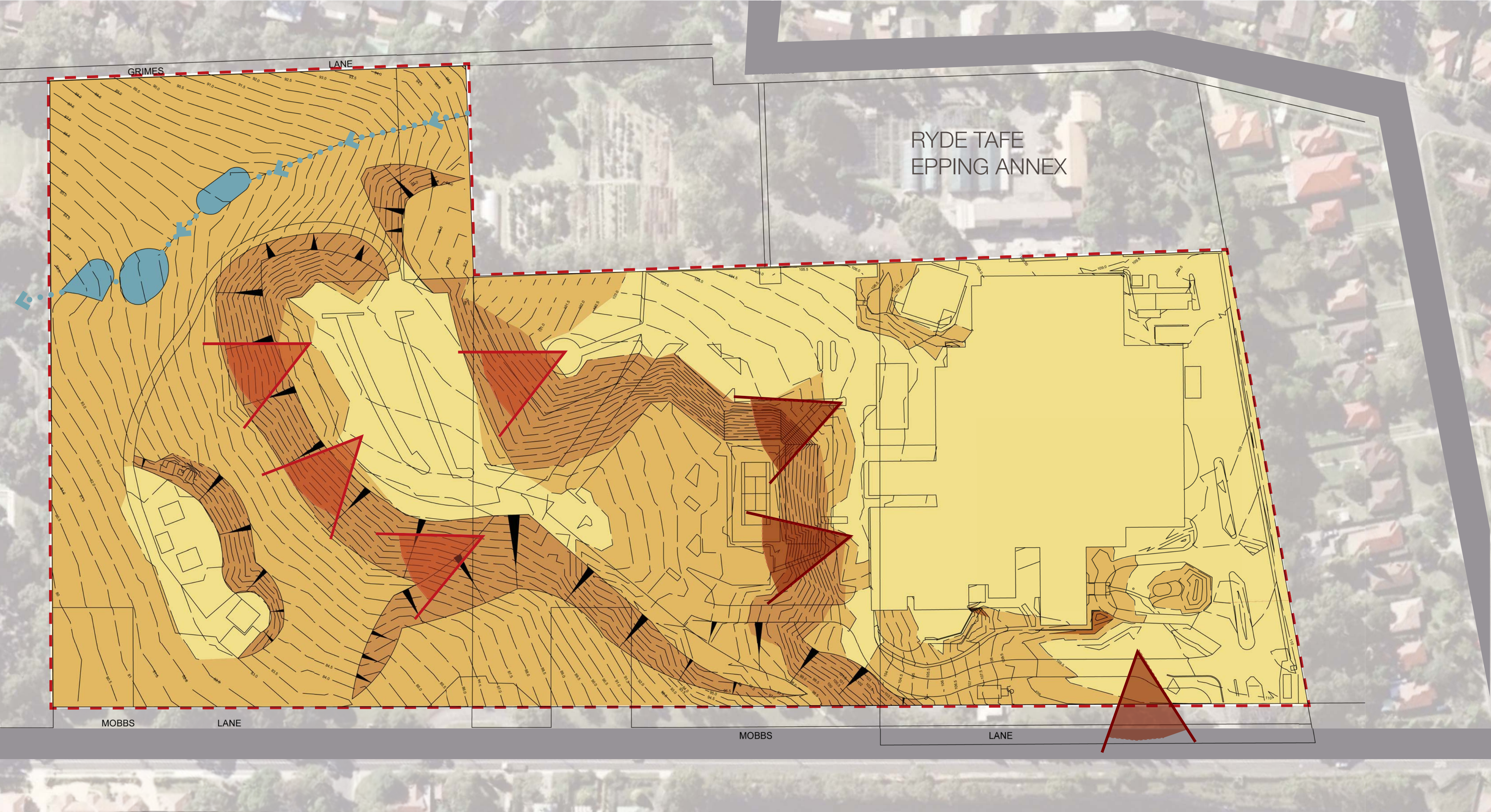
Building 4 and 5 consist of apartment buildings along the northeastern and southwestern edges of proposed Village Green. These buildings step up from 3 - 6 storeys to the northwest.

Building 7 contains a 6-storey residential apartment building situated on the highest point of the site against the northern boundary.

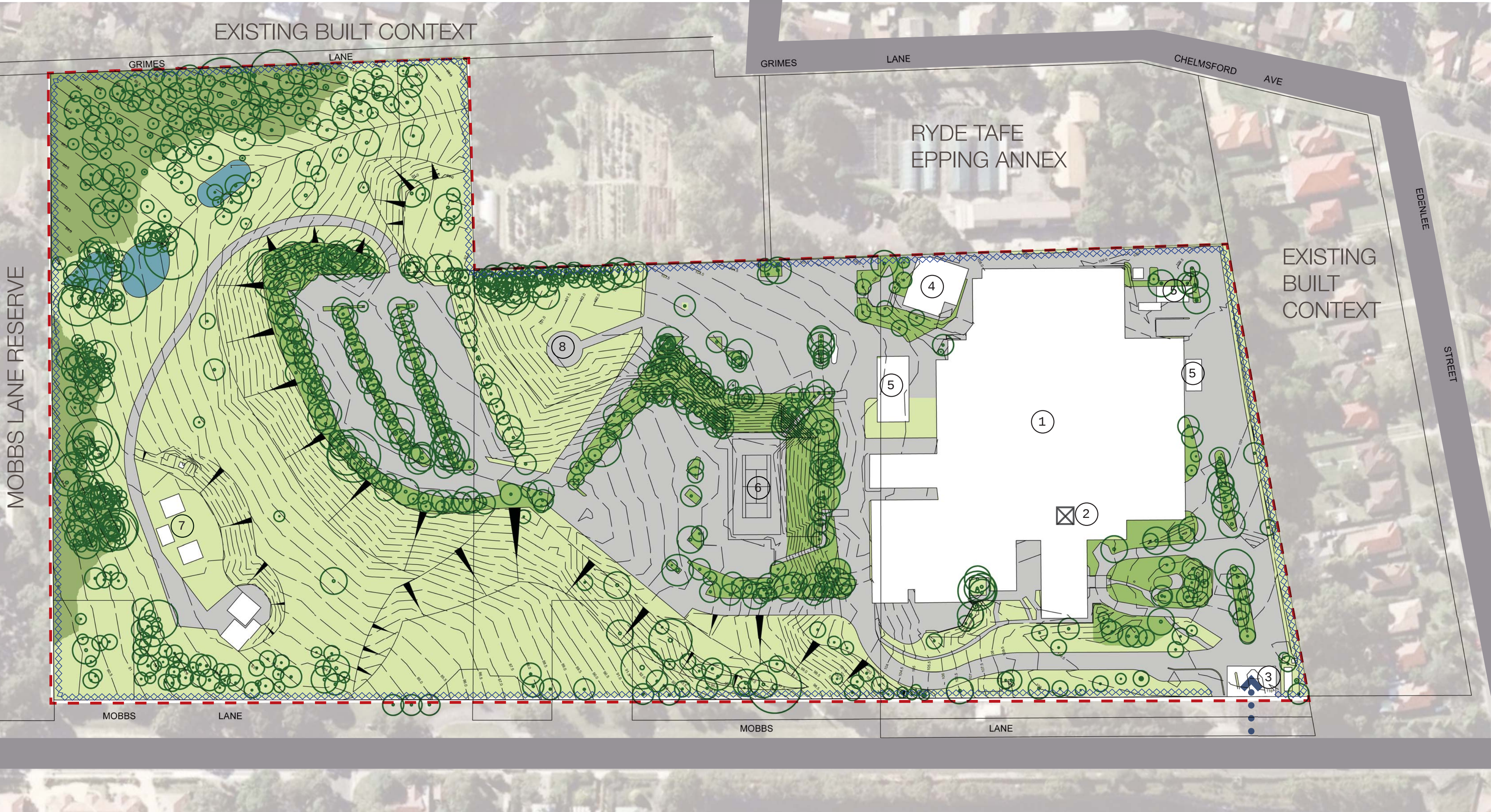
These building lots are outlined in the adjacent plan.



Site Analysis



Stage 1 Site Analysis Plan - Slope Analysis, Drainage lines and view corridors
1:1000



Stage 1 Site Analysis Plan - Existing conditions
1:1000

Epping Park, Epping - Stage 1 Planning Application



Stage 1 Plan of Management

Site Security and Lighting

After the completion of construction of Stage 1 residents will only have access to areas of public open space on the upper plateau of the site until the balance of the development is complete. Details of security for the site during construction are covered in the Environmental and Construction Management overview plan attached. Environmental and Construction Management overview plans for future stages will details how security and safety in these stages will be achieved.

Security within the site upon completion of all construction works has also been considered. The overall design of the master plan allows for high level passive surveillance with most buildings overlooking areas of open space providing security throughout the site. The legibility of the open space and pedestrian path networks increase the permeability of the master plan providing further safety advantages throughout the site.

Stage 1 residential will initially create a pocket of activation on the upper plateau of the development site. Buildings 4, 5 & 7 will form a horseshoe shaped enclave surrounding the Village Green and the overlooking the Town Square. Access to all buildings within Stage 1 will be from their respective street address with further access provided to building 4 + 5 from the Village Green. These multiple access points along, with passive surveillance from overlooking buildings work to provide increased security within publically accessible open spaces. The design and scale of the first residential stage will also encourage the creation of an active community with a sense of ownership and protection of their local environment and those living within it.

Building 3 will have an active street frontage to Road 2. This road will be highly used by pedestrians and vehicles for access to buildings 3, 4 and 7. This activation at street level will assist to provide security for this street along with passive surveillance from the courtyard homes and adjacent overlooking apartments.

All private communal areas associated with the buildings within Stage 1 will be appropriately lit at night with a range of light fittings that will provide safe levels of light for night time use and will meet the necessary Australian Standards.

Fencing, planting, finishes and paths will clearly delineate private open space from publically accessible open space and at public areas such as roads.

All streets will be appropriately lit with lighting conforming to the relevant Australian standards. All roads will be activated by providing access to building lobbies, public open space and private residents’ facilities. All roads also have pedestrian footpaths and on street parking to at least one side to encourage and maintain activation at all times. It is also envisaged that a roving security firm will be employed by the Community Association to provide additional security within the development.

Site and Public Domain Maintenance

A simple design paired with the use of robust materials and primarily low water use native planting will ensure that the private communal spaces associated with each building within Stage 1 will remain legible and low maintenance

Buildings 4, 5 and 7 will be maintained on a regular basis by a landscape contractor engaged by the Community Association. Outdoor space associated with the courtyard homes (building 3) will be maintained by each individual owner. The maintenance tasks outlined below are the formulation of management and maintenance principles with further detail to be determined and developed as each building is documented approved as part of future project applications.

The following list outlines the maintenance tasks that will be performed within the public domain:

- General tidy of all garden beds including the removal of weeds and litter; prune damaged / diseased plant material
- Inspect plants for signs of pest or disease infestation, and treat as required.
- Prune plants that are obstructing paths or driveway entries.
- Prune plants that are obscuring lights
- Fertilize seasonally
- Mow lawn areas regularly
- Check and replenish mulch
- Inspect trees for health and safety
- Check paved areas for trip hazards
- Tidy Gravel Path. Replenish as necessary.
- Remove weeds growing in pavement.
- Replace broken light bulbs as required
- Repair damage to walls, edges and fences as required.
- Check, clean and repair irrigation systems making adjustments to irrigation settings and sensors seasonally.
- Re oil any timber work as recommended by supplier
- Clean and repair any damage to stormwater Pits

A contractors scope including a detailed itemised task list will be formulated by the landscaping consultant in consultation with the applicant and relevant stakeholders.

Tree Removal Plan



KEY

Site Boundary

Stage 1 Boundary

Existing Trees to be Retained

Existing Planted Non endemic Native trees to be Removed

Existing Exotic Trees to be Removed

Stage 1 Tree Removal Plan
1:500

DESIGN PRINCIPLES

Anne Clements & Associates Pty Ltd (report dated April 2009) found that all trees on site were considered likely to have been planted, except for two large Eucalypts on the northeastern boundary and a group of 9 *Angophora floribunda* located along the northeastern boundary adjoining Grimes Lane (Not in Stage 1 scope of works). Of 992 existing trees assessed, there were 30 dead, 87 in poor health and 175 in fair health.

ASPECT has developed this tree removal plan, in correspondence with flora and fauna studies prepared by Anne Clements & Associates Pty Ltd (Reports dated April 2009) and conditions outlined within the Preferred Project Report prepared by Architectus (report dated May 2006):

- To retain as many as practicable of the local native trees (in good condition) as landscape components, where conservationally appropriate
- To retain the 11 trees considered likely to be remnant, where practicable.
- To remove dead trees and trees in poor health.
- To remove exotic trees (to prevent spread into adjacent vegetation in Mobbs Lane Reserve).

The Tree Master Plan proposes approximately 700 new tree plantings within the development site. The total number of trees on site will be in excess of the 875 good to fair health trees that currently exist on site. This is in addition to a secondary shrub plant and grass layers planted within both the public and residential areas of the development.

The flora and fauna studies prepared by Anne Clements & Associates Pty Ltd (Report dated April 2009) state that a Restoration Plan outlining the process for conservation and restoration of an endangered ecological community in the north western corner of the site will be submitted prior to commencement of construction. ASPECT Studios endorses the proposed aims and objectives outlined within the Flora and Fauna Study for inclusion in the Restoration Plan.



Building 3



KEY

- PRIVATE DOMAIN
1. Northern corner house (House 12) - Refer to S1 PA06
 2. Southern corner house - (House 1) - Refer to S1 PA 06
 3. Standard house type - (House 2 - 11) - Refer to S1 PA 06

TOW = Top of wall

*Note: Streetscape not part of this scope of works

--- Building 3 boundary

Indicative hardworks palette

Concrete unit paving



Concrete unit paving
ASPECT Studios image library

Timber fence



Timber fence
ASPECT Studios image library

Concrete stepping stones



Concrete stepping stones
Karl Thomanek, New Garden Design



Concrete stepping stones
Victoria Park

Rendered planter walls



Rendered planter walls
Glicksten residence, ASPECT Studios



Rendered planter walls
Pinnacle offices, ASPECT Studios

Detail Plan - Building Lot 3
1:200

Epping Park, Epping - Stage 1 Planning Application

ASPECT Studios
BRISBANE MELBOURNE SYDNEY SHANGHAI SHENZHEN
LANDSCAPE ARCHITECTURE URBAN DESIGN PLANNING DIGITAL MEDIA
Studio 61/ L6/ 61 Marlborough Street Surry Hills NSW 2010 P +61 2 9699 7182 F +61 2 9699 7192 aspectsydney@aspect.net.au www.aspect.net.au

Architect: PTW

Client: Sydney Broadcast Property Pty Ltd

Drawing Name: Building 3 Landscape Plan

Drawing Number: S1 - PA05

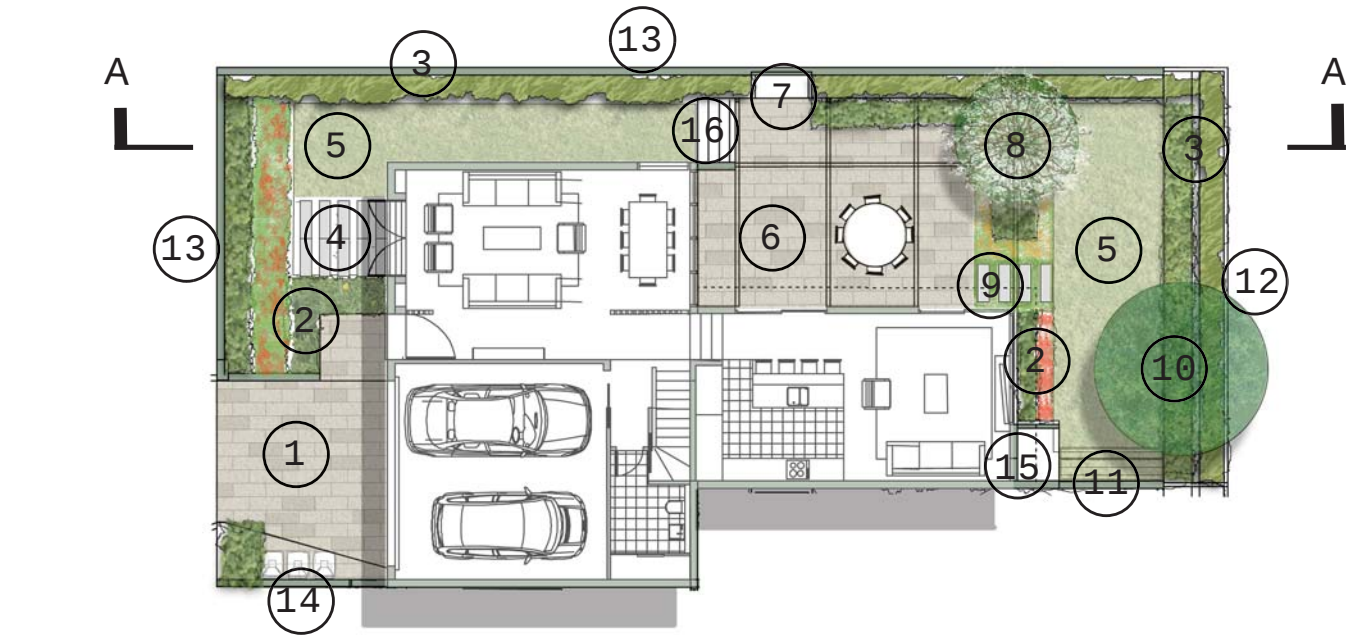
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Rev: 01

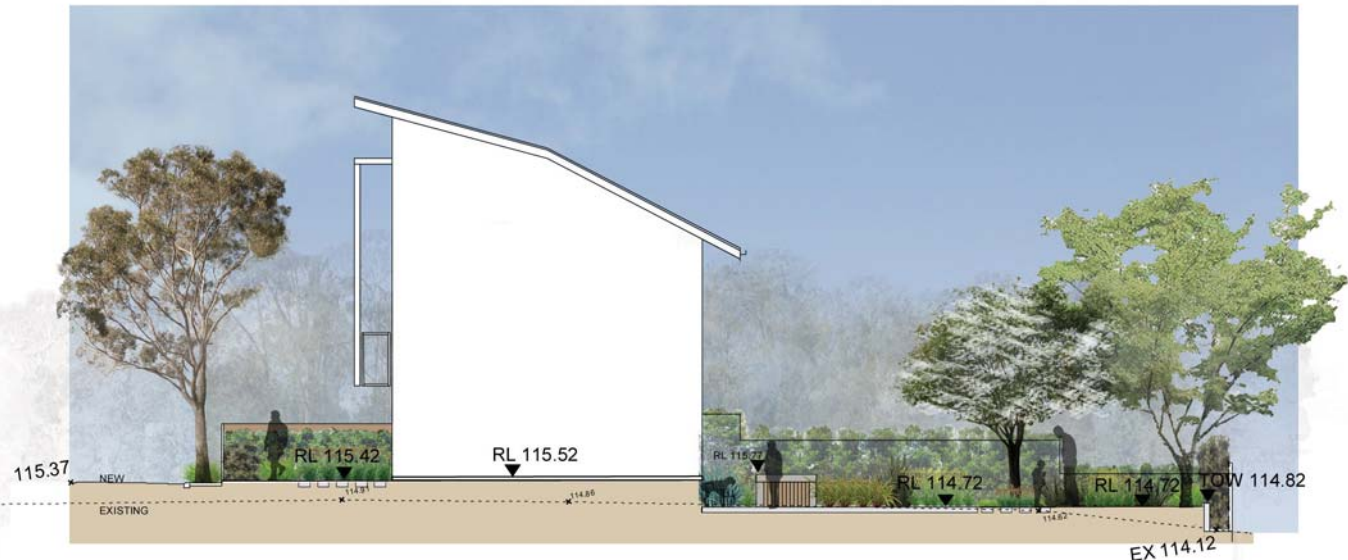
Drawn: SB/LK
Review: KL/SC



Building 3



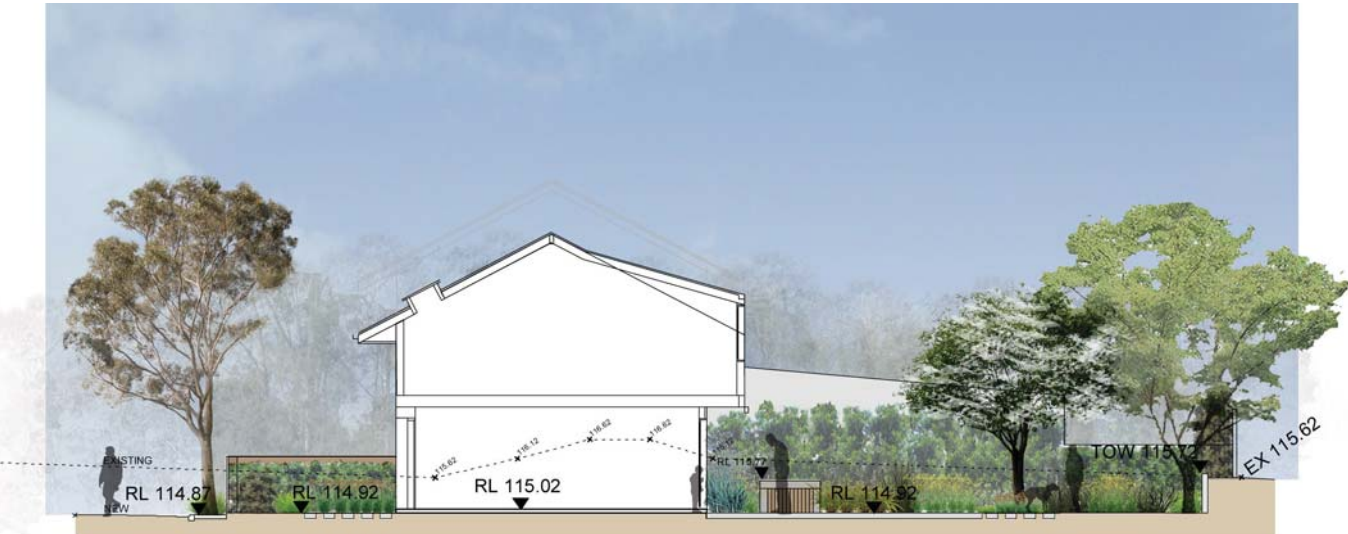
Plan - Building 3, Northern Corner house (House 12)
1:200



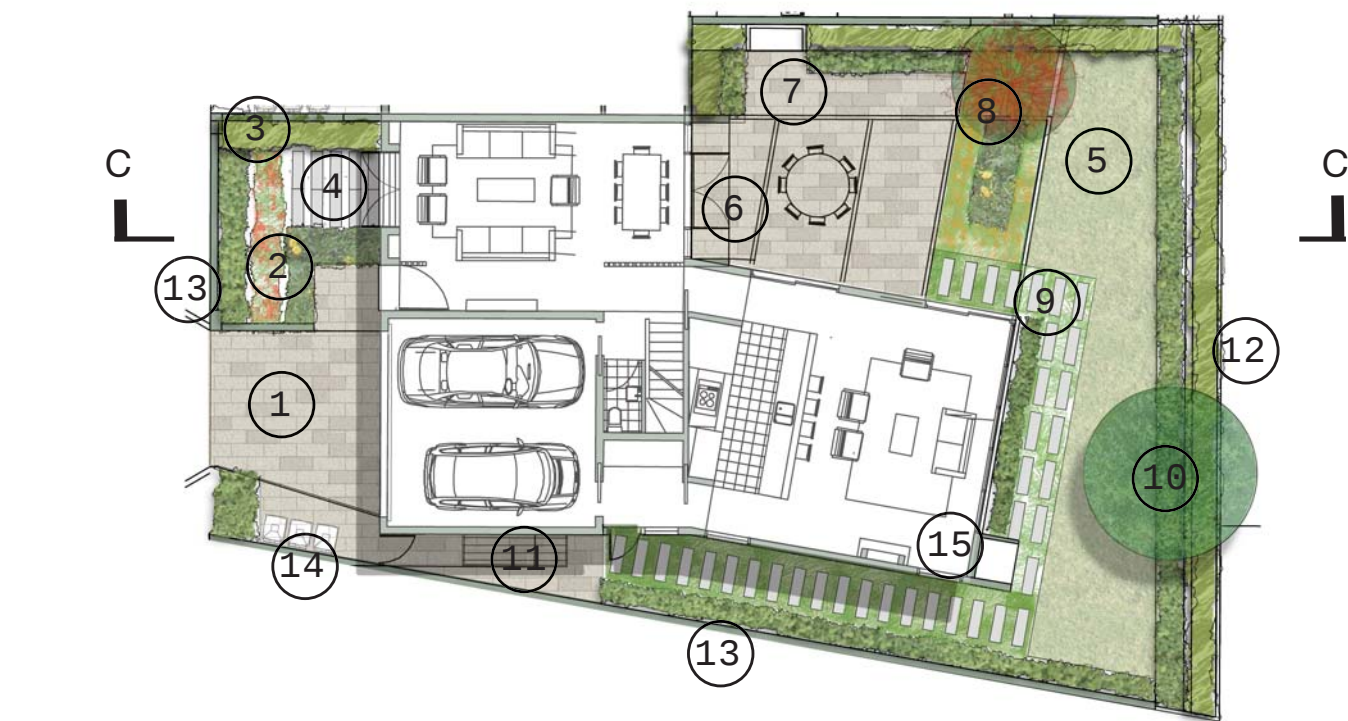
Section A-A - Buildingt 3, Northern Corner House (House 12)
1:200



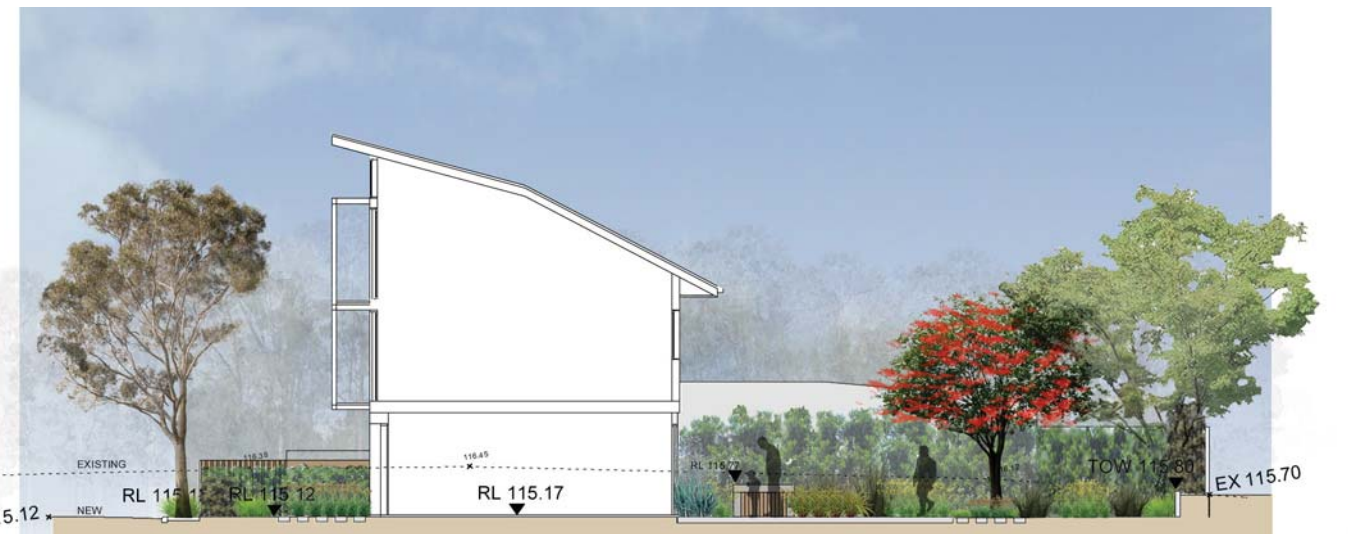
Plan - Building 3, Standard House Type (House 2-11)
1:200



Section B-B - Building 3, Standard House Type (House 2-11)
1:200



Plan - Building 3, Southern Corner House (House 1)
1:200

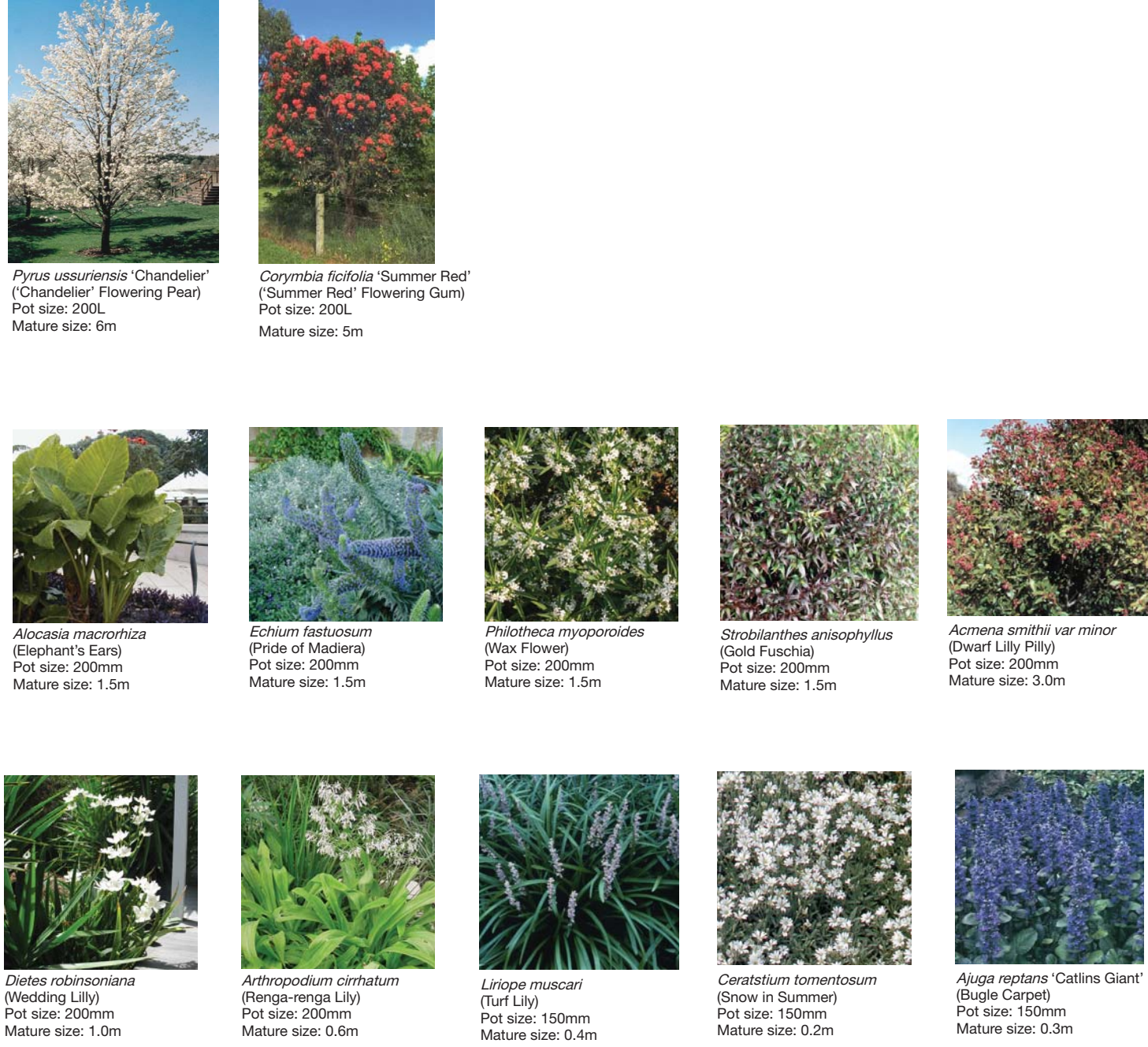


Section C-C - Building 3, Southern Corner House (House 1)
1:200

KEY

- 1. Concrete unit paved driveway and entry
- 2. Bands of vibrant textural feature planting *Alocasia macrorhiza*, *Echium fastuosum*, *Philotheca myoporoides*, *Dietes robinsoniana*, *Arthropodium cirrhatum*.
- 3. Screening hedge planting to side and rear boundary of lot. Species including *Westringia fruticosa* 'Wynyabbie Gem', *Strobilanthes anisophyllus*
- 4. Concrete stepping stones set in gravel leading out from french doors at front of house
- 5. Turf
- 6. Concrete unit paved outdoor entertaining
- 7. Barbeque integrated within raised concrete planter
- 8. Colourful deciduous feature tree : *Pyrus ussuriensis* 'Chantleer'
- 9. Concrete stepping stones set flush in low groundcover
- 10. Native evergreen screening tree to rear garden : *Corymbia* 'Summer Red'
- 11. Fold down clothes line attached to timber fence
- 12. 1.8m height timber fence to rear of property
- 13. 1.5m height rendered masonry wall with steel railings
- 14. Paved area for bin storage
- 15. Location of rainwater tank
- 16. Concrete steps

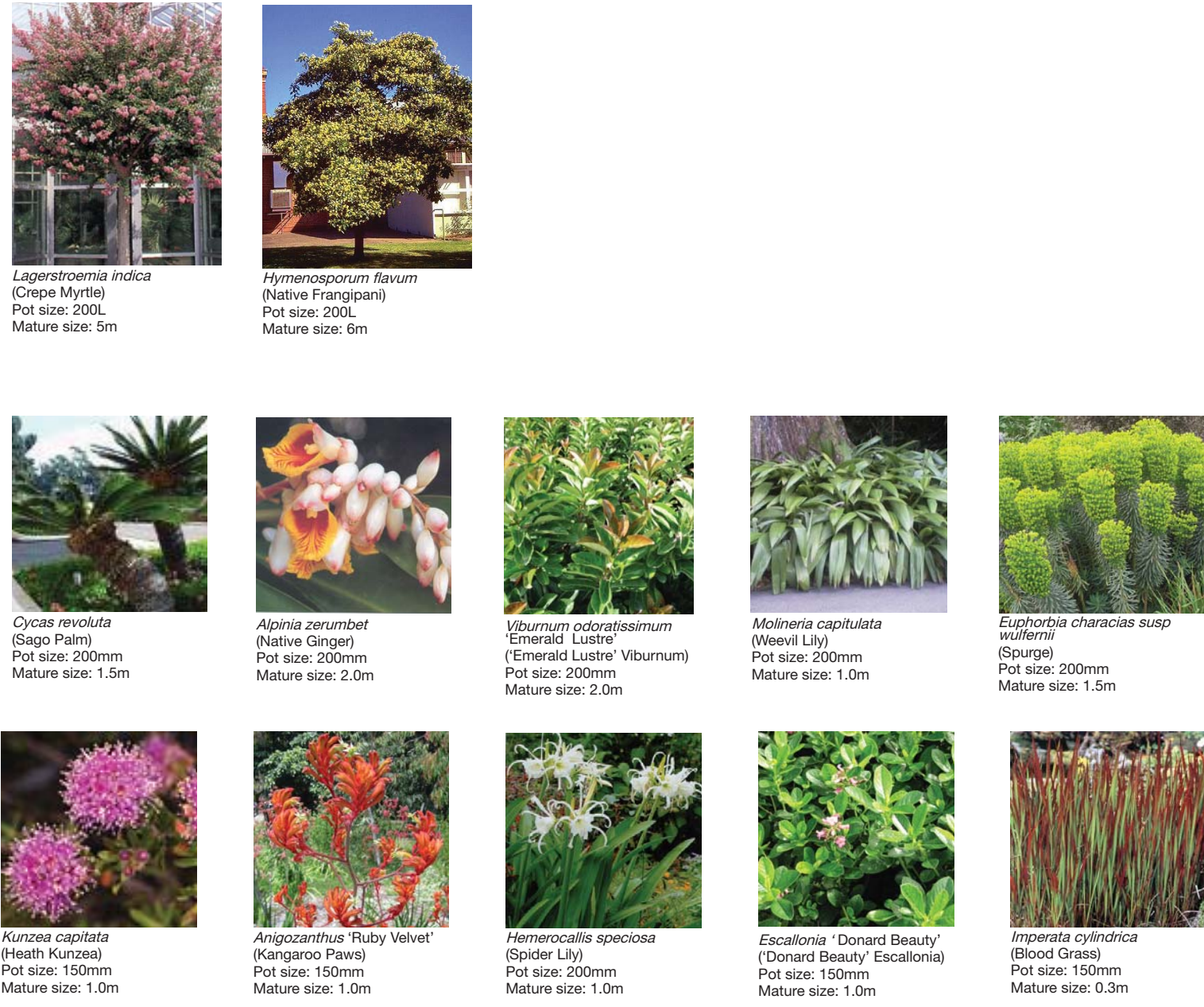
Indicative planting palette 1



KEY

- 1. Concrete unit paved driveway and entry
- 2. Bands of vibrant textural feature planting *Cycas revoluta*, *Euphorbia characias susp wulfenii*, *Kunzea capitata*, *Hemerocallis speciosa*, *Escallonia* 'Donard Beauty', *Anigozanthus* 'Ruby Velvet', *Imperata cylindrica*.
- 3. Screening hedge planting to side and rear boundary of lot. Species including *Viburnum odoratissimum* 'Emerald Lustre', *Alpinia zerumbet*.
- 4. Concrete stepping stones set in gravel leading out from french doors at front of house
- 5. Turf
- 6. Concrete unit paved outdoor entertaining
- 7. Barbeque integrated within raised concrete planter
- 8. Colourful deciduous feature tree : *Lagerstroemia indica*
- 9. Concrete stepping stones set flush in low groundcover or insitu concrete steps where level change occurs between paving and turf
- 10. Native evergreen screening tree to rear garden: *Hymenosporum flavum*
- 11. Fold down clothes line attached to timber fence
- 12. 1.8m height timber fence
- 13. 1.5m height rendered masonry wall with steel railings
- 14. Paved area for bin storage
- 15. Location of rainwater tank

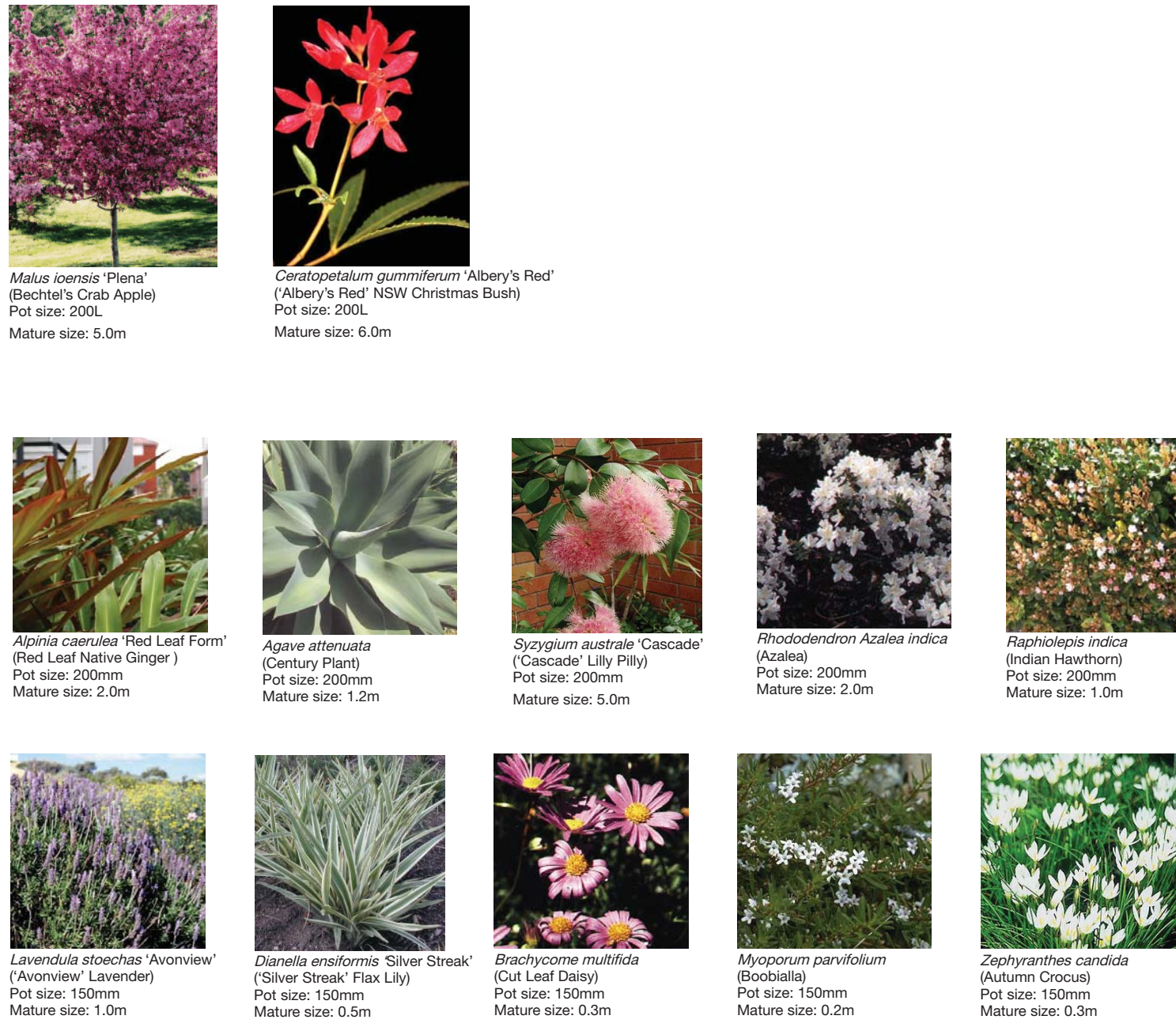
Indicative planting palette 2



KEY

- 1. Concrete unit paved driveway and entry
- 2. Bands of vibrant textural feature planting *Agave attenuata*, *Rhododendron azalea indica*, *Raphilepis indica*, *Lavendula stoechas* 'Avonview', *Dianella ensiformis* 'Silver Streak', *Zephyranthes candida*
- 3. Screening hedge planting to boundary of lot. Species including *Syzygium australe* 'Cascade', *Alpinia caerulea* 'red Leaf Form'
- 4. Concrete stepping stones set in gravel leading out from french doors at front of house
- 5. Turf
- 6. Concrete unit paved outdoor entertaining
- 7. Barbeque integrated within raised concrete planter
- 8. Colourful deciduous feature tree : *Malus ioensis* 'Plena'
- 9. Concrete stepping stones set flush in low ground cover
- 10. Native evergreen screening tree to rear garden : *Ceratopetalum gummiiferum* 'Albery's Red'
- 11. Fold down clothes line attached to timber fence
- 12. 1.8m height timber fence
- 13. 1.5m height rendered masonry wall with steel railings
- 14. Paved area for bin storage
- 15. Location of rainwater tank

Indicative planting Palette 3



Building 4 + 5



Detail Plan - Building 4 + 5
1:200

KEY

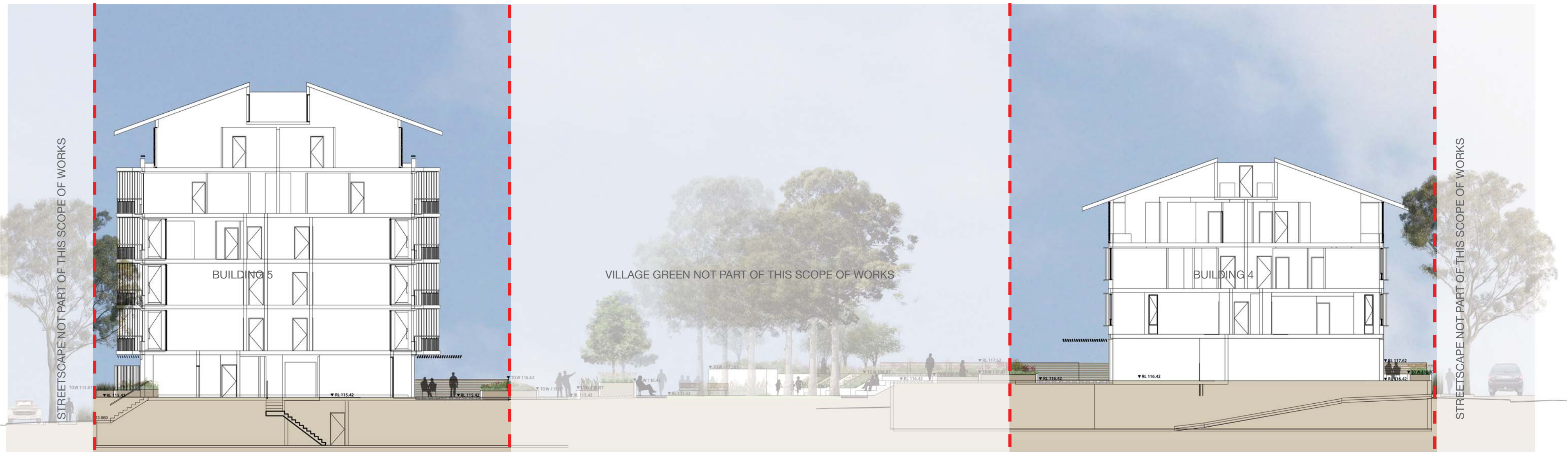
- PRIVATE TERRACES
- Concrete unit paved private terraces for outdoor entertaining
 - 500mm high raised concrete planter containing screening plants species including *Agave attenuata*, *Acacia paravissima* 'Little Nugget', *Escallonia* 'Donard Beauty', *Rhododendron azalea indian hybrids*, *Hymenocallis speciosa*, *Zephyranthes candida*, *Ajuga reptans* 'Catlin's Giant', *Lomandra hystrix*, *Rapiolepis indica*, *Poa labillardieri* 'Eskdale'
 - 1.8m height timber batten screens providing privacy between private terraces and gated access to Village Green
- PRIVATE COMMUNAL AREAS
- Concrete unit paved access stair from street
 - Brick paved disabled access ramp 1:14
 - Brick paved entry paths to building
 - Brick paved pedestrian connection to Village Green from building lobbies
 - Feature planting adjacent to lobbies

- Building lot boundary
- TOW Top of wall
- TOS Top of Screen

* NOTE: Village Green and streetscape not part of this scope of works.

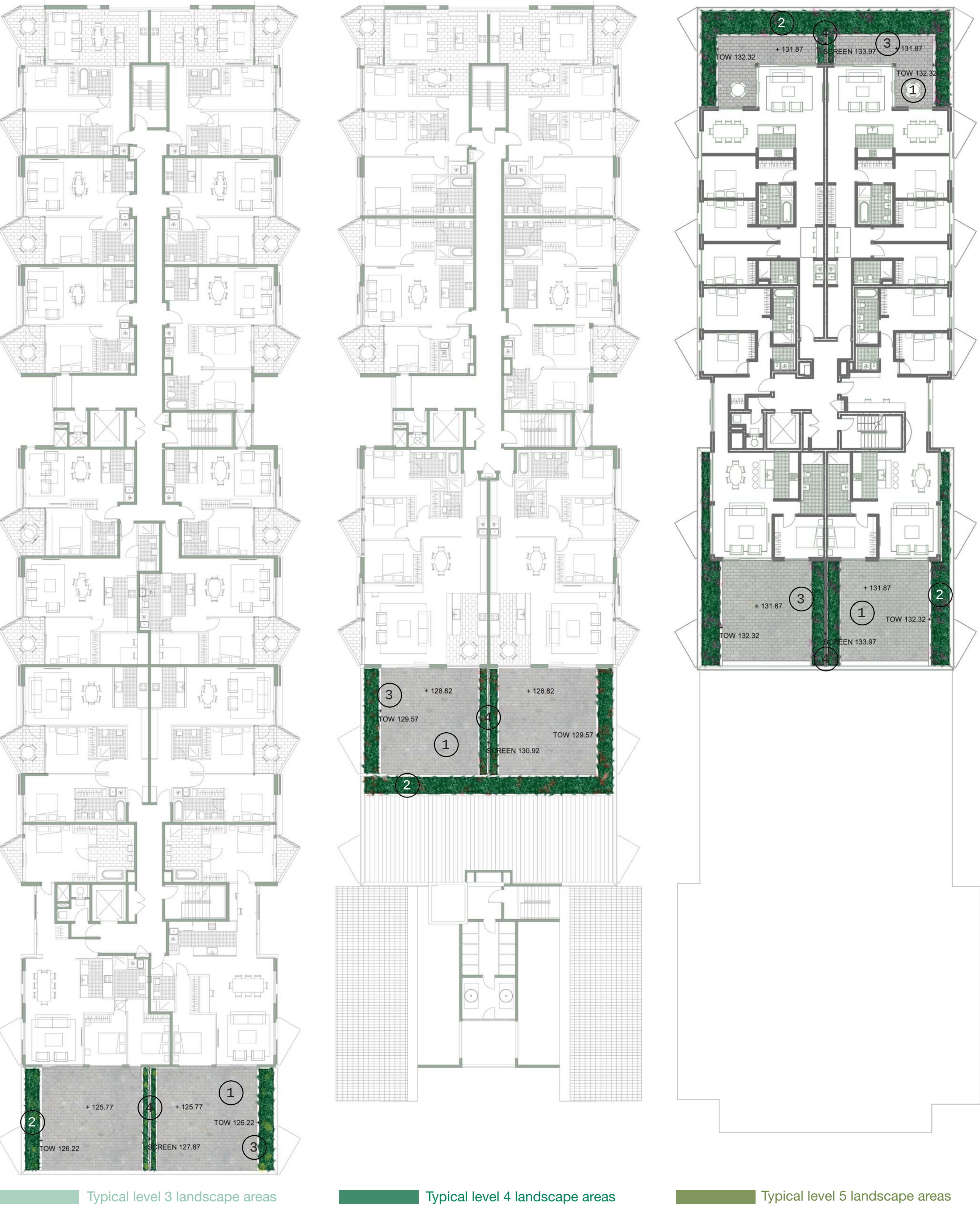


Building 4 + 5



Section A-A Building 4 + 5
1:200

Buildings 4 + 5 - Typical upper level landscape areas
1:200



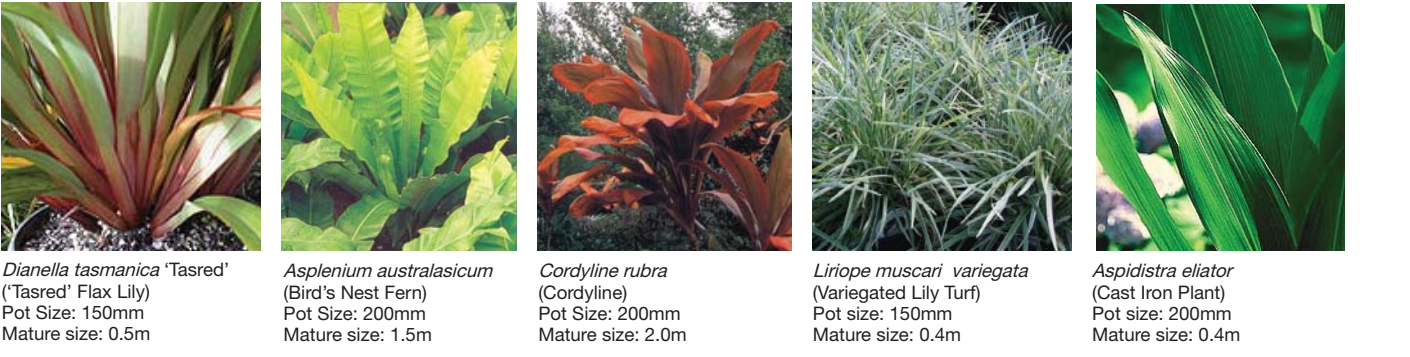
Ground Floor Private Terrace



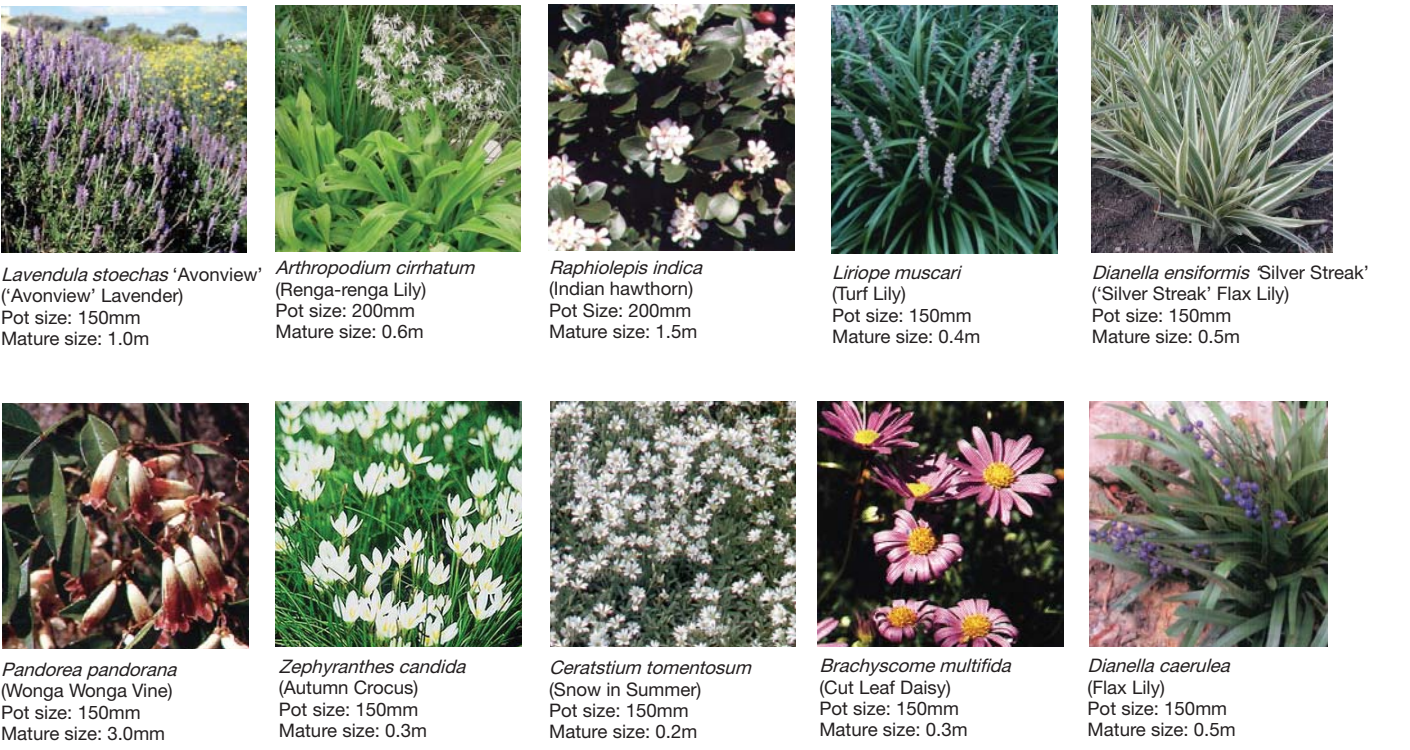
Ground Floor Entry Lobby



Ground Floor Above Carpark



Upper Levels 3, 4 and 5 Private Terrace



Key perspective.



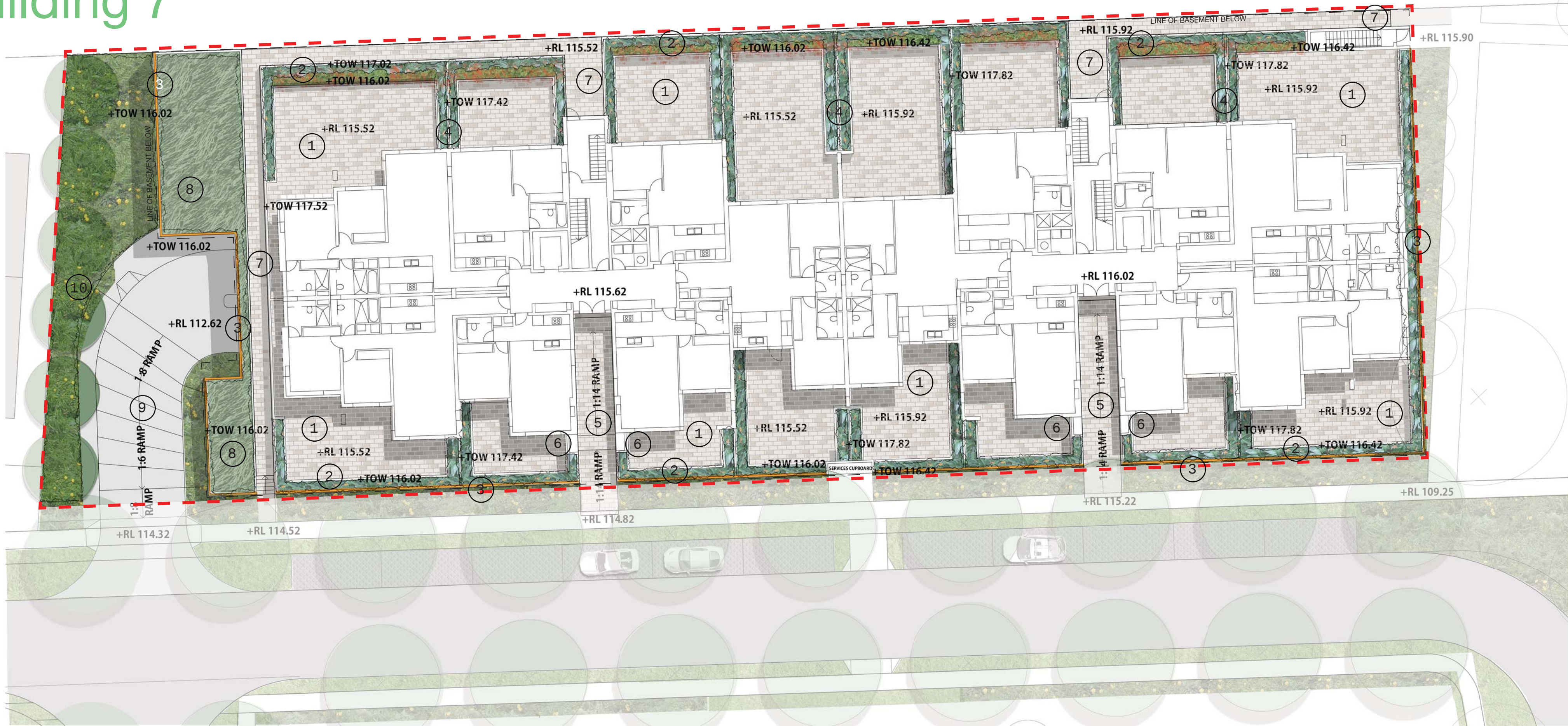
KEY

- 1. Concrete unit paving/ private terrace
 - 2. Mass planting
 - 3. In situ concrete planter walls
 - 4. Timber batten privacy screen
- TOW= Top of wall

Hardworks



Building 7



Detail Plan - Building 7
1:200

KEY

PRIVATE DOMAIN

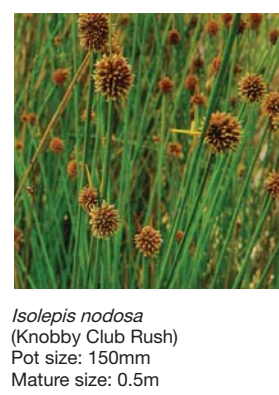
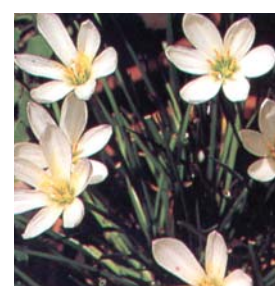
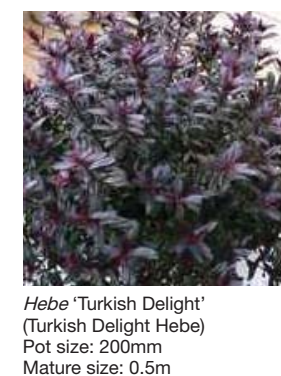
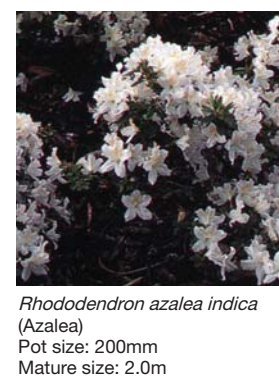
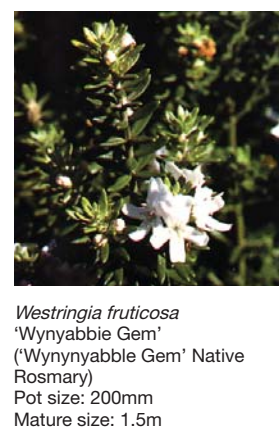
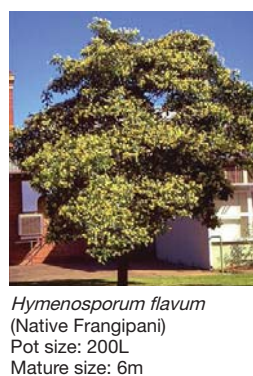
1. Private terraces with concrete unit paving
2. 500mm high raised concrete planters with screening plant species including *Westringia fruticosa* 'Wynyabbie Gem', *Dianella prunina* 'Utopia', *Rhododendron azalea* sp, *Liriope muscari variegata*.
3. Bagged brickwork wall to base of podium
4. 1900mm high painted dividing walls between terraces
5. 1:14 gradient disabled access ramp from footpath
6. Location of mailboxes
7. Paved fire egress paths
8. 500mm raised concrete planter on top of basement carpark. Low maintenance ground covers include *Myoporum parvifolium*, *Isolepis nodosa*, *Dianella ensiformis* 'Silver Streak'
9. Concrete vehicular driveway entry to basement carpark
10. Screen planting to side of boundary. Planting includes native tree *Hymenoporum flavum* and low maintenance native grass species including *Dianella caerulea* 'King Alfred', *Lomandra hystrix* 'Katie Belles' and *Lomandra confertifolia* 'Wingarra'.

TOW= Top of wall

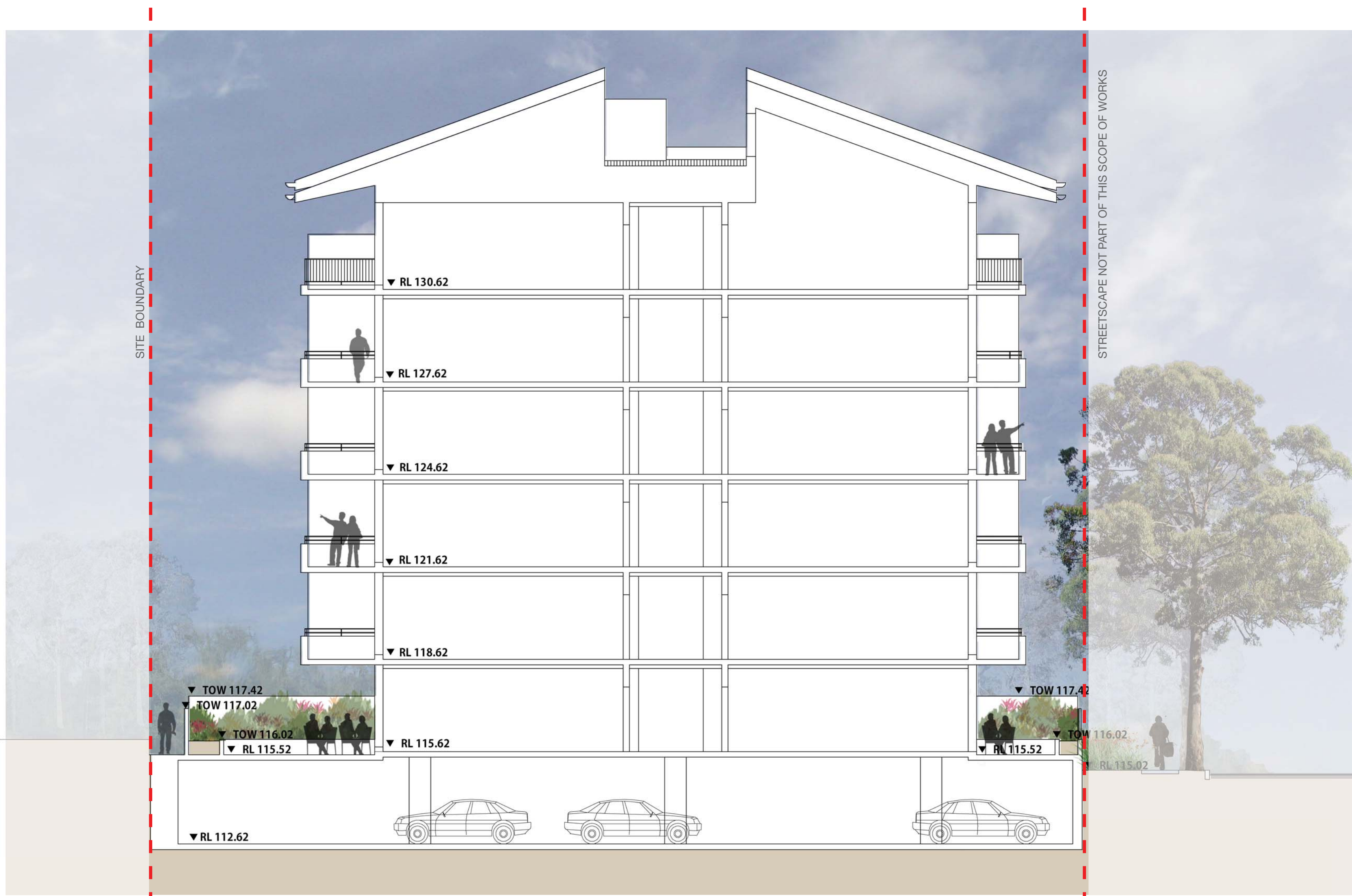
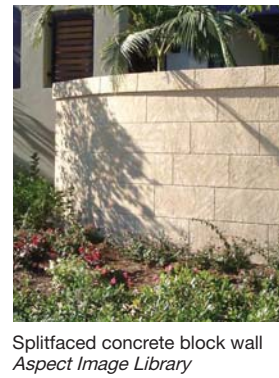
*NOTE - Streetscape not part of this scope of works

— — — Scope of works boundary

Indicative Planting Palette



Indicative Hardworks Palette



Section - Building 7
1:100

