

Ref: MP 08_0252

6th March 2023

Nestor Tsambos
Department of Planning and Environment
4 Parramatta Square
12 Darcy Street
PARRAMATTA NSW 2150

Re: MP 08_0252 Flyers Creek Windfarm – Final Switching Station Landscape Plan

Dear Nestor

This letter provides the Final Layout Plan, details of visual screening and consultation undertaken for the Flyers Creek Wind Farm Switching Station.

Background

Condition D24a of the Flyers Creek Wind Farm Development Consent (MP 08_0252) requires that the final layout plan for the Switching Station is provided to the Department of Planning and Environment (DPE) for approval prior to commencement of construction. D24a is detailed in full below.

MP 08_0252 -Condition of Approval D24a

Switching Station

“Prior to the commencement of the construction of the switching station, the Proponent must submit a copy of the final layout plan for the switching station to the Planning Secretary for approval. This plan must outline the proposed measures to minimise the visual impacts of the switching station on any non-associated residences in the vicinity of the switching station, including retaining existing vegetation buffers in and adjoining the forest to screen views of the switching station or planting additional screening around the switching station. The Proponent must not construct the switching station before this plan has been approved by the Planning Secretary”

Layout plan

The final layout plan for the Switching Station is included as **Attachment A**. As listed in MCoA D24a, the plan outlines the proposed measures to minimise visual impacts from the Switching Station on any nearby non-associated residences in the vicinity of the Switching Station.

As the final layout plan shows, the following measures are incorporated to minimise off-site visual impacts to non-associated residences in vicinity:

- Planting of Blakely's Redgum, Apple Box, Long-leaved Box or Yellow Box native tree species along the eastern and western perimeters of the Switching Station. The

expected mature height for these species are between 15 and 30m, with a planting density of one tree per 60 to 70 m² proposed.

- Planting along the northern perimeters (denoted by the 'yellow' markers in the final layout plan) of these two areas would be done with mature trees (40 – 60L) to provide more immediate screening.
- Planting of various native shrub and grass species (Box Leaf Wattle, Hickory Wattle, Kangaroo Thorn, Common Cassinia, etc) to the west of the Switching Station at the entry of the site access road.
- Retaining of existing Radiata Pine Forest to the east and southeast. *It should be noted that this is harvestable forest and at discretion of Forestry Corporation for future clearing. The large extent of native planting to the east of the switching yard will provide additional screening if the radiata forest was to be cleared in the future.*
- Retaining existing Box-gum woodland (Ecologically Endangered Community) along Cadia Road to the southwest of the switching station.

Attachment B provides an architectural cross section from the north elevation of the Final Layout Plan.

Bushfire Management Requirements

In accordance with Essential Energy engineering specifications and commissioned Bushfire Risk Assessment report (RedEye, 28th April 2022) for the switching station a minimum 10m asset protection zone is required around the perimeter fence of the Switching Station and restriction of planted trees that don't have a fall zone (at mature height) onto existing and planned electrical infrastructure. This is to reduce risk of fire ignition at the facility and provide safe operation of the asset.

As such no screening is possible along the middle section of the northern perimeter of the Switching Station, with the proposed 132kV powerline connecting here. No planting is also possible along the southern perimeter of the Switching Station, noting that the incoming 132kV line connects at this location.

Visual Impact and Mitigation – Environmental Assessment

Flyers Creek Windfarm Modification 4 Application (Infigen, 18th July 2018) was developed specifically for an:

- increase the wind turbine envelope so as to accommodate newer, more efficient turbine models; and
- include a 132 kV transmission line and switching station so as to enable the Project to connect to the electrical grid.

Section 6.2 Visual Impact of the application assesses the visual impacts from the revised project scope and draws on the technical assessment detailed in Appendix C Visual Impact Assessment completed by landscape designers Green Been Design (Green Bean Design, July 2018).

In relation to the electrical infrastructure and switching station, 4 non associated receivers (H1 to H4) were identified within a 1km radius of the switching yard and were assessed for visual impacts of the new electrical facility.

Refer to **Figure 1** below for the location of these receivers as extracted from the Modification 4 Report Visual Impact Assessment by Green Bean Design.

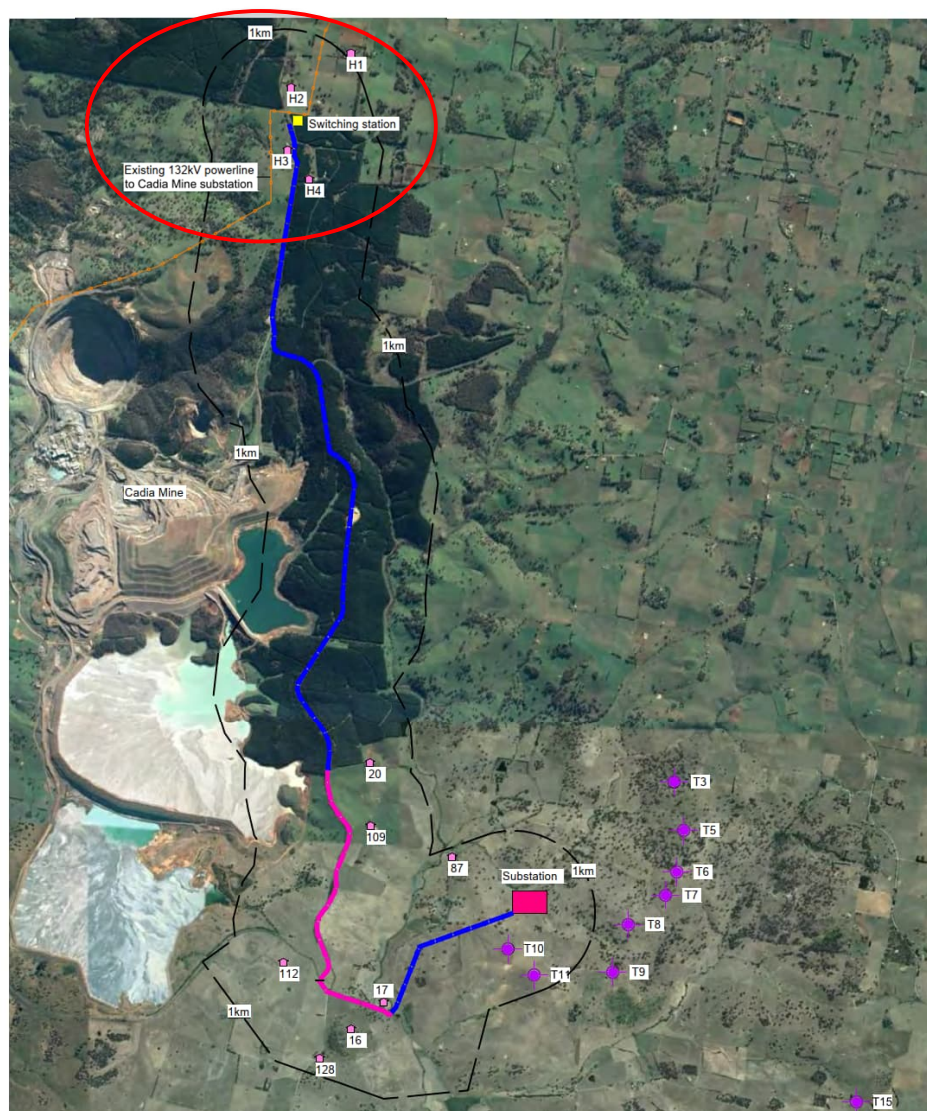


Figure 26
FCWF 132kV powerline
indicative alignment

GREEN BEAN DESIGN
landscape architects

Flyers Creek Wind Farm Modification 4

Figure 1: Extracted from Modification 4 Appendix C (Green Bean Design, July 2018)

Visual Impact and Mitigation - Final Layout Plan Detail Design Development

During the detail design development of the Switching Station Final Layout Plan and stakeholder feedback the landscape design has been modified 3 times to provide enhanced visual impact mitigation to adjacent sensitive receivers while complying with the specific bushfire risk management measures required by EE.

Table 2 below is a summary of the development of the Switching Station Final Layout Plan landscape detail design.

Table 2: Switching Station Landscape Design Plan Revision Status

Design Revision	Stakeholder Comments	Amendment to Design
1	Essential Energy requested Asset Protection Zone (APZ) be displayed and incorporated into design	Updated to include APZ offsets from new and existing electrical infrastructure
2	Feedback from a distant property owner ¹ advised they were not satisfied with the level of screening and lack of previous consultation during development phase	Significantly more tree planting zones incorporated and inclusion of mature tree planting on the northern permitter (<i>excluding middle section due to 132kv electrical connection at this point</i>)
3	Site inspection undertaken with distant property owner including presentation of Revision 2 design	After onsite consultation with landowners and further consultation with EE additional mature plantings have been positioned on the northern permitter to increase both short and long term screening of the switching yard.

Outlined in **Table 3** below is a summary of the visual impact mitigation measures achieved in the final layout design in relation to the 4 non associated sensitive receivers (H1 to H4) as originally assessed. Photos of sight lines are provided in **Attachment C**.

¹ Distant property owner is (Lot 2, DP1104460). Not this is not a receiver as identified as H1-H4 in the original visual impact assessment (Green Bean Design, 2018).

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Table 3: Visual Impact mitigation - Environmental Assessment (Modification 4 Appendix C Green Bean Design, July 2018) and Final Layout Plan Land Comparison

Receiver Location	Category of receiver location and viewer sensitivity level	Approximate distance to Mod 4 132kv powerline and or switching station	Visual Absorption Category (VAC)	Mod 4 visual effect	Visual Impact Mitigation as per submitted Final Layout Plan
H1	Non-associated residential dwelling Level 2	1,000m	High	Long distance views towards the 132kv powerline and the switching station would be largely screened by a tree cover beyond the dwelling. Short distance views generally west toward the existing North Orange to Cadia 132kv powerline would also be largely screened by vegetation surrounding and beyond the dwelling. Mitigation through landscape planting could be installed to screen the majority of any views toward the 132 kV powerline and the switching station facility	Property (Cann's Lot 3, Lot 4 DP1028980) The existing 'on property' tree canopy has grown in extent since the original assessment with the residential dwelling having a fully screened view to the switching station. Refer to Attachment C for photos of existing sight lines to this residence from the switching station. The Final Layout Plan provides tube stock and mature tree screen planting to a majority of northern perimeter which will provide long term visual mitigation at the Switching Station to this residence in addition to the existing on property screening in place.

Receiver Location	Category of receiver location and viewer sensitivity level	Approximate distance to Mod 4 132kv powerline and or switching station	Visual Absorption Category (VAC)	Mod 4 visual effect	Visual Impact Mitigation as per submitted Final Layout Plan
H2	Non-associated residential dwelling Level 2	310m	Low to Moderate	Short distance views south toward the switching station site would be partially screened from the dwelling by tree planting surrounding the curtilage. Views toward the Mod 4 132kV powerline would be largely screened by scattered tree cover beyond the dwellings as well as the denser pine plantation south of the proposed switching station location. Short distance views generally east to south toward the existing North Orange to Cadia 132kV powerline would also be partially screened by vegetation surrounding and beyond the dwelling. Mitigation through landscape planting could be installed to screen the majority of any views toward the switching station facility from the dwelling.	Property (Newcrest Limited Lot 1, Lot 2 DP1028980) Since the Mod 4 assessment on property vegetation has grown and expanded in canopy to create dense screening from existing trees surrounding the curtilage to the switching station. Refer to Attachment C for photos of existing sight lines from this residence to the switching station. The Final Layout Plan provides tube stock and mature tree screen planting to a majority of northern perimeter which will provide long term visual mitigation at the Switching Station to this residence in addition to the existing on property screening already in place.
H3	Non-associated residential dwelling Level 2	120m	Moderate to High	Short distance views east toward the Mod 4 132kV powerline and north toward switching station site would be partially screened from the dwelling by tree planting surrounding the curtilage, as well as tree planting alongside the Cadia Road corridor. Short distance views west toward the existing North Orange to Cadia 132kV powerline are largely screened by tree planting around the dwelling.	Property (Newcrest Limited. Lot 40 DP 705768) Note this is a commercial premise utilised by Newcrest Limited. As per original assessment the dwelling has partial screening from existing trees surrounding the curtilage to the switching station including on both sides of cadia road.

Receiver Location	Category of receiver location and viewer sensitivity level	Approximate distance to Mod 4 132kv powerline and or switching station	Visual Absorption Category (VAC)	Mod 4 visual effect	Visual Impact Mitigation as per submitted Final Layout Plan
				<i>Mitigation through landscape planting could be installed to screen the majority of any views toward the switching station from the dwelling.</i>	Refer to Attachment C for photos of existing sight lines to this commercial premise to the switching station. The Final Layout Plan provides additional planting on the eastern boundary and retention of a long strand existing Box-gum woodland along Cadia road which will provide long term visual mitigation at the Switching Station to this commercial residence in addition to existing vegetation on property screening in place.
H4	Non-associated residential dwelling Level 2	105m	High	<i>Short distance views west toward the Mod 4 132kV powerline, switching station site and the existing North Orange to Cadia 132kV powerline, would be screened from the dwelling by tree planting surrounding the curtilage and beyond the dwelling.</i>	Property (Lot 7, DP 1040755) Note applicable. H4 is a derelict house and is not inhabited.

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Consultation

Iberdrola has undertaken consultation with property owners (H1 – H4) as originally assessed in the Mod 4 Assessment which was approximately a 1km radius of the facility.

Details of consultation during the development of the Final Layout Plan for H1 to H4 receivers is summarised in Table 4 below, noting H4 is not habitable.

In addition, ongoing consultation has been undertaken with a distant property owner which is summarised in Table 5 below. Full consultation details including with distant property owner are provided in **Attachment D**.

Table 4: Summary of consultation as part of Switching Station Final Landscape Design (property owners within 1km original assessment area)

Date	Property	From	Details
20 th January 2023	H2 and H3 - Newcrest Limited (Lot 1, Lot 2 DP1028980)	Email from Iberdrola to Newcrest	Issued to Newcrest Stakeholder Liaison Lead Revision 2 of the Final Layout Plan for comment outlining additional screen planting had been included on northern permitter.
16 th February 2023	H1 - Cann (Lot 3, Lot 4 DP1028980)	Letter delivered to resident and discussion	Issued to Cann's Revision 3 of the Final Layout Plan for comment. Mrs Cane told Iberdrola rep they have no concerns about the switching station as they have no view of it due to the trees on their property. Iberdrola rep said Mrs Cane is supporting of renewable energy developments.
16 th February 2023	H2 and H3 - Newcrest Limited (Lot 1, Lot 2 DP1028980)	Email from Iberdrola to Newcrest	Issued to Newcrest Stakeholder Liaison Lead Revision 3 of the Final Layout Plan for comment. At this stage no formal comments have been provided by Newcrest Limited on the Final Layout plan.

The project team continues to consult with Newcrest as a key project stakeholder. In addition to the above formal submissions, Iberdrola has raised through verbal discussions, seeking their comment on the Switching Station Final Layout Plan but as of yet not received comment. Iberdrola is of the strong opinion they have provided ample opportunity for Newcrest to provide feedback on this matter.

Table 5: Summary of consultation as part of Switching Station Final Landscape Design (property owners within 1km original assessment area)

Date	Property	From	Details
27 September 2022 – ongoing	Distant property owner Gardiner is Lot 2 DP1104460	Phone call from Gardiner to Iberdrola	
28 September 2022	Gardiner	Email from Iberdrola to Gardiner	Provision of layout plan as per Approved Design and Landscape Plan
3 October 2022	Gardiner	Email from Iberdrola to Gardiner	Further information provided on switching station provision of built examples
4 October 2022	Gardiner	Email from Gardiner to Iberdrola	Requested site meeting
14 October 2022	Gardiner	Meeting at resident's house	Discussed a number of issues, resident not satisfied with consultation during development phase
25 October 2022	Newcrest	Newcrest to Iberdrola	Newcrest responded not their preference to plant trees on their property for the purpose of screening
27 November 2022	Gardiner	Email to Iberdrola to Gardiner	Offered to provide on residential property screening planting
30 November 2022	Gardiner	Email from Gardiner Residence	Resident did not think on property screening was practical and would block their view
15 December 2022	Gardiner	Email from Iberdrola to Gardiner	Submission of Revision 2 of the SS Landscape Plan
20 January 2023	Gardiner	Site visit to switching station with residents	Outlined planting strategy with revision 2 including inclusion of significantly more tree and mature species. Resident was still not satisfied but did outline some planting was better than nothing
31 January 2023	Gardiner	Email from Iberdrola to Gardiners	Status update (refer to log for further details)
1 February 2023	Gardiner	Email from Gardiners to Iberdrola	Requested Iberdrola CEO details
2 February 2023	Gardiner	Email from Gardiners to Iberdrola	Residents outlined they have made a complaint with the Australian Energy Infrastructure Commissioner.
2 February 2023	Gardiner	Email from Iberdrola to Gardiners	Outlined if they would like to meet Iberdrola's Project Director for further discussion on the matter

Date	Property	From	Details
6 February 2023	Newcrest	Email from Iberdrola to Gardiners	Newcrest outlined they were not in a position to provide screen planting on their property and they would discuss this directly with the Gardiners as they have an existing relationship

Close

Iberdrola has collaborated and consulted extensively on the final landscape plan with impacted receivers as identified in the original Mod 4 Environmental Assessment and additional distant resident (the Gardiners) during the development of the Switching Station Final Layout Landscape and Design Plan.

Table 3, as detailed above, clearly demonstrates for the sensitive receivers identified and assessed during the mod 4 assessment the visual impacts are aligned or will be less intrusive than those detailed with the proposed landscape and design mitigation measures implemented.

While not all views will have available screening of the new facility due to Essential Energy Asset Protection Zone (APZ) requirements and overhead electrical connection points, Iberdrola have maximised the extent of screening through selection of appropriate native tree species, implemented screen planting in every available place within the boundaries of the switching station, offered at screen planting at residences and have committed to more mature planting to expediate the screening process.

With this enhanced implementation of visual impact minimisation by the project team, Iberdrola seeks the Departments approval of attached Final Landscape Plan for the switching station (Rev 3) as outlined by Schedule 4 Condition 24a of the project approval.

Iberdrola have consulted with the impacted receivers on the final layout plan and have considered their comments in the final layout design where appropriate and feasible.

If you have any questions relating to this matter, I can be contacted below to assist.

Yours sincerely,

Nick Vavladellis

Project Manager
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M: +61 409 655 694
nick.vavladellis@iberdrola.com.au
cc:

Attachment A – FCWF-LAN-101– Switching Station Final Landscape Plan_Rev 03

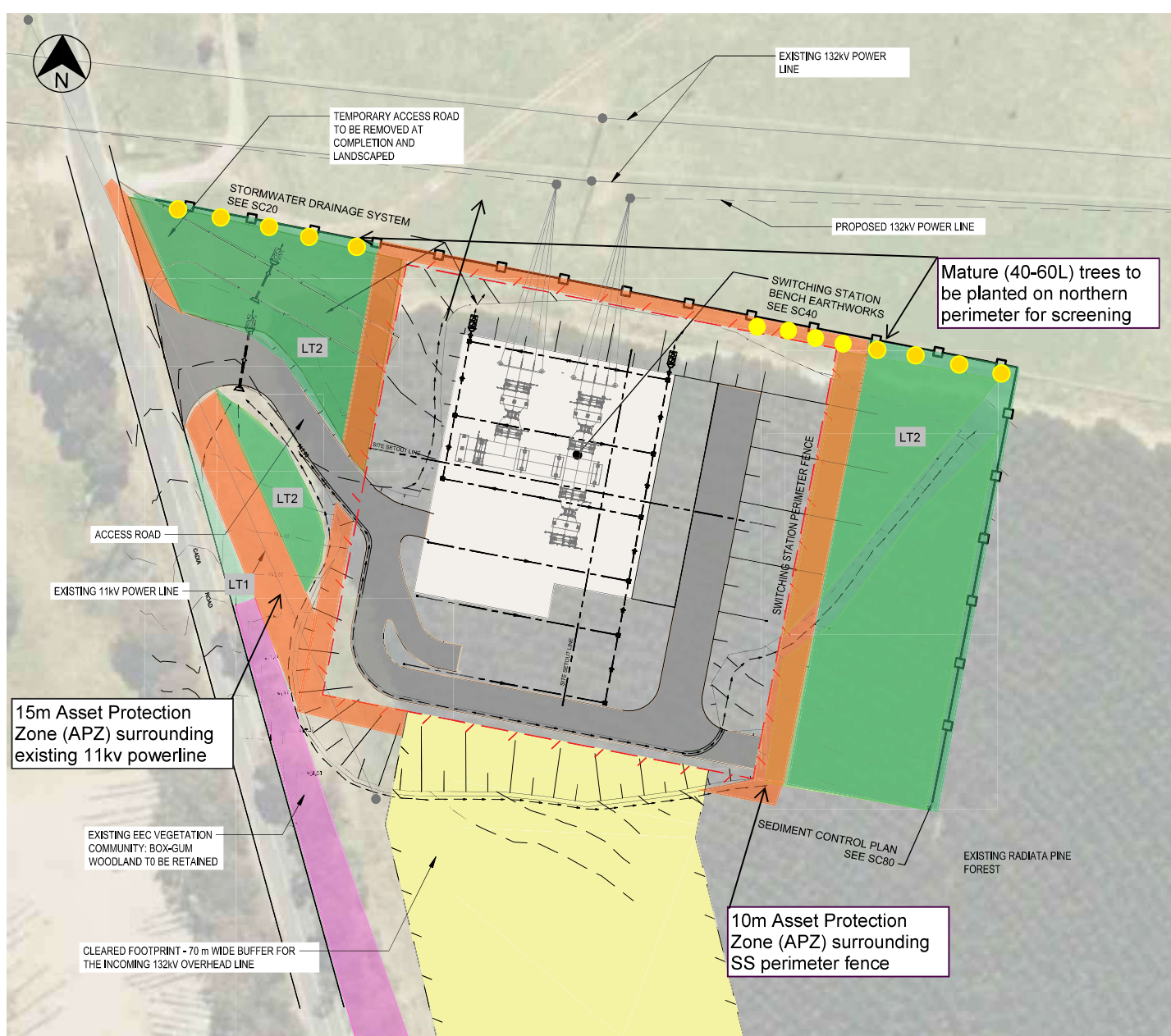
Attachment B – Architectural northern elevation cross section of Final Layout Plan

Attachment C – Site photos of sight lines from adjacent and distant property owners

Attachment D – Consultation Log

Attachment A FCWF-LAN-101– Switching Station Final Landscape Plan_Rev 03

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LEGEND

- SWITCHING STATION PERIMETER FENCE
- LANDSCAPE TYPE 1 - SHRUB AND GRASS ZONE (AS PER SPECIES LIST), INCLUDING EUCALYPTUS GONIOCALYX
- LANDSCAPE TYPE 2 - TREES ZONE (AS PER SPECIES LIST AND IN LINE WITH ESSENTIAL ENERGY TPZ OFFSET)
- Asset Protection Zone (restricted to native grass species)

NOTES:

FOR BATTER AND DRAINAGE LINE LANDSCAPING REQUIREMENTS PLEASE REFER TO ESSENTIAL ENERGY FLYERS CREEK SWITCHING STATION CIVIL WORKS DRAWING SET SC00-SC80 (VERSION 1, 26/09/2022)

Proposed screen plantings to be selected from the following species list:

Species:	Common Name:	Expected mature height:
Trees:	(one / 60-70m²)	
<i>Eucalyptus blakelyi</i>	Blakely's Redgum	25m
<i>Eucalyptus bridgesiana</i>	Apple Box	25m
<i>Eucalyptus goniochalx</i>	Long-leaved Box	15m
<i>Eucalyptus melliodora</i>	Yellow Box	30m
Shrubs:	(one shrub / m²)	
<i>Acacia buxifolia</i>	Box Leaf Wattle	1-4m
<i>Acacia implexa</i>	Hickory Wattle	5-12m
<i>Acacia paradoxa</i>	Kangaroo Thorn	1-4m
<i>Cassinia aculeata</i>	Common Cassinia	1-2.6m
<i>Swainsona galegifolia</i>	Smooth Darling Pea	1m
Grasses:	(four / m²)	
<i>Austrodanthonia sp</i>	Wallaby Grass (locally occurring species)	<1.0m
<i>Austrostipa scabra</i>	Speargrass	1.0m
<i>Lomandra filiformis</i>	Wattle Mat Rush	0.5m
<i>Poa sieberiana</i>	Small Bue Tussock Grass	1.0m
<i>Themeda australis</i>	Kangaroo Grass	<1.0m

*Tubestock selected to achieve the best growing outcomes and to assist with sourcing stock.

FOR INFORMATION

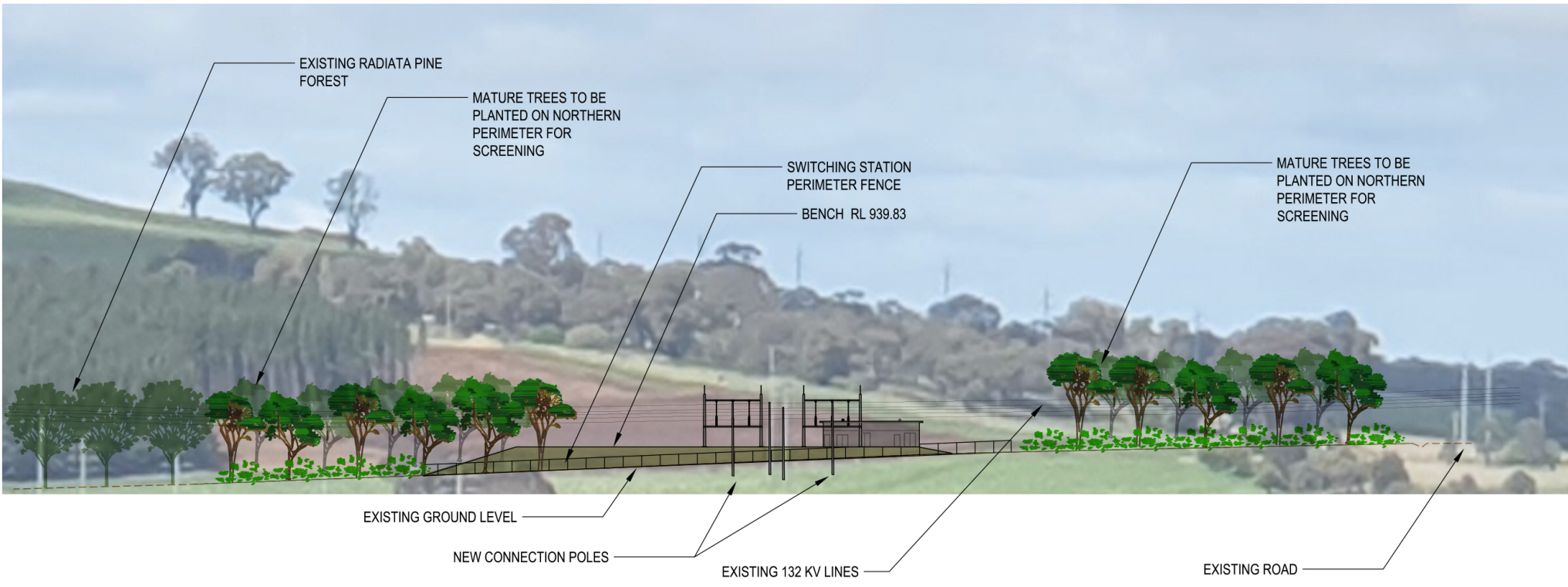
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Attachment B – Switching Station Final Landscape Plan_Rev 03
architectural cross section north elevation

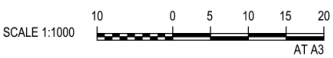
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NORTHERN ELEVATION (VIEW FROM NORTH TO SOUTH)



NOTES:

TREES AS DEPICTED ARE AT FULL MATURITY HEIGHT WHICH IS BETWEEN 8 -15 YEARS DEPENDING ON SPECIES

FOR INFORMATION

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Attachment C Photos of sight lines of adjacent (H1 to H4) and referenced distant property owner to switching station

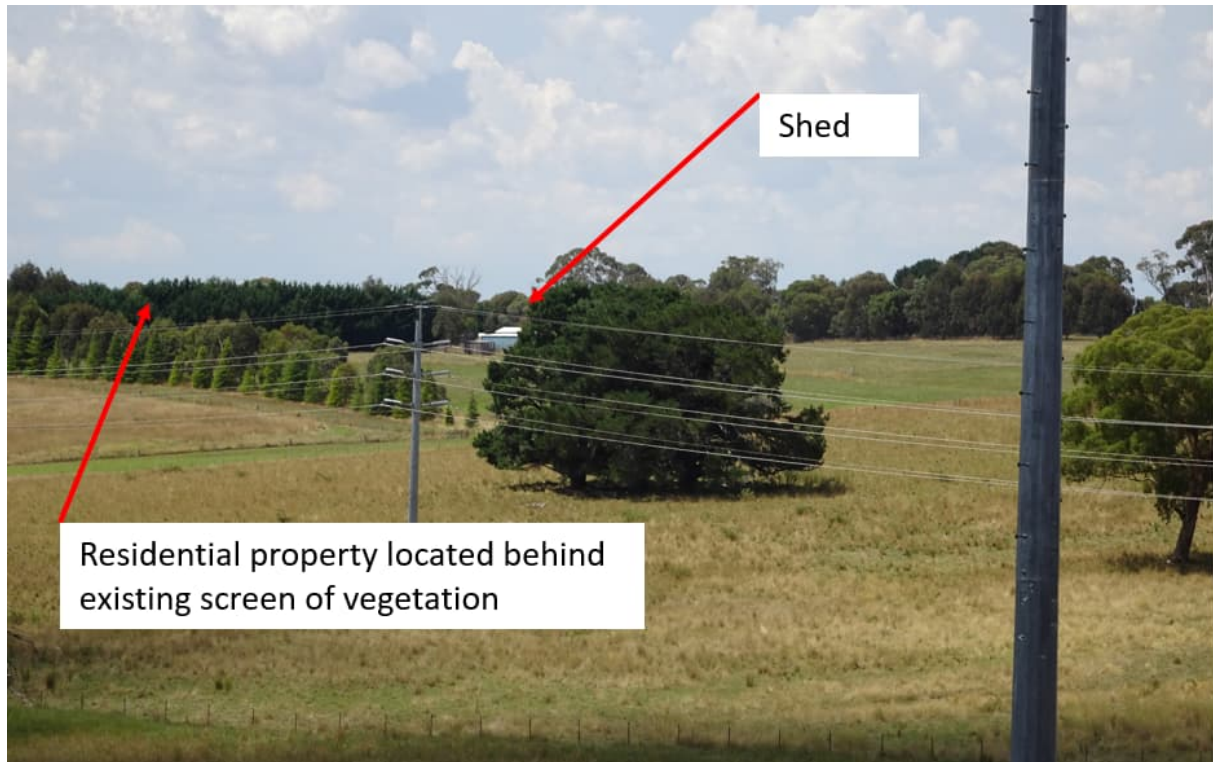


Photo 1 View from switching station north to H1 resident showing residential house is screened from existing vegetation



Photo 2 Direct view from Switching station to Newcrest property H2 (looking north)



Photo 3 Zoomed in direct view from Switching Station to Newcrest property H2 (looking north)



Photo 4 Direct view from Newcrest commercial property H3 (looking north to the switching station) *Note that the switching station site is not visible due to the crest of the hill impeding a direct view* (Image source: Google Street View, 2023).



Photo 5 Direct view from distant property owner (Gardiners) looking south to switching station

Attachment D Consultation Log (shaded grey are active receivers within 1km radius)

Date	Property Owner	Details of consultation
27/9/22	Gardiner	Sue Gardiner phoned Jenny Walsh (Iberdrola) with questions about the switching station. Plantation forestry on the site had been felled & Sue said this was the first she knew about the location of the switching station – she was aware of the location of wind turbines, not the 132kV line or the SS.
28/9/22	Gardiner	Jenny Walsh emailed Sue the link to the project layout plan for Flyers Creek Wind Farm, including the transmission line and switching station
3/10/22	Gardiner	Jenny emailed Sue further info about the scale of the switching station facility, noted main visible components, height of 132kV powerlines & provided an example photo of a similar facility. Attached the most recent project Newsletter.
4/10/22	Gardiner	Sue emailed, upset that their view will be spoiled after they have lived there for over 30 years and they weren't consulted about the location of the switching station. Asked to meet urgently
14/10/22	Gardiner	Jenny & Dale Wiessner (Iberdrola) met with Kel & Sue Gardiner at their home to discuss their concerns about the visual impact of the switching station. The aspect from their home is toward the south i.e. toward the switching station site. Jenny took photos from the decking/outdoor area from their house; the area cleared for the switching station is visible in the centre of the view. Kel & Sue feel that they weren't made aware of the location of the switching station during the planning phase of the project. They are concerned that it will spoil their view as the switching station will be unattractive to look at. Dale & Jenny explained that the footprint of the switching station infrastructure will be smaller than the area which has been cleared as there will be access tracks each side of the SS and landscaped/planting areas. Dale & Jenny showed Sue & Kel the proposed Design & Landscape Plan for the switching station illustrating areas of planting, noting these are east and west of the switching station infrastructure and will therefore not screen the view of the SS from Kel & Sue's home. Kel & Sue requested that some rows of trees are planted to the north of the existing 132kV line (the roughly east-west line which the switching station will connect to) to screen the view from their property. This would be on the landholding

		between Kel & Sue's property and the switching station site, which is owned by Newcrest (owner of Cadia Valley Mine nearby). Dale & Jenny said they would look into the planting, while noting reasons this might not be possible or effective: • The land is owned by Newcrest/Cadia, who may not agree to the proposal • A long term asset on third party property creates management difficulties and risks to both parties • Essential Energy may have limitations regarding planting adjacent to powerlines • The land falls away to the north of the switching station so that any screening trees would need to grow very tall to even partly screen the switching station Kel and Sue asked us to find out whether Newcrest/Cadia would give permission for the planting – they have had dealings with Newcrest for many years and have found them very accommodating. Regarding the limitations of the screening/time it would take for the trees to grow Sue and Kel noted that 'something is better than nothing'.
25/10/22	Newcrest	Newcrest responded to the proposal - preference was for Iberdrola to locate screen planting along the northern boundary of the switching station site. But noted Newcrest has a very good relationship with the Gardiners and would 'do it if we had to'
27/11/22	Gardiner	Jenny emailed Sue to note the matter has been discussed a couple of times with Newcrest and we are looking at options for the planting. Also noted Iberdrola is looking at the possibility of some planting nearer to the switching station, in consultation with Essential Energy regarding easement setbacks, etc. Asked Sue whether there was any possibility they would consider planting/landscaping on their property to screen the view of the switching station site. Suggested plants to screen the view to some extent without blocking it - noted it's not ideal, but much more feasible than planting on third party properties
30/11/22	Gardiner	email from Sue & Kel: - Disappointment and concern regarding the lack of consultation for the development and in particular the power line and Switching Station. - Regarding planting trees or shrubs on their property to block view of the switching station, this would be totally impractical and would impede their view.

		- Can see no reason why planting for screening could not occur on the proposed site along the existing fence line. - Under the project approval Section D24A indicates a final layout plan for the Switching Station is to be submitted to the Planning Secretary for approval. Requested a copy of this plan. Noted that Section D22 states the Proponent must: a) Minimise the off-site visual impact of the project – asked for a written response to how this is going to be addressed in their case.
5/12/22	Gardiner	Jenny responded to Kel & Sue to advise: - We are chasing the final layout plan for the Switching Station and will get a copy to them - Will get a written response to them in the coming weeks regarding other queries
14/12/22	Gardiner	Jenny phoned Sue & followed up with an email on 15/12/22 Provided revised Design and Landscape Plan for the switching station noting that the areas of each side of the facility which were to be planted with grasses, will instead include mature planted trees. And a row of mature trees on the northern boundary fence line has been added. Made it clear in the email that the additional landscaping enhancements will soften the view from Sue & Kel's home, but they will still have a direct view of the switching station. Also noted the site would be built up by 5m, making it more visible and that the facility will have night security lighting once operational. Meeting with Sue & Kel & Jenny was arranged for 19 December, but was postponed as Jenny had a personal matter.
20/1/23	Gardiner	Jenny & Damien Wagner (Jacobs) met with Sue & Kel in the paddock north of the switching station site to discuss the additional landscape planting, noting again that the additional trees would soften the view from their home, but would not screen as they have a direct view. Kel & Sue noted the changes won't make a difference to them, still not happy with proposed screening and reiterated that they would like vegetation screening planted on Newcrest's land. Damien pointed out that even the fastest growing trees might not provide any screening at all after 10 years due to the topography. Sue & Kel reiterated that anything was better than nothing, that Newcrest had been great neighbours and they understood Newcrest to be open to the idea. Jenny said she had not heard back from Newcrest since her last email and would raise the issue again, noting that this

		was not an undertaking to go ahead with the planting, stressed the difficulties of having a long term asset on third party land, legal agreements would need to be in place, etc.
20/1/23	Newcrest	Issued to Newcrest Stakeholder Liaison Lead Revision 2 of the Final Layout Plan for comment outlining additional screen planting had been included on northern perimeter.
31/1/23	Gardiner	Jenny emailed status update to Sue & Kel. Noted Iberdrola is: - waiting to hear back from Newcrest about the possibility of screen planting on Newcrest's land. As discussed, even if Newcrest is amenable to the proposal, Iberdrola would have to consider the practicalities of planting on third party land and long term maintenance commitments. We would also need to undertake some mapping and calculations to determine the height which the trees would need to grow to provide any visual screening at all from their home. - double checking with Essential Energy to see whether additional trees can be planted along the northern site boundary. Also noted: - feedback to the Department of Planning & Environment regarding our site meeting on 20 Jan was that you are not happy with the proposed screening in the Design & Landscape Plan for the switching station. - understand any lighting at the switching station will be low intensity security night lighting. Waiting for details re the orientation of the lighting. - In response to query - weeds within the switching station area will be managed during construction and operation under the relevant management plans using best practice methods. Let me know if you would like me to send you a copy of the Construction Flora and Fauna Management Plan.
1/2/23	Gardiner	Kel emailed Jenny to ask for Jenny the name, title and address of Iberdrola's CEO.
2/2/23	Gardiner	Kel & Sue advised by email that they had written a letter of complaint to Iberdrola and also raised a complaint with the Australian Energy Infrastructure Commissioner.
2/2/23	Gardiner	Jenny responded to Sue's email: Thanked Sue for advising of the complaints and noted: Melissa O'Brien (Newcrest) is back at work on Monday (6/2) so Jenny will follow up re the possibility of screen planting on Newcrest's land. Asked whether it would be helpful for the Flyers Creek Project Director (Tristan Raulings) to give Sue & Kel a call to

		discuss their concerns and frustrations. Noted that Tristan is the decision maker for the project and is aware of their issues regarding the visual impact of the switching station and complaint about lack of consultation.
6/2/22	Newcrest	Newcrest advised that landscape planting was not a possibility on their land neighbouring the site to the north. Melissa O'Brien from Newcrest advised that she has let the Gardiners know of Newcrest's position on the matter.
16/2/22	Cann's	Issued to Cann's Revision 3 of the Final Layout Plan for comment. Mrs Cane told Iberdrola rep they have no concerns about the switching station as they have no view of it due to the trees on their property. Iberdrola rep said Mrs Cane is supporting of renewable energy developments.
16/2/22	Newcrest	Issued to Newcrest Stakeholder Liaison Lead Revision 3 of the Final Layout Plan for comment. At this stage no formal comments have been provided by Newcrest Limited on the Final Layout plan.