

# KING'S FOREST

## BULK EARTHWORKS BALANCE PRECINCTS 06-11 No.12301-EWB

SCHEDULE OF DRAWINGS		
NUMBER	REV NO	TITLE
<b>GENERAL</b>		
12301-EWB-000	B	COVER SHEET
12301-EWB-001	A	GENERAL NOTES & LEGEND
12301-EWB-003	A	KEY PLAN
<b>SEDIMENT AND EROSION</b>		
12301-EWB-010	A	CONCEPT PLAN
<b>BULK EARTHWORKS</b>		
12301-EWB-030	B	CUT FILL PLAN-SHEET 01
12301-EWB-031	A	CUT FILL PLAN-SHEET 02
12301-EWB-032	A	CUT FILL PLAN-SHEET 03
12301-EWB-033	B	CUT FILL PLAN-SHEET 04
12301-EWB-034	A	CUT FILL PLAN-SHEET 05
12301-EWB-035	A	CUT FILL PLAN-SHEET 06
12301-EWB-040	A	BULK EARTHWORKS CUT/FILL AREAS
12301-EWB-050	A	KEY PLAN-EARTHWORKS SECTIONS
12301-EWB-051	A	SECTIONS-SHEET 01
12301-EWB-052	A	SECTIONS-SHEET 02
12301-EWB-053	A	SECTIONS-SHEET 03
12301-EWB-070	B	PLAN-SHEET 01
12301-EWB-071	A	PLAN-SHEET 02
12301-EWB-072	A	PLAN-SHEET 03
12301-EWB-073	B	PLAN-SHEET 04
12301-EWB-074	A	PLAN-SHEET 05
12301-EWB-075	A	PLAN-SHEET 06



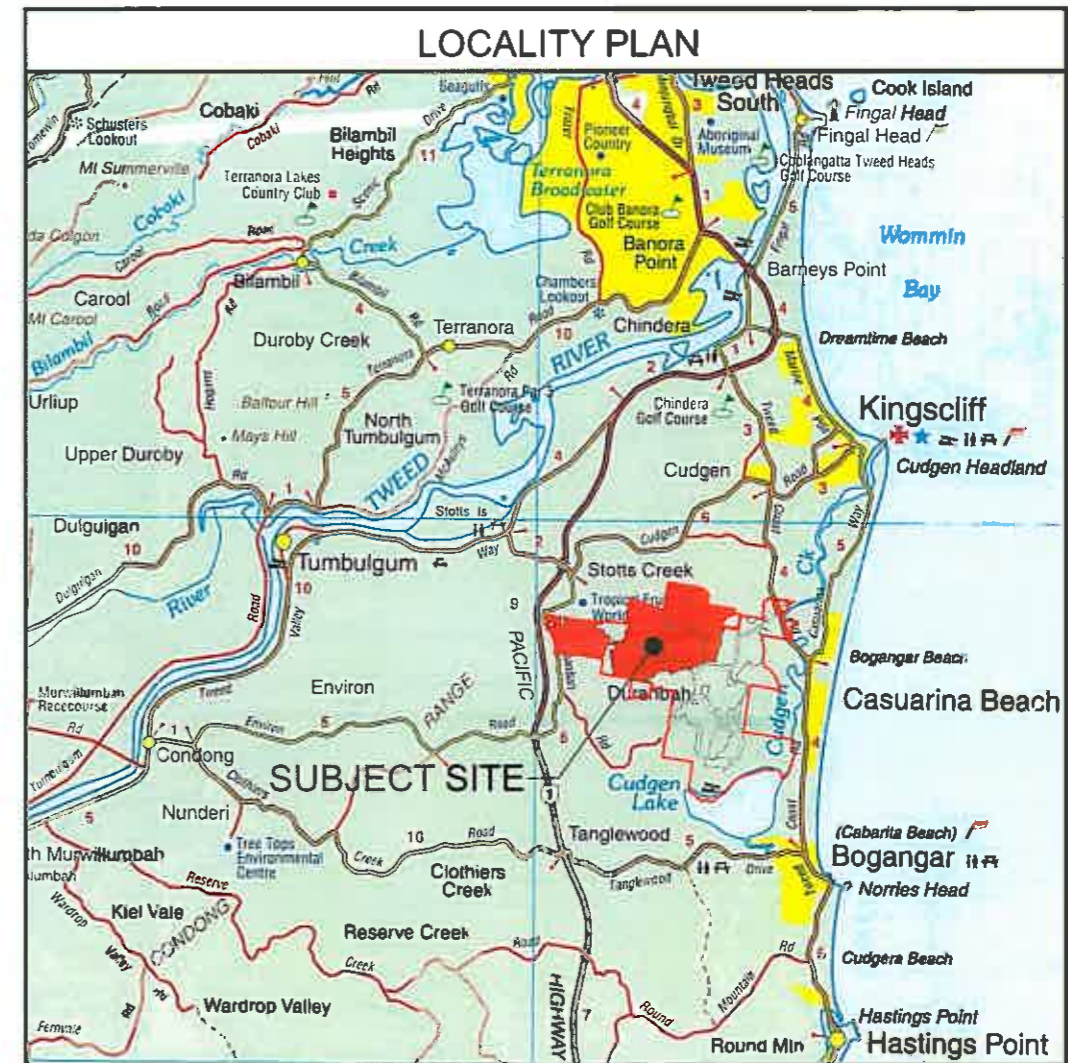
CLIENT

**PROJECT 28  
PTY LTD**

SUB CONSULTANTS

LANDSURV Pty. Ltd.  
14 Enid St,  
TWEED HEADS NSW 2485  
Ph (07) 65367055

**GILBERT+SUTHERLAND**  
agricultural and environmental scientists



**CONSTRUCTION SEQUENCE/SILT MANAGEMENT PROGRAM**

- PRE START**  
ERECT SITE SIGNAGE. CONSTRUCT ENTRY AND EXIT POINT AS INDICATED.  
CONSTRUCT VEHICLE WASHDOWN AREA AND ASSOCIATED SILT MANAGEMENT DEVICES.  
CONSTRUCT SITE OFFICE AND STORAGE COMPOUND AREA.  
ERECT SILT FENCE AT LOW POINTS OF THE SITE AS DEMONSTRATED.  
ERECT TEMPORARY 3 STRAND WIRE FENCE TO EXISTING TREES TO BE RETAINED.  
CONSTRUCT ROCK CHECK DAMS AND SILT FENCES DOWNSTREAM OF BASIN. CONSTRUCT BASIN TO FULL DEPTH.  
CONSTRUCT BALANCE OF BASIN IN CONJUNCTION WITH CLEARING AND BULK EARTHWORKS OPERATIONS.  
BASIN TO BE UTILISED AS TEMPORARY SEDIMENT BASIN. DO NOT FILL IN FILTRATION MATERIAL UNTIL CONSTRUCTION OF DEVELOPMENT IS COMPLETE.
- CLEARING AND BULK EARTHWORKS**  
SILT FENCE, SAND BAGS AND EARTH RILLS TO BE ERECTED AS INDICATED OR REQUIRED DURING CLEARING.  
SUPERINTENDENT TO CONFIRM EXTENT OF CLEARING TO CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS.  
SILT FENCES AND EARTH RILLS WITHIN ROADS TO BE ERECTED AS INDICATED OR REQUIRED DURING EARTHWORKS.
- CONSTRUCTION OF SEWER/ROOFWATER/STORMWATER/SERVICES**  
EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE OF TRENCH AND TO PROTECT PIPE WORK AND DIRECT SURFACE MATERIAL AWAY FROM EXCAVATIONS.  
TOPSOIL AND GRASS SEED AREAS IN ALLOTMENTS IMMEDIATELY AFTER COMPLETING THE SEWER AND ROOFWATER DRAINAGE CONSTRUCTION.  
DEPRESS GROUND AROUND TEMPORARY FIELD INLETS TO CREATE SILT POND.
- CONSTRUCTION - SEDIMENT BASINS**  
SEDIMENT BASIN TO BE CONSTRUCTED TO THE EARTHWORK PROFILES SHOWN.  
STORMWATER OUTLET PIPES TO BE TEMPORARILY BLOCKED OFF UNTIL DECOMMISSIONING OF SEDIMENT BASIN (SUBSEQUENT TO CONSTRUCTION OF ALL STAGES).  
PLACE SPOIL FROM SEDIMENT BASIN INTO ALLOCATED AREA AS ENGINEERED FILL IN ACCORDANCE WITH THE STAGING ORDER.
- CONSTRUCTION - STOCKPILING**  
TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.  
STOCKPILE SITE TO BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES.
- CONSTRUCTION - ROADWORKS**  
SILT FENCES TO ALLOTMENTS TO BE ERECTED.  
KERB INLET PROTECTION TO BE PROVIDED TO ALL GULLIES.
- CONSTRUCTION - ALLOTMENTS**  
TOPSOIL AND SEED ALLOTMENTS.  
SILT FENCES TO ALLOTMENTS TO BE RE-ERECTED.  
COVERS TO GULLY GRATES TO BE REMOVED IF THE SUPERINTENDENT INDICATED THE GRASS STRIKE IS SUFFICIENT (80% WITHIN 30 CALENDAR DAYS OF FINAL ALLOTMENT TRIMMING).
- POST CONSTRUCTION - ALLOTMENTS**  
TOPSOIL AND GRASS SEED ALL ALLOTMENTS.  
COVERS TO GULLY GRATES TO BE REMOVED IF THE SUPERINTENDENT INDICATES THE GRASS STRIKE IS SUFFICIENT ( 80% WITHIN 30 CALENDAR DAYS OF FINAL ALLOTMENT TRIMMING).
- POST CONSTRUCTION - ROAD RESERVES**  
TOPSOIL AND TURFING IS TO BE PROVIDED BEHIND KERB.
- MAINTENANCE (PRE TO POST CONSTRUCTION)**  
THE SILT FENCES ARE TO BE INSPECTED WEEKLY.  
ANY REPAIRS REQUIRED ARE TO BE EFFECTED IMMEDIATELY.  
SILT AFTER RAIN IS TO BE CLEANED FROM STREETS AND ALLOTMENTS IMMEDIATELY AND CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE OF THE FAILURE.

**GENERAL**

- CONTRACT SPECIFICATIONS**  
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
- SETOUT**  
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
- DATUM**  
LEVELS SHOWN ARE TO A.H.D.
- EXISTING SERVICES - External Works**  
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES AND TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY.

**BASIN CONSTRUCTION**

- PRIOR TO COMMENCING CONSTRUCTION** OF THE DETENTION BASIN THE DIVERSION OF SURFACE WATER FROM THE PROPOSED WORKS AREA, USING MEASURES SUCH AS OPEN DRAINS/SUMPS, ARE REQUIRED TO AID IN SITE DEWATERING.
- FOR THE ENTIRE EMBANKMENT AREA STRIPPING OF VEGETATION AND ANY HIGHLY ORGANIC TOP SOILS AND ANY SOFT CLAYS TO DEPTHS OF APPROX. 0.3m IS REQUIRED.
- THE STRIPPED SURFACE IS TO BE INSPECTED AND TESTED BY A GEOTECHNICAL ENGINEER.
- SUBJECT TO GEOTECHNICAL ENGINEERS INSPECTION EXCAVATION OF A CUTOFF KEY ALONG THE EMBANKMENT CENTERLINE AT LEAST 0.5m - 1.0m INTO THE FOUNDATION MATERIALS SHALL BE REQUIRED.
- THE CLAY FILLING FOR THE BASIN WALLS SHALL BE PLACED IN HORIZONTAL LAYERS OF 200mm THICKNESS AND COMPACTED TO A DENSITY RATIO WITHIN THE RANGE 98% - 102% STANDARD COMPACTION (AS 1289.5.1.1). PLACEMENT MOISTURE CONTENTS SHOULD BE WITHIN THE RANGE OMC -1% TO OMC +2% (WHERE OMC = OPTIMUM MOISTURE CONTENT FOR STANDARD COMPACTION).

**SERVICE CORRIDOR ALLOCATIONS.**

- SERVICE CORRIDOR ALLOCATIONS TO BE AS PER KINGS FOREST CONCEPT PLAN WHERE PROVIDED.

**SEDIMENT AND EROSION**

- THE OBJECTIVE OF THE EROSION AND SEDIMENT CONTROL PROGRAM ARE TO
  - ALLOW STORMWATER TO PASS THROUGH THE SITE IN A CONTROLLED MANNER AT NON-EROSIVE FLOW VELOCITIES.
  - MINIMAL SOIL EROSION FROM WATER AND WIND.
  - MINIMISE ADVERSE EFFECTS OF SEDIMENT RUNOFF.
  - MINIMISE OR PREVENT ENVIRONMENTAL HARM ASSOCIATED WITH DISCHARGE FROM THE CONSTRUCTION SITE.
  - ENSURE THAT THE VALUE AND USE OF RESIDENTIAL PROPERTIES ADJACENT TO THE DEVELOPMENT ARE NOT DIMINISHED AS A RESULT OF THE MIGRATION OF SEDIMENT FROM THE DEVELOPMENT.
- THE EROSION AND SEDIMENT CONTROL PROGRAM SHALL COMPLY WITH THE ENVIRONMENTAL BEST PRACTICE FOR EROSION AND SEDIMENT CONTROL, THE SOIL EROSION AND SEDIMENT CONTROL - ENGINEERING GUIDELINES FOR NEW SOUTH WALES CONSTRUCTION SITES, THE CURRENT INSTITUTION OF ENGINEERS AUSTRALIA AND LOCAL AUTHORITY GUIDELINES.  
THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION AND DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION INCLUDING THE MAINTENANCE PERIOD.  
NOTWITHSTANDING THE DESIGN SHOWN ON THE DRAWINGS THE CONTRACTOR IS RESPONSIBLE TO IMPLEMENT SEDIMENT CONTROL DEVICES USING BEST PRACTICES AS NECESSARY TO MINIMISE THE QUANTITY SEDIMENT LEAVING THE SITE.
- THE CONTRACTOR IS TO FOLLOW THE CONSTRUCTION PHASE AS OUTLINED IN THE CONSTRUCTION SEQUENCE/ SILT MANAGEMENT PROGRAM.  
ALL SEDIMENT CONTROL DEVICES SHALL BE MONITORED, CLEANED AND/OR REPAIRED WHENEVER THE ACCUMULATED SEDIMENT REDUCES THE CAPACITY BY 50%.  
ALL PERIMETER BANK/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.  
AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS AND PROTECT ANY DOWNSTREAM CONSTRUCTION AND GULLY INLETS.  
INLETS TO HAVE SILT PROTECTION IN ACCORDANCE WITH KERB INLET PROTECTION DETAIL AT LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER.
- PRIOR TO THE COMMENCEMENT OF EARTHWORKS THE CONTRACTOR IS TO CARRY OUT SOIL TESTING (IF REQUIRED BY SUPERINTENDENT) TO DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL AND RESULTS TO BE GIVEN TO THE ENGINEERS SO THE FINALISATION OF THE EROSION AND SEDIMENT CONTROL PLAN CAN BE COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN LOCATIONS AGREED WITH THE SUPERINTENDENT.  
CLEARING OF SITE AND STOCK PILE AREAS TO BE AS DIRECTED BY THE SUPERVISING ENGINEER.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST AT ALL TIMES INCLUDING WEEKENDS AND PUBLIC HOLIDAYS.
- SUITABLE ACCESS SHALL BE PROVIDED TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES (IT IS TO BE NOTED THAT CLEARING SHALL ONLY OCCUR IN AREAS WHERE THERE IS NO OTHER ALTERNATIVE TO GAIN ACCESS TO THE LOCATION OF THE SEDIMENT CONTROL DEVICES).
- PLACE ROCK BUND AROUND ALL HEADWALLS DURING CONSTRUCTION.
- PLACE 0.8m WIDE TURF STRIP BEHIND ALL KERBS AND ON ALL BATTERS STEEPER THAN 1:4 UNLESS OTHERWISE NOTED.  
THE EXTENT OF GRASSING SHALL BE DETERMINED BY THE ENGINEER AND SHALL BE SEEDING, AS SPECIFIED WITHIN 7 DAYS OF FINAL TRIMMING.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT GRASS-STRIKE RATES ARE ACHIEVED AT ON AND OFF MAINTENANCE INSPECTION IN ACCORDANCE WITH TWEED SHIRE COUNCIL REQUIREMENTS.

**EARTHWORKS/ROADWORKS**

- TOPSOIL STRIPPING**  
TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT AND FILL AREAS AND SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
- EARTHWORKS LEVELS**  
EARTHWORKS LEVELS SHOWN ON DRAWINGS ARE TO FINISHED SURFACE LEVELS AND INCLUDE 100mm OF TOPSOIL.
- COMPACTION STANDARD**  
SITE FILLING AND TRENCH BACKFILL SHALL BE COMPACTED TO THE STANDARDS OUTLINED IN TWEED SHIRE COUNCIL STANDARD SPECIFICATION.
- PAVEMENT DEPTHS**  
THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS. THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY AND MAY BE VARIED AFTER SUBGRADE TESTS ARE TAKEN.
- TESTING**  
ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS.
- TOPSOIL REPLACEMENT**  
ALL FOOTPATHS, BATTERS AND ALLOTMENT CUT & FILL AREAS SHALL BE TOPSOILED WITH TOPSOIL FROM ONSITE STOCKPILES. THE TOPSOIL SHALL BE SCREENED PRIOR TO PLACING IF DIRECTED BY SUPERINTENDENT.
- GRASSING**  
ALL CUT/FILL AREAS, DISTURBED AREAS AND TRENCHED AREAS SHALL BE GRASSED TO THE SATISFACTION OF THE SUPERINTENDENT.
- SUBSOIL DRAINS**  
SUBSOIL DRAINS ARE TO BE CONSTRUCTED IN ACCORDANCE TWEED SHIRE COUNCIL STANDARD SPECIFICATIONS AND SHALL BE PLACED AS DIRECTED BY THE SUPERINTENDENT.
- ROCK**  
THE CONTRACTOR IS TO MAKE THEMSELVES KNOWN OF ANY ROCK PRIOR TO TENDER AND INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATE.

**STORMWATER**

- ALL STORMWATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH T.S.C. STANDARD SPECIFICATIONS D220 221,222,223&224.
- ALL ROAD GULLY LINTELS TO BE STAMPED 'DUMP NO WASTE - FLOWS INTO CREEK AS PER T.S.C. STD DWG SD103.
- STEP IRONS REQUIRED IN ALL DRAINAGE STRUCTURES >1200mm DEEP AS PER T.S.C. S.D.109.
- INTERLOTMENT DRAINAGE PITS
  - < 900 DEPTH TO BE 600mm UNLESS NOTED OTHERWISE
  - > 900 - 1200 TO BE 600x900 UNLESS NOTED OTHERWISE
  - > 1200 TO BE 900x900 UNLESS NOTED OTHERWISE
 AND CONSTRUCTED IN ACCORDANCE WITH DETAIL ON DWG. 7710-101012-090.
- ALL INTERLOTMENT DRAINAGE PITS LINES TO BE 225mm DIA. UNLESS NOTED OTHERWISE AND HAVE MINIMUM GRADE OF 1% AND 300mm COVER. PIPES EXCEEDING 15% GRADE TO HAVE BULKHEADS INSTALLED AT JOINTS. REFER TO T.S.C. STD DWG S.D.107 FOR CONCRETE BULKHEAD DETAILS.
- ALL INTERLOTMENT DRAINAGE PITS STUBS TO EXISTING AND FUTURE LOTS TO BE 90mm OR 100mm DIA UPVC LOCATED IN LOWEST CORNER, EXTENDING IN INTO PROPERTY AND SEALED OFF WITH UPVC CAP. LOCATION TO BE MARKED WITH GREEN PAINTED STEEL STAR PICKET 600mm MIN. HEIGHT.
- ALL DRAINAGE PIPE BEDDING INSTALLATION SHALL BE TYPE H52 UNLESS NOTED OTHERWISE AND AS SPECIFIED IN AS3725.
- ALL DRAINAGE PIPES SHALL BE DESIGNED TO WITHSTAND TRAFFIC VEHICLE LOADING OF 70kN AND 600mm COVER. (REFER CONCRETE PIPE ASSOCIATION- CONCRETE PIPE SELECTION AND INSTALLATION).THE CONTRACTOR SHALL MAKE ALLOWANCE FOR ALL CONSTRUCTION LOADS.
- FOR STANDARD ROAD GULLY PIT DETAILS REFER T.S.C DWG SD104.
- ALL PIPES UP TO 600mm DIA. ARE TO BE R/RJ IF GROUNDWATER IS ENCOUNTERED WHERE OVER 600 R/RJ SHALL ALSO BE USED.
- PROVIDE KERB ADAPTORS TO ALL LOTS WITHOUT IAD CONNECTIONS.
- THE CONTRACTOR IS TO INCLUDE ANY ROCK EXCAVATION AS PART OF THEIR STORMWATER RATE.

**FEATURE LEGEND**

- EDGE OF VEGETATION
- PROPERTY LINE
- FACE OF KERB, FOOTPATHS
- LIP AND BACK OF KERB
- CONTROL LINE / CENTER OF ROAD
- EXISTING PROPERTY LINE
- EXISTING FEATURES
- SITE BOUNDARY
- PRECINCT BOUNDARY
- STAGE BOUNDARY
- EXISTING CONTOURS
- DESIGN CONTOURS
- BULK EARTHWORKS CONTOURS
- AREA OF WORKS NOT RELEVANT TO THIS APPLICATION

PROJECT NAME  
**KINGS FOREST**  
BULK EARTHWORKS  
BALANCE-PRECINCTS 06 to 11

REAL PROPERTY DESCRIPTION  
Lot 7 on DP875447, Part of Lot 6 on DP875446,  
Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
& Part of Lot 2 on DP819015  
PARISH OF CUDGEN  
COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**

ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	

A 08-03-11 STATE AUTHORITY ISSUE

PRE DATE AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2008. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
LANDSURV Pty. Ltd.  
14 Ende St,  
TWEED HEADS NSW 2485  
Ph (07) 55367066

**GILBERT+SUTHERLAND**  
agricultural and environmental scientists

DRAWING TITLE  
**GENERAL NOTES AND LEGEND**

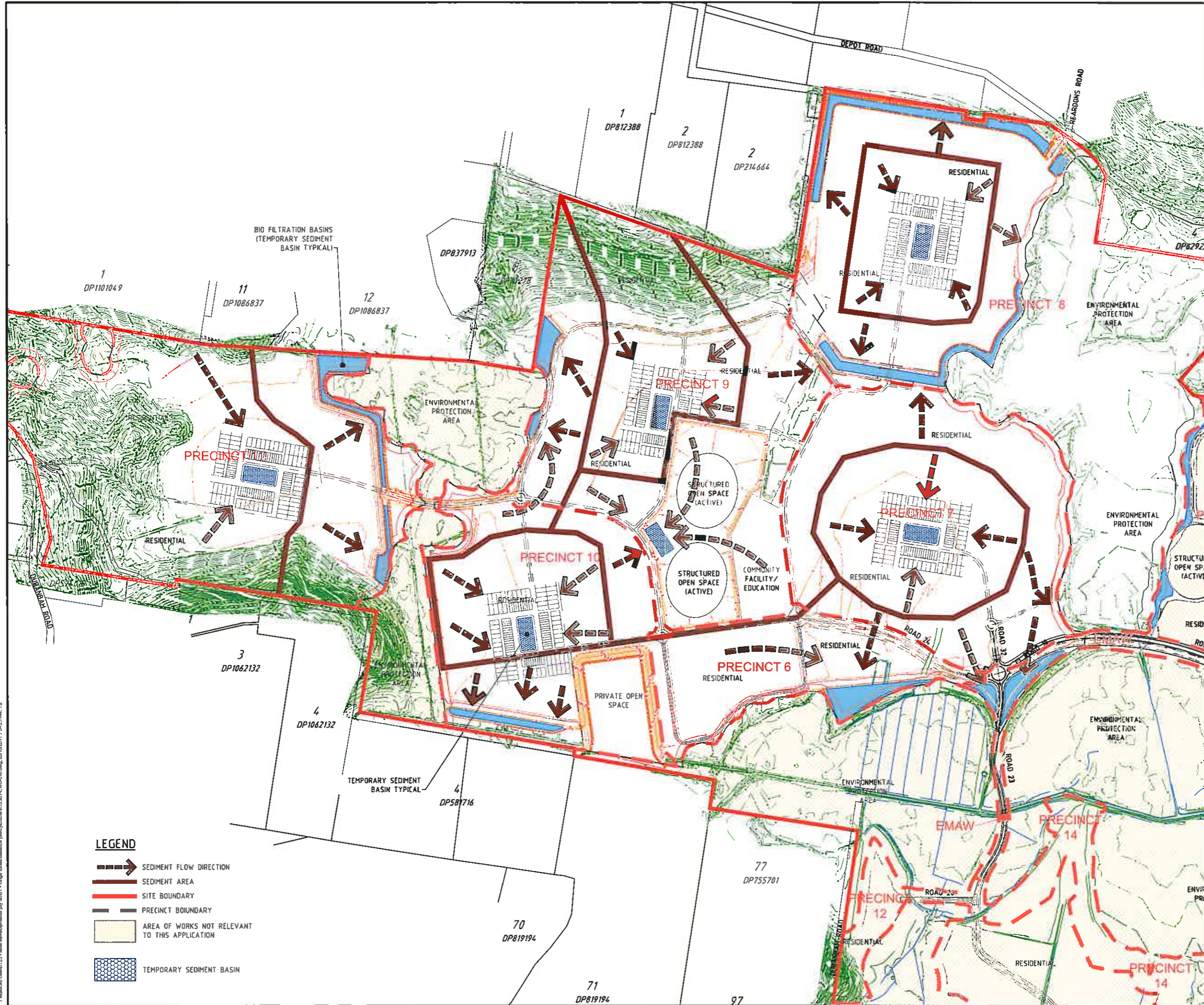
**MORTONS**  
urbansolutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination

MUS Pty Ltd T/As: Postal Address  
Mortons-Urban Solutions PO Box 2484  
ABN 39 116 375 065 Southport QLD 4275

mortons@urbansolutions.net.au  
www.urbansolutions.net.au Gold Coast Office  
Tel 07 5571 1099 Suite 9, 19 Short St  
Fax 07 5571 1080 Southport QLD 4275

DESIGNED RB	DRAWN BL
APPROVED	DATE 30-11-10
DRAWING NUMBER <b>12301-EWB-001</b>	REVISION <b>A</b>

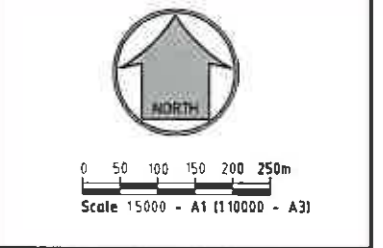




- LEGEND**
- SEDIMENT FLOW DIRECTION
  - SEDIMENT AREA
  - SITE BOUNDARY
  - PRECINCT BOUNDARY
  - AREA OF WORKS NOT RELEVANT TO THIS APPLICATION
  - TEMPORARY SEDIMENT BASIN

PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 8 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CLUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



ISSUES	DATE
TENDER	
STATE AUTHORITY	10-03-11
CONSTRUCTION	

PRE DATE	AMENDMENT
A	10-03-11 STATE AUTHORITY ISSUE

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2000. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
**LANDSURV Pty. Ltd.**  
 14 Enkl Bl.  
 TWEED HEADS NSW 2485  
 Ph. (07) 65367065

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
**SEDIMENT & EROSION CONCEPT PLAN**

**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

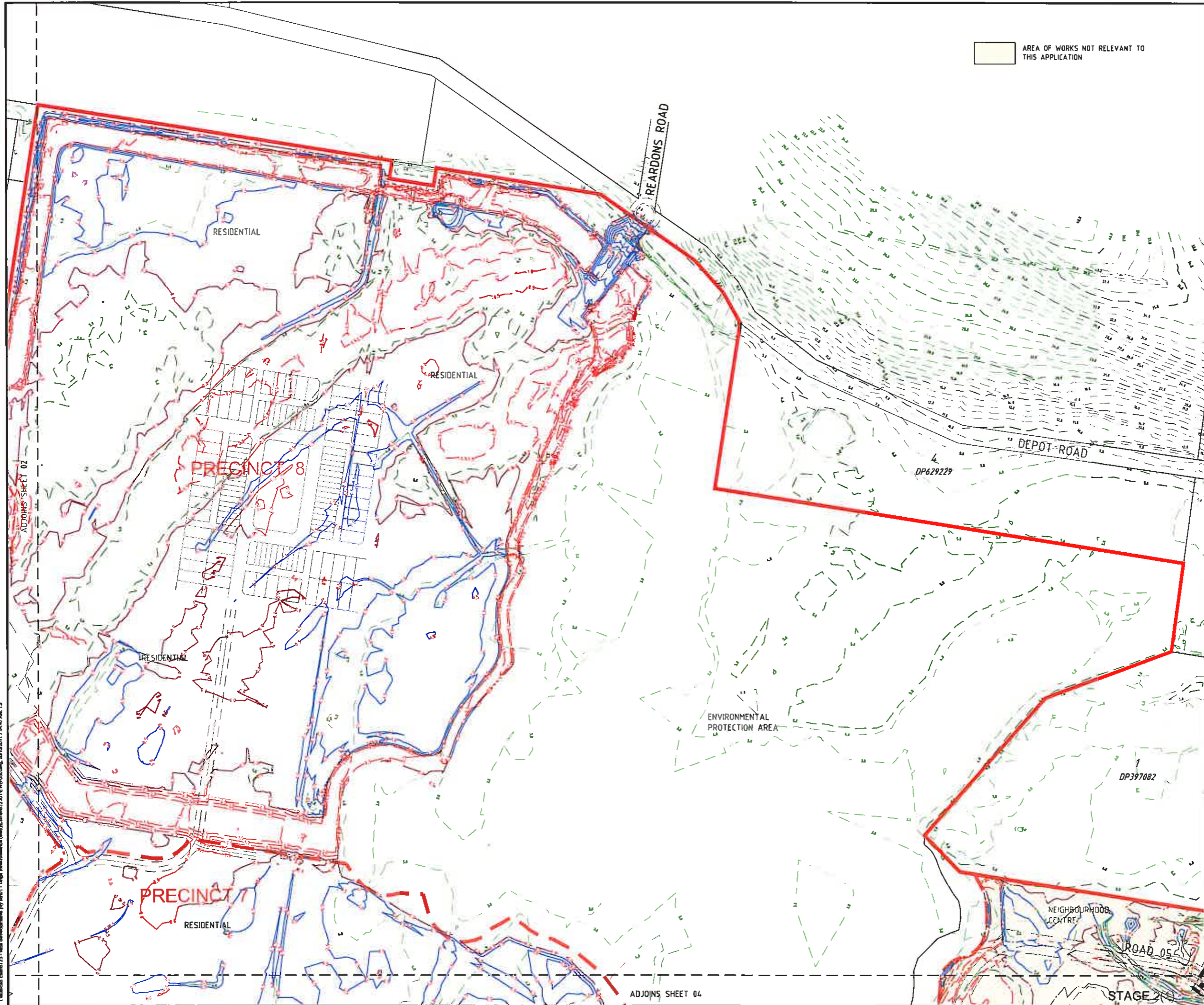
MUS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 Tel: 07 5571 1099  
 Fax: 07 5571 1000

Postal Address  
 PO Box 2484  
 Southport QLD 4215

Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED RB	DRAWN BL
APPROVED	DATE 30-11-10
DRAWING NUMBER	
<b>12301-EWB-010</b>	ANEX <b>A</b>

1:10000 scale plan showing the location of the project within the Kings Forest Bulk Earthworks site. The drawing is a conceptual plan and does not represent a final design. It is intended for use in conjunction with the 001-NOTES AND LEGEND. The drawing is the property of Mortons Urban Solutions and is not to be reproduced without written consent. Copyright Mortons Urban Solutions 2000.



PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**

Scale 12000 - A1 (1:4000 - A3)

0 20 40 60 80 100m

NORTH

ISSUES	DATE
TENDER	
STATE AUTHORITY	M-03-11
CONSTRUCTION	

26-11-EARTHWORKS REVISED	STATE AUTHORITY ISSUE
A	M-03-11

PRE DATE	AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2000. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
 LANDSURV Pty. Ltd.  
 14 Enkl St,  
 TWEED HEADS NSW 2486  
 Ph. (07) 55387066

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
**BULK EARTHWORKS  
 CUTFILL PLAN  
 SHEET 01**

**MORTONS**  
 urban solutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

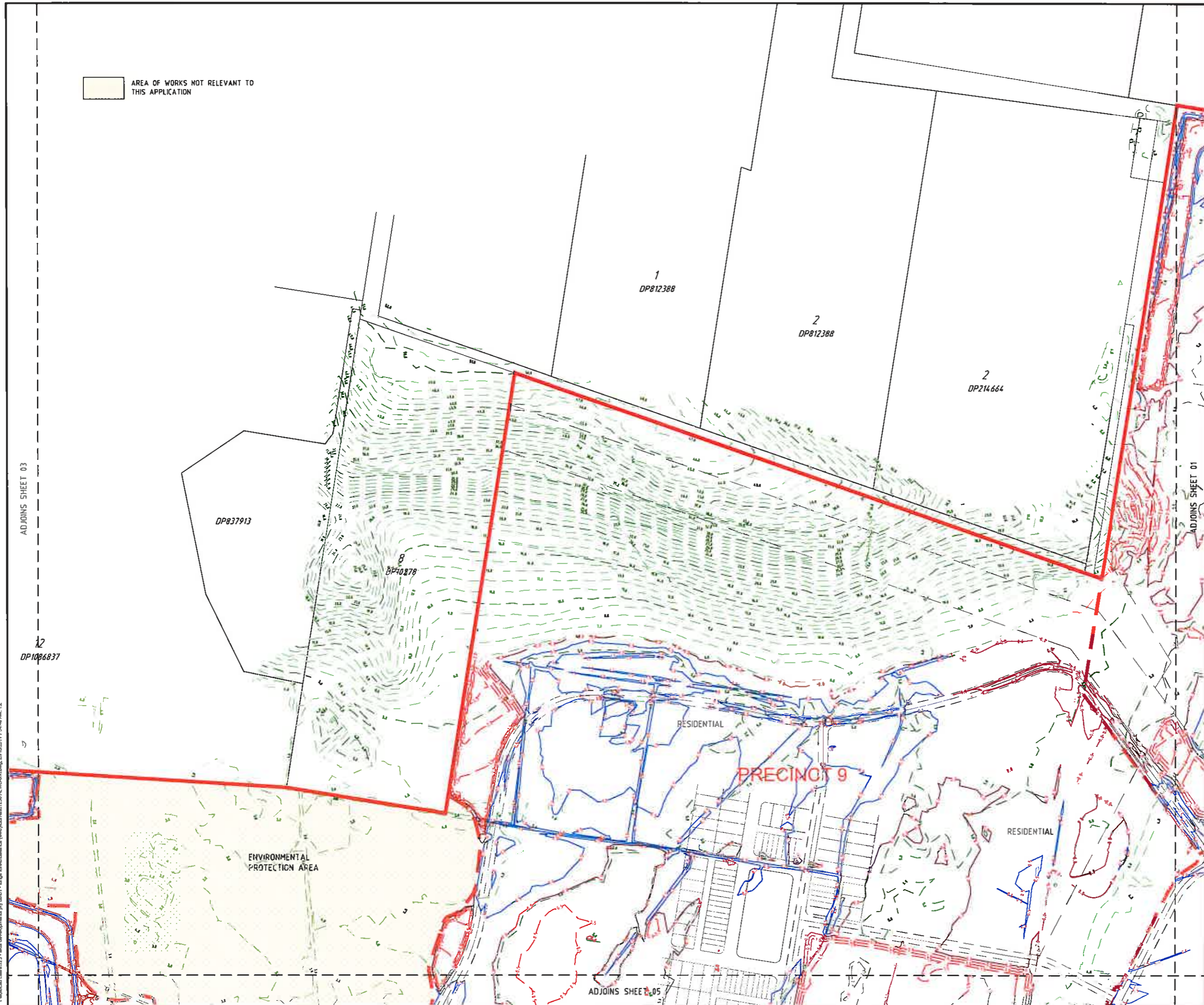
MUS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088

Postal Address  
 PO Box 2484  
 Southport QLD 4215

Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED	RB	DRAWN	BL
APPROVED		DATE	30-11-10
DRAWING NUMBER			AMEND.
12301-EWB-030			B

National Clearing Pty Ltd - 1 Kings Avenue, Brisbane QLD 4000. 30/11/2010 11:54:47 AM. 1:2



# KINGS FOREST

BULK EARTHWORKS  
BALANCE-PRECINCTS 06 to 11

REAL PROPERTY DESCRIPTION  
Lot 7 on DP875447, Part of Lot 6 on DP875446,  
Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
& Part of Lot 2 on DP819015  
PARISH OF CUDGEN  
COUNTY OF ROUS

CLIENT  
**PROJECT 28**  
PTY LTD



0 5 10 15 20 25m  
Scale 1500 - A1 1:1000 - A3

ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	

A	08-03-11	STATE AUTHORITY ISSUE
PRI	DATE	AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2008. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
**LANDSURV Pty. Ltd.**  
14 Enid St,  
TWEED HEADS NSW 2486  
Ph. (07) 55307055



DRAWING TITLE  
**BULK EARTHWORKS**  
**CUTFILL PLAN**  
**SHEET 02**



MUS Pty Ltd T/As  
Mortons-Urban Solutions  
ABN 39 116 375 065  
mortons@urbansolutions.net.au  
www.urbansolutions.net.au  
Tel 07 5571 1099  
Fax 07 5571 1088

Postal Address  
PO Box 2484  
Southport QLD 4215  
Gold Coast Office  
Suite 9, 19 Shari St  
Southport QLD 4215

DESIGNED RB	DRAWN BL	DATE 30-11-10
DRAWING NUMBER <b>12301-EWB-031</b>		AMEND. <b>A</b>

\publicat\client\12301 - Kings Forest\balance (web)\kings forest\balance (web)\12301-EWB-031.dwg, 08/12/2011 7:54:49 AM, 1:2



PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



0 5 10 15 20 25m  
 Scale 1500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	

PRE DATE	AMENDMENT
A	08-03-11 STATE AUTHORITY ISSUE

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2008. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
**LANDSURV Pty. Ltd.**  
 14 Enid St.,  
 TWEED HEADS NSW 2486  
 Ph. (07) 55367065



DRAWING TITLE  
**BULK EARTHWORKS CUTFILL PLAN SHEET 03**

MUS Pty Ltd 1/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 045  
 www.urbandsolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088

Postal Address  
 PO Box 2484  
 Southport QLD 4215

Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

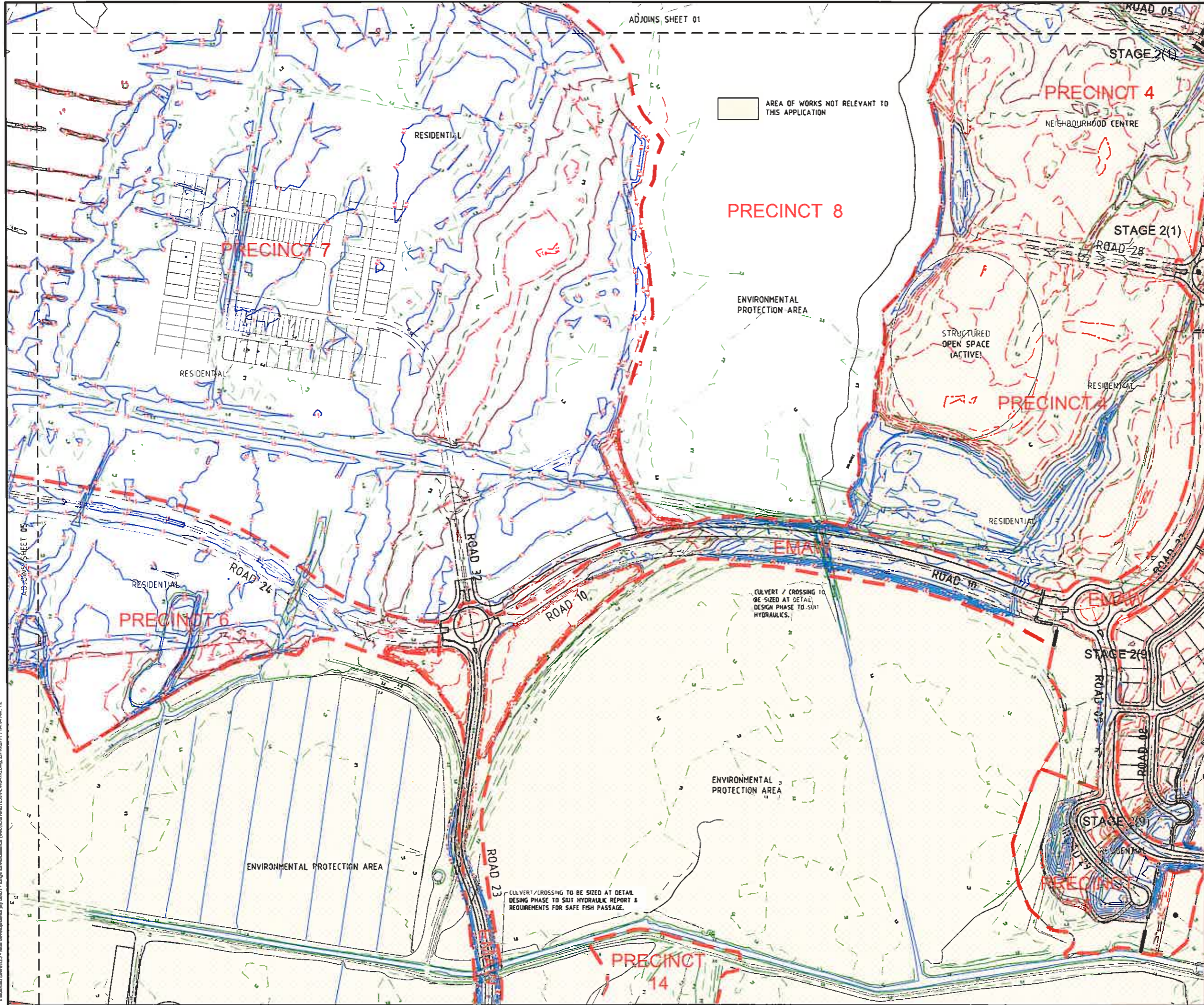
DESIGNED RB	DRAWN BL
APPROVED	DATE 30-11-10
DRAWING NUMBER <b>12301-EWB-032</b>	REVISION <b>A</b>

ADJOINS SHEET 02

12 DP1086837

ADJOINS SHEET 06

I:\national client\12301 - Kings Forest\balance (env)\Current\12301-EWB-032.dwg, 08/10/2011 7:54:02 AM, 1:2



PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11

REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDDEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**

NORTH

0 5 10 15 20 25m  
 Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	

REV	DATE	DESCRIPTION
B	26-08-11	EARTHWORKS REVISED
A	08-03-11	STATE AUTHORITY ISSUE

PREPARED BY: [Blank] AMENDMENT: [Blank]

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2008. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
**LANDSURV Pty. Ltd.**  
 14 Enid St.,  
 TWEED HEADS NSW 2485  
 Ph. (07) 55367055

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
**BULK EARTHWORKS  
 CUTFILL PLAN  
 SHEET 04**

**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

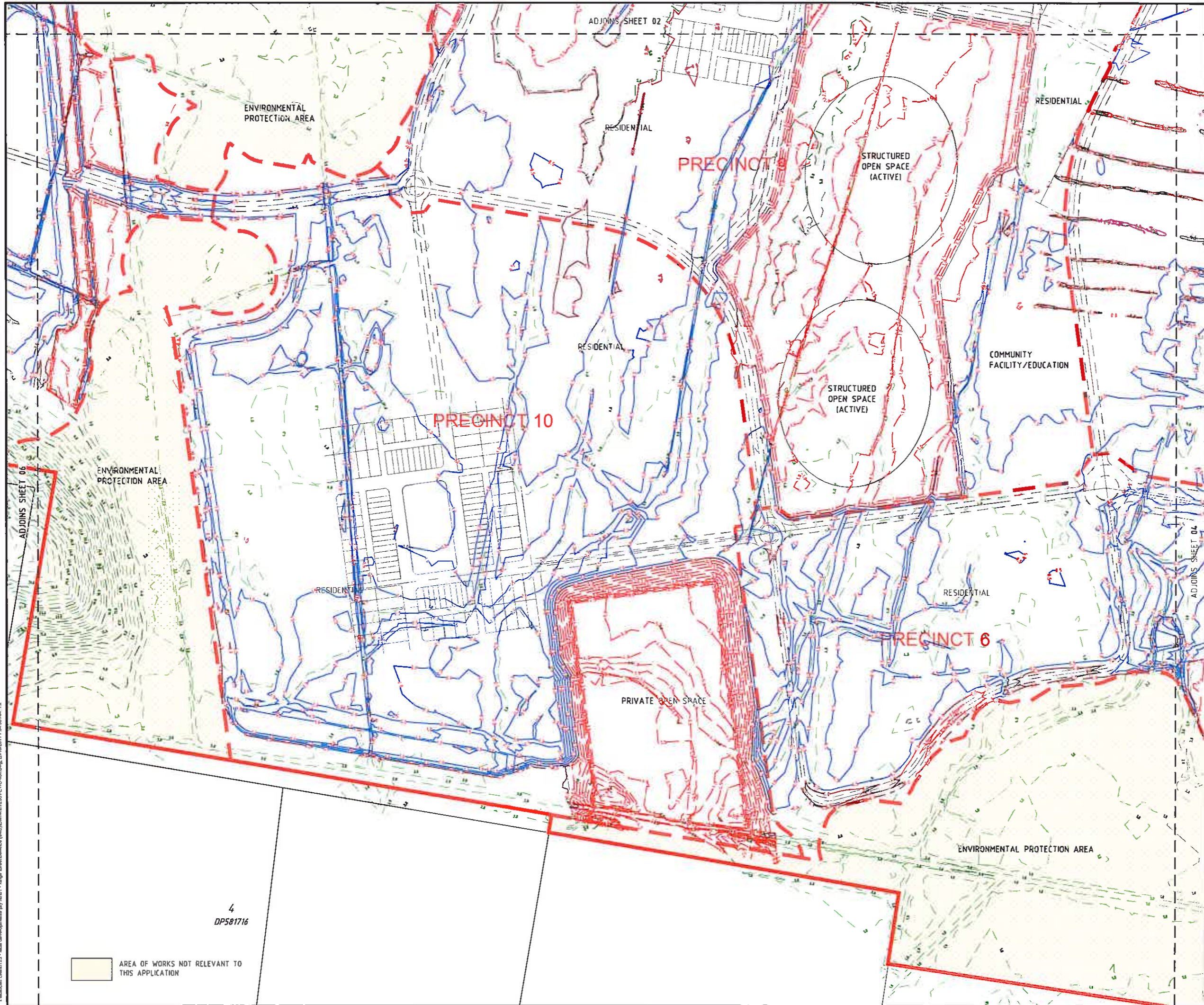
MUS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088

Postal Address  
 PO Box 2484  
 Southport QLD 4215

Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

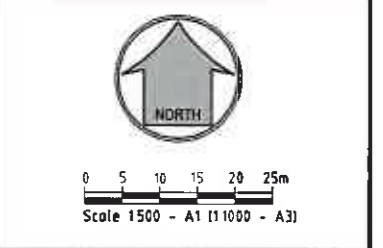
DESIGNED BY	DRAWN BY
APPROVED	DATE 30-11-10
DRAWING NUMBER <b>12301-EWB-033</b>	AMEND. <b>B</b>

E:\projects\clients\12301 - Kings Forest\balance (ewb)\Current\12301 EWB 04.dwg, 2011/02/11 7:54:06 AM, 1:2



PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	

PRE DATE	AMENDMENT
A	08-03-11 STATE AUTHORITY ISSUE

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2000. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
**LANDSURV Pty. Ltd.**  
 14 Ernd St,  
 TWEED HEADS NSW 2486  
 Ph. (07) 55387056

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
**BULK EARTHWORKS  
 CUTFILL PLAN  
 SHEET 05**

**MORTONS**  
**urbansolutions**  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088

Postal Address  
 PO Box 2484  
 Southport QLD 4215

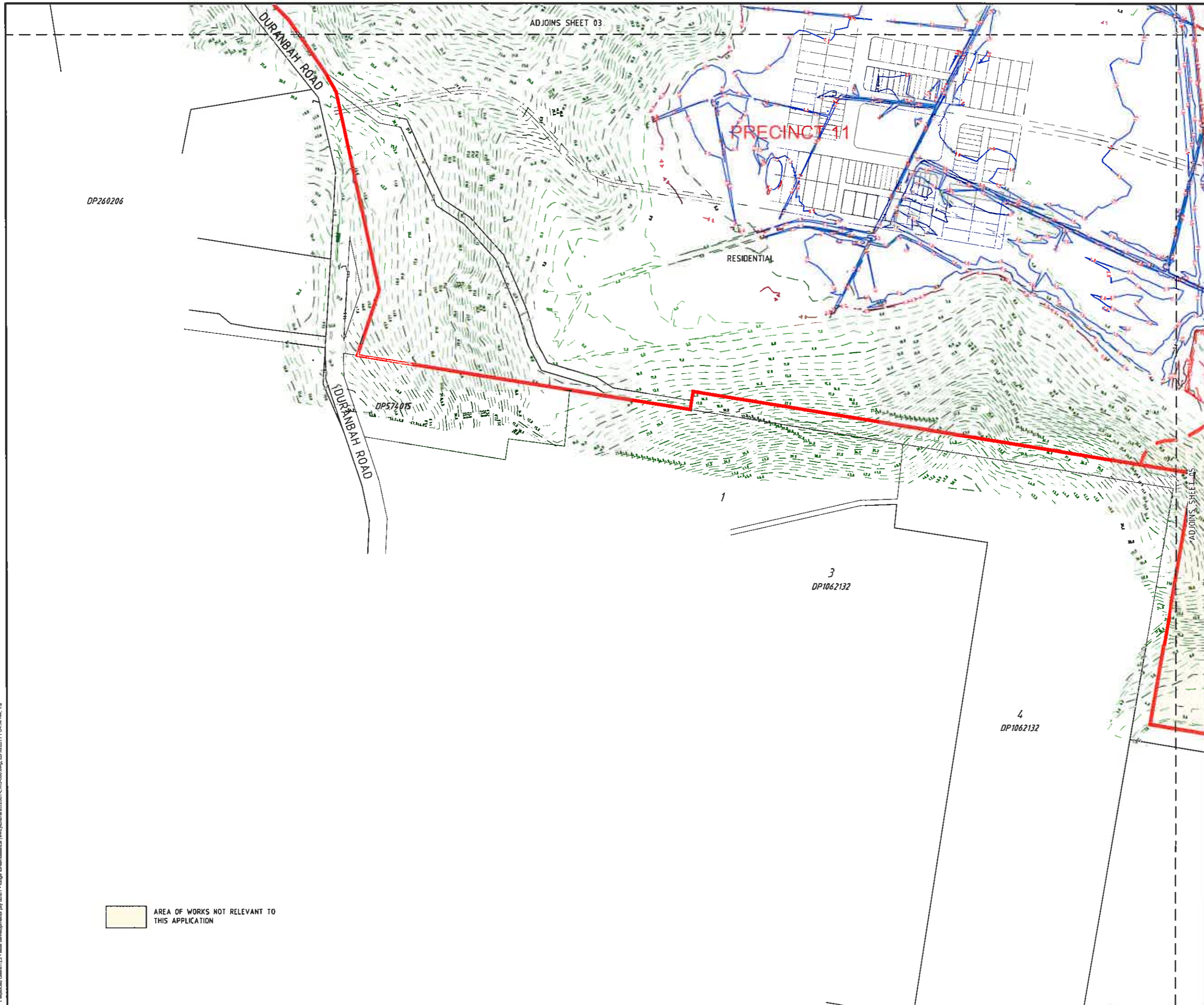
Gold Coast Office  
 Suite 9, 19 Shore St  
 Southport QLD 4215

DESIGNED RB	DRAWN BL
APPROVED	DATE 30-11-10
DRAWING NUMBER <b>12301-EWB-034</b>	REVISED <b>A</b>

Mortons Urban Solutions Pty Ltd - 1 Kings Forest Balance (web) - 12301-EWB-034.dwg, 30/11/2010 11:54:00 AM, 1:2

4  
 DP581716

AREA OF WORKS NOT RELEVANT TO THIS APPLICATION



AREA OF WORKS NOT RELEVANT TO THIS APPLICATION

PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



0 5 10 15 20 25m  
 Scale 1500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	

ISSUES	DATE
A	08-03-11 STATE AUTHORITY ISSUE
PRE DATE	AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2010. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
**LANDSURV Pty. Ltd.**  
 14 Erind St.  
 TWEED HEADS NSW 2486  
 Ph. (07) 55367006



DRAWING TITLE  
**BULK EARTHWORKS  
 CUTFILL PLAN  
 SHEET 06**

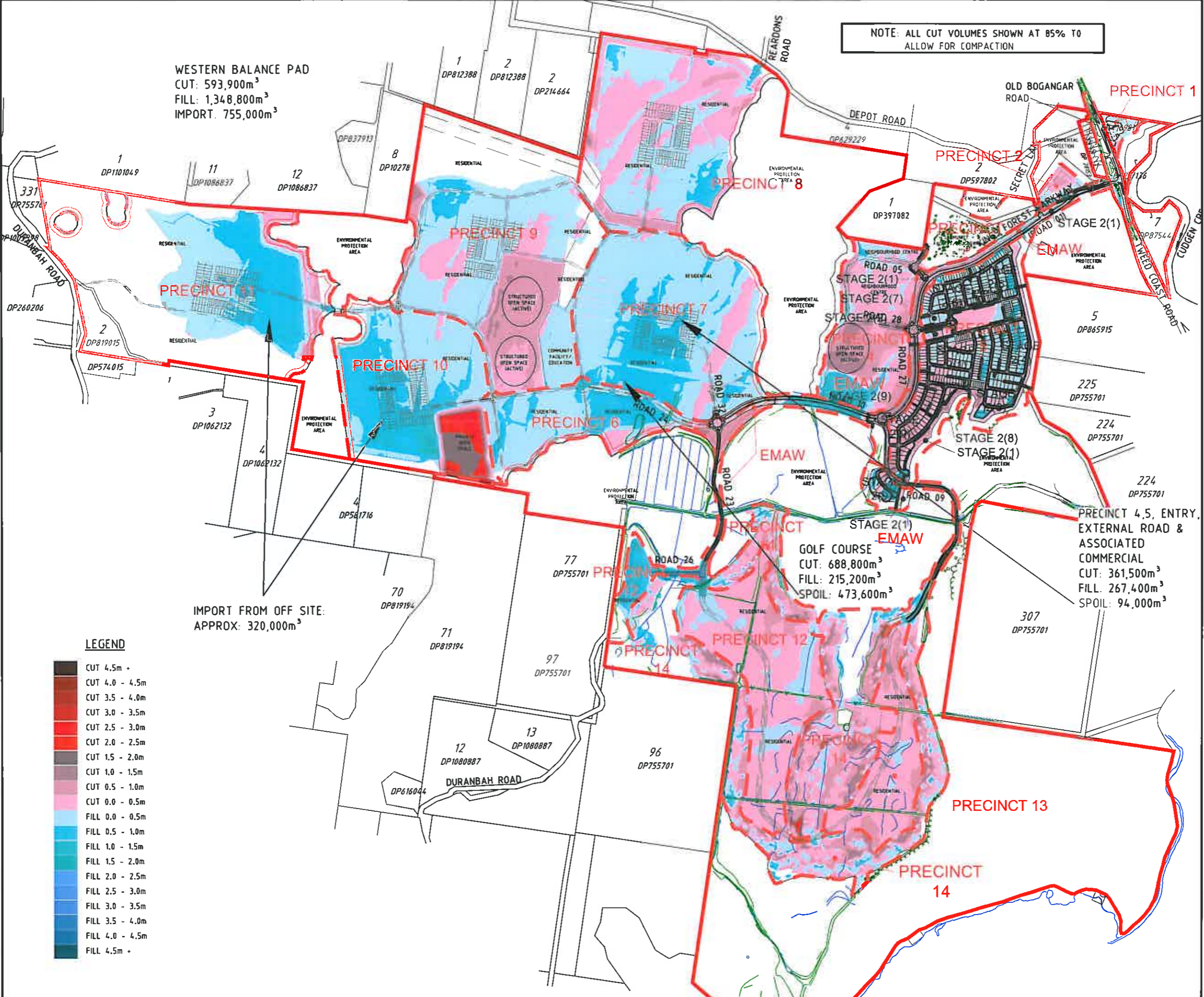
**MORTONS urban solutions**  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MJS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088

Postal Address  
 PO Box 2484  
 Southport QLD 4215  
 Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED RB	DRAWN BL
APPROVED	DATE 30-11-10
DRAWING NUMBER <b>12301-EWB-035</b>	REVISED <b>A</b>

I:\projects\client\123 - Kings Forest\balance (ewb)\current\12301-EWB-035.dwg, 2010/11/17 8:49 AM, 1:2



WESTERN BALANCE PAD  
 CUT: 593,900m<sup>3</sup>  
 FILL: 1,348,800m<sup>3</sup>  
 IMPORT: 755,000m<sup>3</sup>

NOTE: ALL CUT VOLUMES SHOWN AT 85% TO ALLOW FOR COMPACTION

IMPORT FROM OFF SITE:  
 APPROX: 320,000m<sup>3</sup>

**LEGEND**

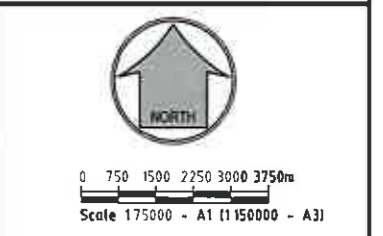
CUT 4.5m +
CUT 4.0 - 4.5m
CUT 3.5 - 4.0m
CUT 3.0 - 3.5m
CUT 2.5 - 3.0m
CUT 2.0 - 2.5m
CUT 1.5 - 2.0m
CUT 1.0 - 1.5m
CUT 0.5 - 1.0m
CUT 0.0 - 0.5m
FILL 0.0 - 0.5m
FILL 0.5 - 1.0m
FILL 1.0 - 1.5m
FILL 1.5 - 2.0m
FILL 2.0 - 2.5m
FILL 2.5 - 3.0m
FILL 3.0 - 3.5m
FILL 3.5 - 4.0m
FILL 4.0 - 4.5m
FILL 4.5m +

PRECINCT 4,5, ENTRY, EXTERNAL ROAD & ASSOCIATED COMMERCIAL  
 CUT: 361,500m<sup>3</sup>  
 FILL: 267,400m<sup>3</sup>  
 SPOIL: 94,000m<sup>3</sup>

GOLF COURSE  
 CUT: 688,800m<sup>3</sup>  
 FILL: 215,200m<sup>3</sup>  
 SPOIL: 473,600m<sup>3</sup>

PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	

A	88-03-11	CORRECT ISSUE
PRE DATE		AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2000. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
 LANDSURV Pty. Ltd.  
 14 Enid St,  
 Tweed Heads NSW 2486  
 Ph. (07) 55367055

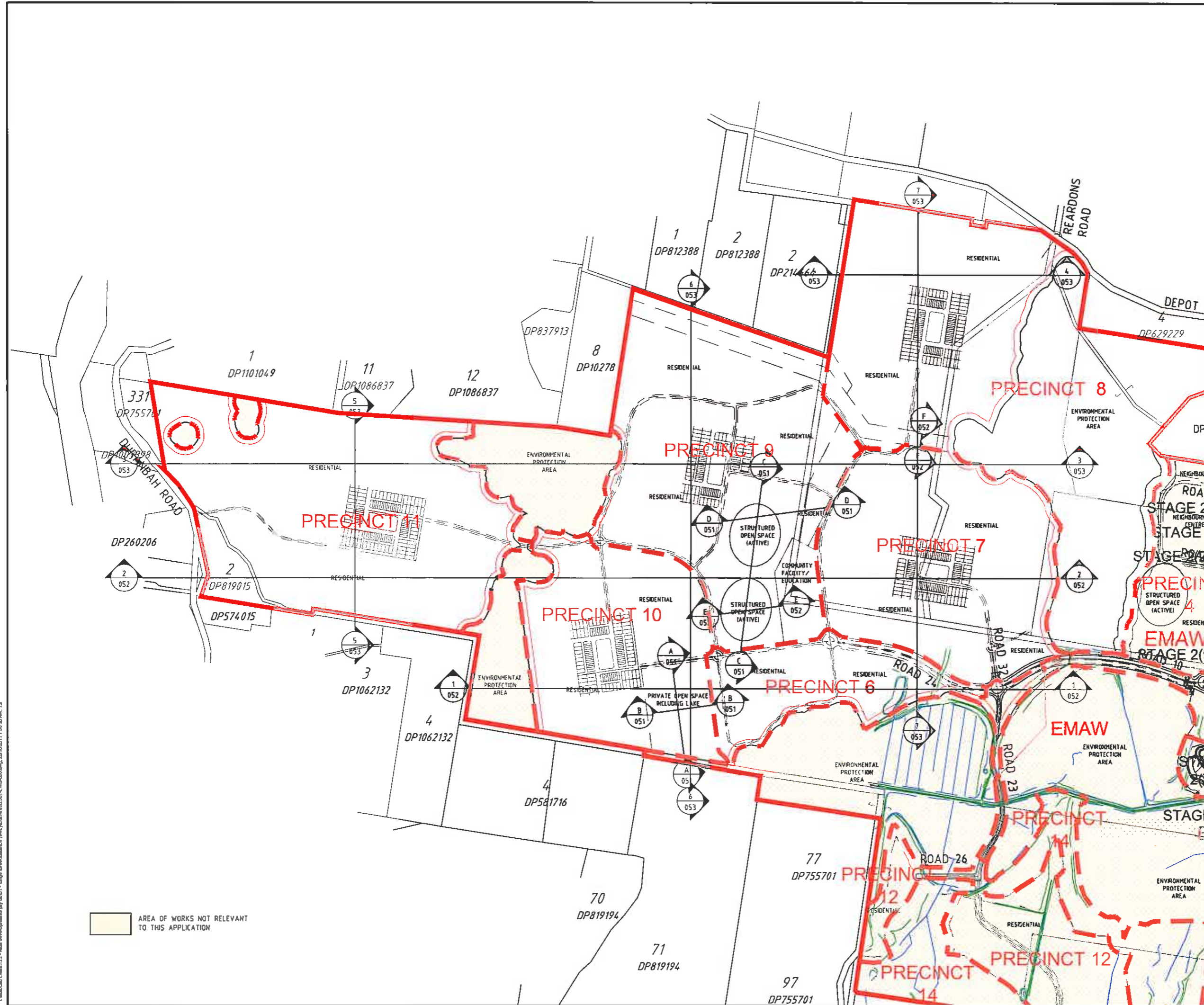
**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE

BULK EARTHWORKS  
 CUT/FILL AREAS

**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination  
 MJS Pty Ltd T/As Postal Address  
 Mortons-Urban Solutions PO Box 2484  
 ABN 39 116 375 065 Southport QLD 4215  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099 Gold Coast Office  
 Fax 07 5571 1088 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED RB	DRAWN BL
APPROVED	DATE 30-11-10
DRAWING NUMBER 12301-ALL-040	AMEND. A



AREA OF WORKS NOT RELEVANT TO THIS APPLICATION

PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



0 75 150 225 300 375m  
 Scale 1:7500 - A1 (1:15000 - A3)

ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	

PRE DATE	AMENDMENT
A	08-03-11 STATE AUTHORITY ISSUE

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2008. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
 LANDSURV Pty. Ltd.  
 14 End St,  
 TWEED HEADS NSW 2485  
 Ph. (07) 55387065

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE

BULK EARTHWORKS  
 SECTIONS KEY PLAN

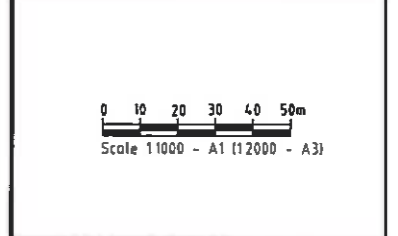
**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination  
 MJS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088  
 Postal Address  
 PO Box 2484  
 Southport QLD 4215  
 Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED RB	DRAWN EL
APPROVED	DATE 30-11-10
DRAWING NUMBER 12301-EWB-050	
REVISED A	

I:\national client\123 - Kings Forest\balance\p1\001 - Kings Forest\balance\p1\001.dwg, 2010/11/17 9:56:06 AM, 1:8

PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781833, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



ISSUES	DATE
TENDER	
STATE AUTHORITY	88-03-11
CONSTRUCTION	

A	88-03-11	STATE AUTHORITY ISSUE
PRE DATE		AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2000. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
 LANDSURV Pty. Ltd.  
 14 Enid St,  
 TWEED HEADS NSW 2485  
 Ph. (07) 55387055

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
**BULK EARTHWORKS  
 LONGITUDINAL SECTIONS  
 SHEET 01**

**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 www.mortonsurbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088

Postal Address  
 PO Box 2484  
 Southport QLD 4215

Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED	RB	DRAWN	EL
APPROVED		DATE	30-11-10
DRAWING NUMBER			AREA
12301-EWB-051			A

DATUM -7.0	FINISHED SURFACE	EXISTING SURFACE	CHAINAGE
	4.807	3.853	0
	4.782	4.598	20
	4.757	4.995	40
	3	5.022	60
	3.035	5.019	80
	3.218	5.002	100
	3.275	4.923	120
	3.324	4.533	140
	3.353	4.932	160
	3.307	4.873	180
	3.237	4.648	200
	3.165	4.524	220
	3.011	4.285	240
	3.012	4.534	260
	3.009	4.782	280
	3.004	4.701	300
	4.432	4.732	320
	3.878	3.878	340
	3.765	3.765	360
	3.876	3.876	380
	4.287	4.287	400
	4.748	4.356	420
	4.747	4.284	440
	4.746	4.454	460
	4.746	4.687	480

**LONGITUDINAL SECTION D**  
 Horizontal scale 1:1000  
 Vertical scale 1:1000

DATUM -7.0	FINISHED SURFACE	EXISTING SURFACE	CHAINAGE
	4.873	4.971	0
	4.79	4.945	20
	4.756	4.805	40
	3.001	4.786	60
	3.004	4.741	80
	3.007	4.71	100
	3.007	4.762	120
	3.219	4.721	140
	3.314	4.85	160
	3.504	4.874	180
	3.597	4.856	200
	3.599	4.812	220
	3.501	4.774	240
	3.409	4.703	260
	3.315	4.62	280
	3.222	4.612	300
	3.025	4.513	320
	3.018	4.526	340
	3.168	4.493	360
	3.261	4.319	380
	3.355	4.367	400
	3.449	4.258	420
	3.543	4.334	440
	3.641	4.26	460
	3.559	4.118	480
	3.465	4.082	500
	3.369	4.011	520
	3.274	3.917	540
	3.179	3.961	560

**LONGITUDINAL SECTION C**  
 Horizontal scale 1:1000  
 Vertical scale 1:1000

DATUM -12.0	FINISHED SURFACE	EXISTING SURFACE	CHAINAGE
	4.598	1.312	0
	4.578	1.54	20
	1.955	1.566	40
	-2	1.646	60
	-2	1.64	80
	-2	1.647	100
	-2	1.62	120
	-2	0.916	140
	-2	1.643	160
	-2	2.473	180
	-2	3.304	200
	-0.995	3.589	220
	2.836	3.752	240
	4.385	3.75	260
	4.156	3.555	280
	4.782	2.688	300
	4.782	2.633	309.371

**LONGITUDINAL SECTION B**  
 Horizontal scale 1:1000  
 Vertical scale 1:1000

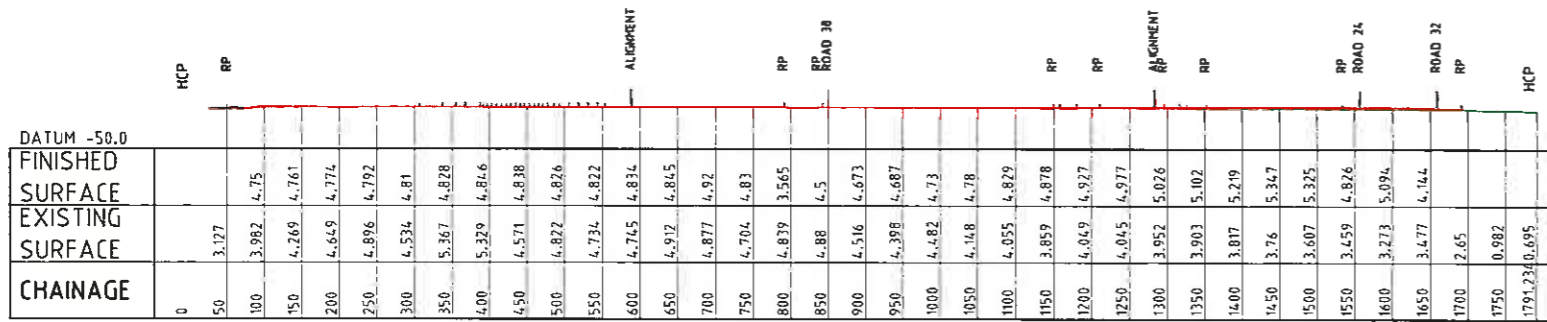
DATUM -12.0	FINISHED SURFACE	EXISTING SURFACE	CHAINAGE
	4.544	2.647	0
	4.525	3.531	20
	4.249	3.45	40
	0.916	3.3	60
	-2	3.203	80
	-2	3.187	100
	-2	2.81	120
	-2	2.289	140
	-2	1.406	160
	-2	1.388	180
	-2	1.594	200
	-2	1.538	220
	-2	1.554	240
	-2	1.622	260
	-2	1.62	280
	-2	1.737	300
	-2	1.891	320
	-2		340
	-2		360
	-2		380
	-2		400
	-2		400.285

**LONGITUDINAL SECTION A**  
 Horizontal scale 1:1000  
 Vertical scale 1:1000

C:\naidoc\clients\12301 - Kings Forest\Balance (ewb)\Drawings\12301 EWB-051.dwg, 2010/11/11 7:46:56 AM, 1:2

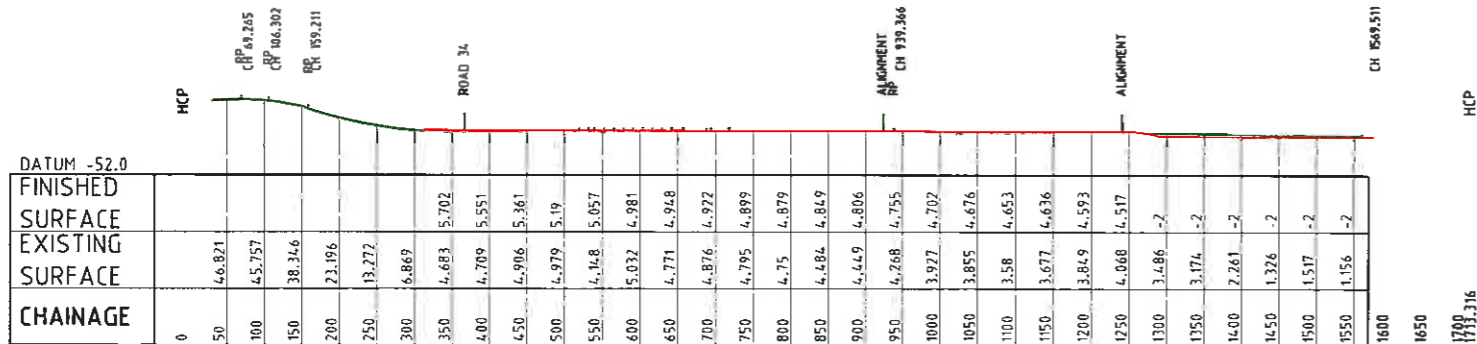


F:\morton\allm123 - lula developments\p12011 - Kings Forest\balance (new)\C:\Users\l2001-E-WB\Documents\2019020117.66.08.AM.1.2



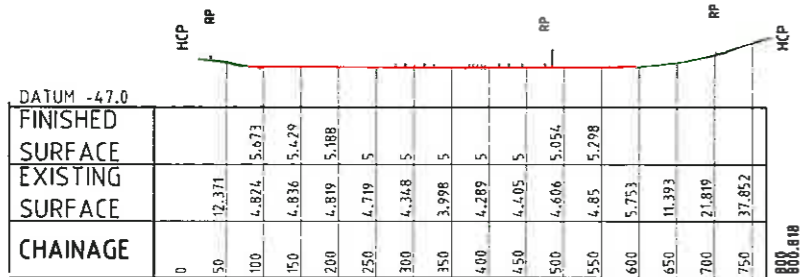
LONGITUDINAL SECTION 7

Horizontal scale 15000  
Vertical scale 15000



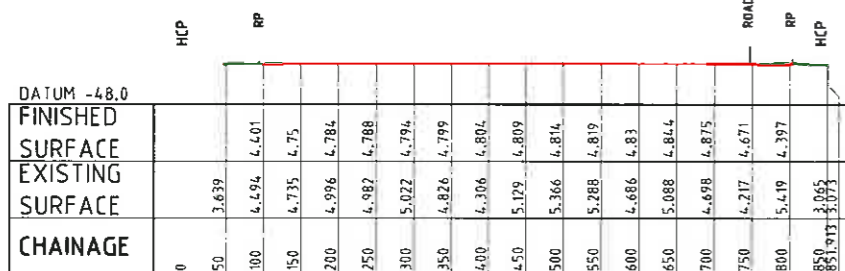
LONGITUDINAL SECTION 6

Horizontal scale 15000  
Vertical scale 15000



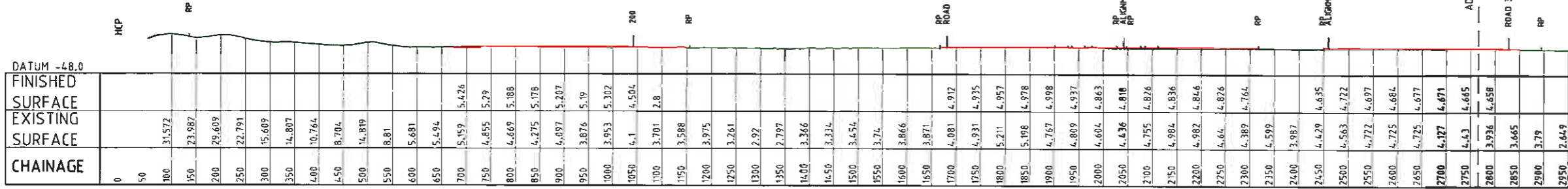
LONGITUDINAL SECTION 5

Horizontal scale 15000  
Vertical scale 15000



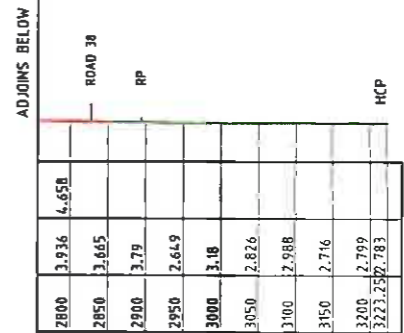
LONGITUDINAL SECTION 4

Horizontal scale 15000  
Vertical scale 15000



LONGITUDINAL SECTION 3

Horizontal scale 15000  
Vertical scale 15000



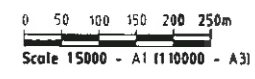
LONGITUDINAL SECTION 3 (Cont.)

Horizontal scale 15000  
Vertical scale 15000

PROJECT NAME  
**KINGS FOREST**  
BULK EARTHWORKS  
BALANCE-PRECINCTS 06 to 11

REAL PROPERTY DESCRIPTION  
Lot 7 on DP875447, Part of Lot 6 on DP875446,  
Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
& Part of Lot 2 on DP819015  
PARISH OF CUJEN  
COUNTY OF ROUS

CLIENT  
**PROJECT 28  
PTY LTD**



ISSUES	DATE
TENDER	
STATE AUTHORITY	08-03-11
CONSTRUCTION	
A	08-03-11 STATE AUTHORITY ISSUE
PRI	DATE AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2006. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
**LANDSURV Pty. Ltd.**  
14 Ernd St,  
TWEED HEADS NSW 2486  
Ph. (07) 65307055

**GILBERT+SUTHERLAND**  
agricultural and environmental scientists

DRAWING TITLE

**BULK EARTHWORKS  
LONGITUDINAL SECTIONS  
SHEET 03**

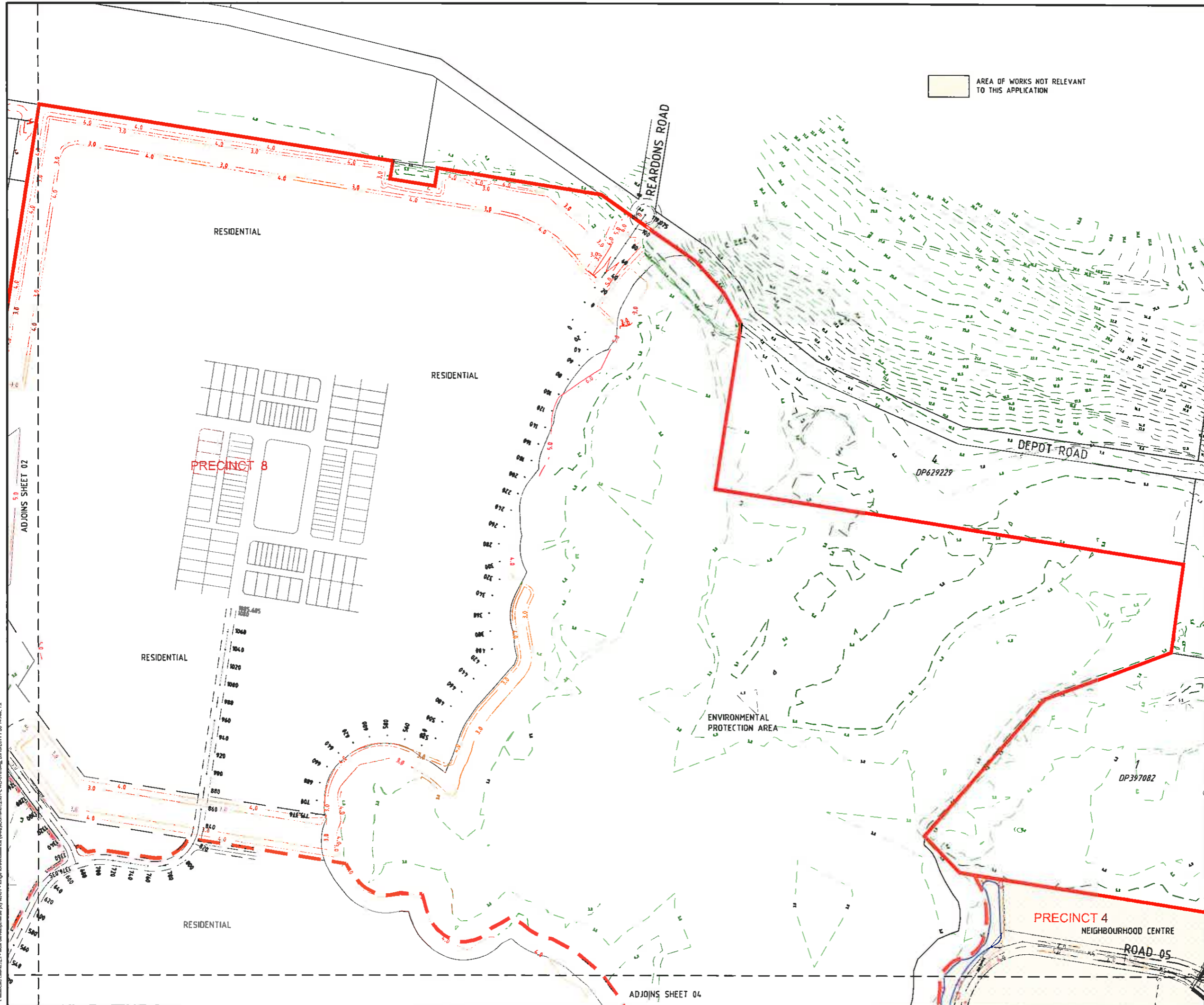
**MORTONS**  
urbansolutions  
Urban & Regional Planning  
Civil Engineering  
Project Coordination

MUS Pty Ltd T/A  
Mortons-Urban Solutions  
ABN 39 116 375 045  
www.urbansolutions.net.au  
Tel 07 5571 1099  
Fax 07 5571 1088

Postal Address  
PO Box 2484  
Southport QLD 4215

Gold Coast Office  
Suite 9, 19 Short St  
Southport QLD 4215

DESIGNED	RB	DRAWN	EL
APPROVED		DATE	30-11-10
DRAWING NUMBER		AMEND.	
12301-EWB-053		A	



AREA OF WORKS NOT RELEVANT TO THIS APPLICATION

PROJECT NAME  
**KINGS FOREST**

BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11

REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28  
 PTY LTD**



0 20 40 60 80 100m  
 Scale 12000 - A1 (14000 - A3)

ISSUES	DATE
TENDER	
STATE AUTHORITY	27-06-11
CONSTRUCTION	

PRE DATE	AMENDMENT
B 26-06-11	EARTHWORKS REVISED
A 27-06-11	STATE AUTHORITY ISSUE

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2000. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
**LANDSURV Pty. Ltd.**  
 14 Enid St.,  
 TWEED HEADS NSW 2486  
 Ph. (07) 55367065

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
  
**FINISHED SURFACE  
 PLAN  
 SHEET 01**

**MORTONS**  
 urban solutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088

Postal Address  
 PO Box 2484  
 Southport QLD 4215  
 Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED RB	DRAWN BL
APPROVED	DATE 27-06-11
DRAWING NUMBER <b>12301-EWB-070</b>	AMEND. <b>B</b>

I:\mccard\civil\12301-urban-solutions\12301-EWB-070.dwg, 2011/06/14 11:27:50 AM, 1:2  
 P:\mccard\civil\12301-urban-solutions\12301-EWB-070.dwg, 2011/06/14 11:27:50 AM, 1:2

AREA OF WORKS NOT RELEVANT TO THIS APPLICATION

# KINGS FOREST

## BULK EARTHWORKS BALANCE-PRECINCTS 06 to 11

**REAL PROPERTY DESCRIPTION**  
Lot 7 on DP875447, Part of Lot 6 on DP875446,  
Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
& Part of Lot 2 on DP819015  
PARISH OF CUDGEN  
COUNTY OF ROUS

**CLIENT**  
**PROJECT 28  
PTY LTD**



0 20 40 60 80 100m  
Scale 1:2000 - A1 (1:4000 - A3)

ISSUES	DATE
TENDER	
STATE AUTHORITY	27-04-11
CONSTRUCTION	

PRE	DATE	AMENDMENT
A	27-04-11	STATE AUTHORITY ISSUE

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2011. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

**ASSOCIATED CONSULTANTS**  
**LANDSURV Pty. Ltd.**  
14 Enid St.,  
TWEED HEADS NSW 2485  
Ph. (07) 55307055

**GILBERT+SUTHERLAND**  
agricultural and environmental scientists

**DRAWING TITLE**

**FINISHED SURFACE  
PLAN  
SHEET 02**

**MORTONS**  
**urbansolutions**  
Urban & Regional Planning  
Civil Engineering  
Project Coordination

MUS Pty Ltd T/Ae  
Mortons-Urban Solutions  
ABN 39 116 375 045  
www.urbansolutions.net.au  
Tel 07 5571 1099  
Fax 07 5571 1088

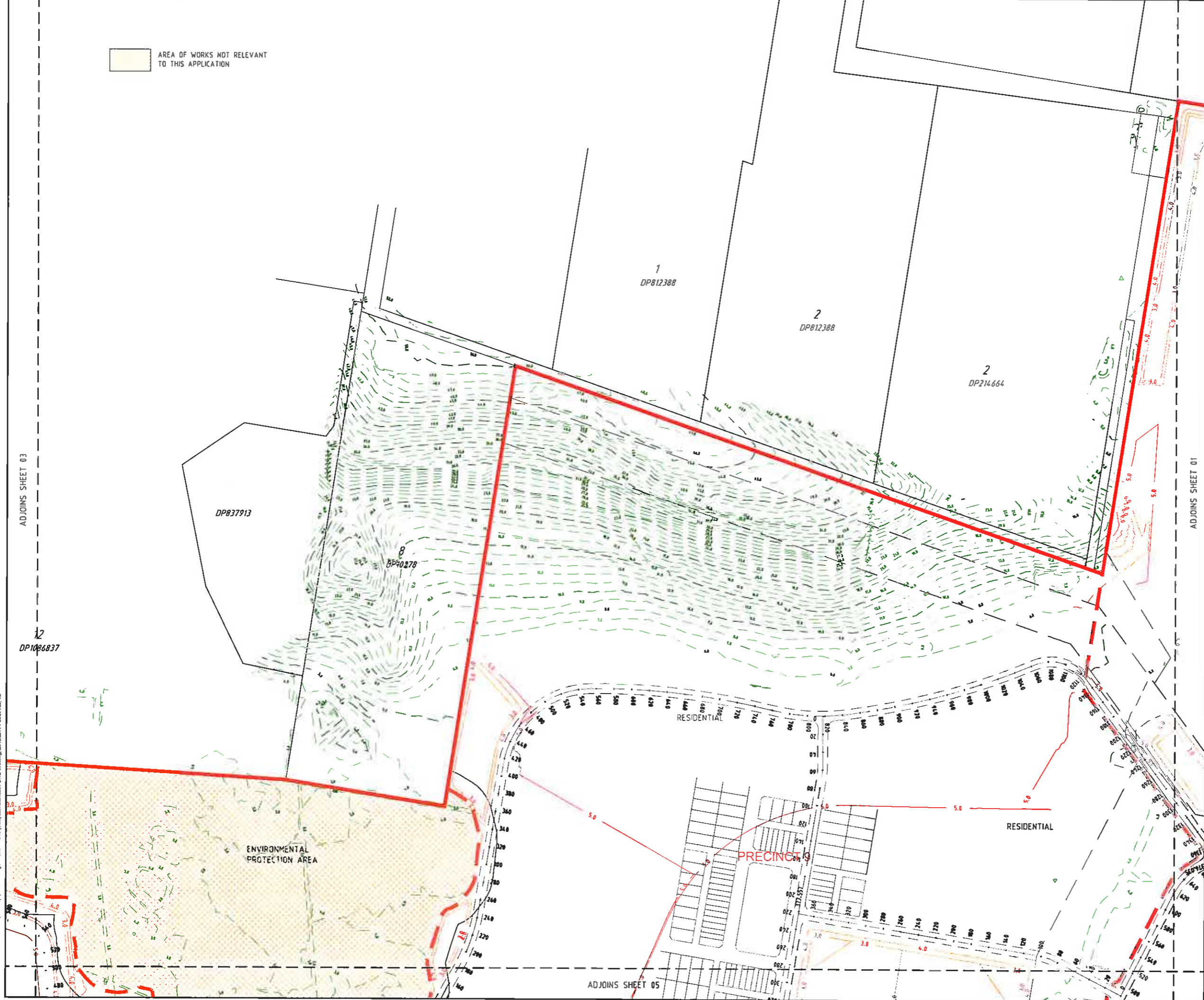
Postal Address  
PO Box 2484  
Southport QLD 4215

Gold Coast Office  
Suite 9, 19 Short St  
Southport QLD 4215

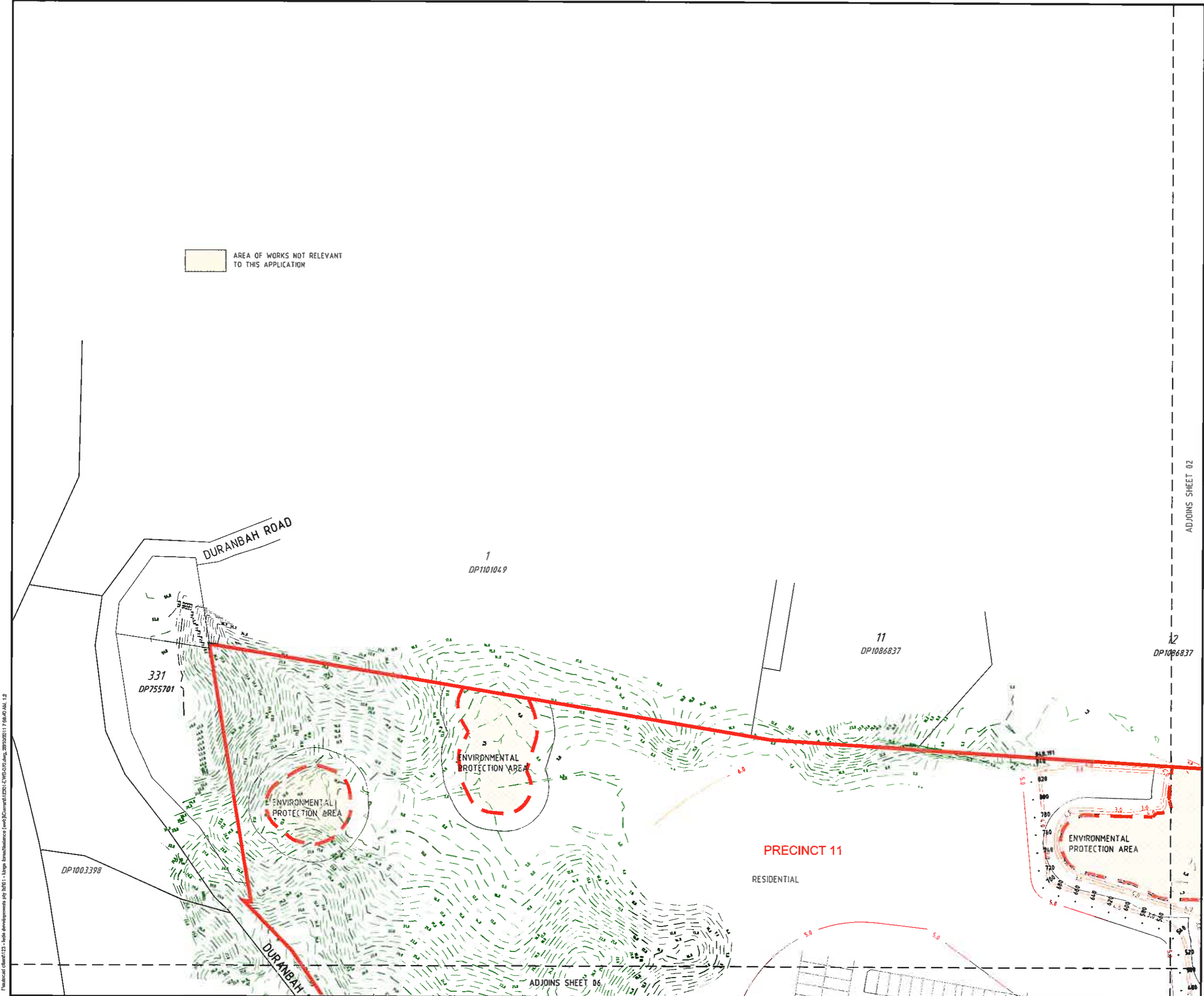
DESIGNED RB	DRAWN BL
APPROVED	DATE 27-06-11

DRAWING NUMBER  
**12301-EWB-071**

AREA  
**A**



\\morton\cudgen\12301-EWB-071\Map\_28\12301-071.dwg, 28/06/2011 7:58:37 AM, L2



Plainsurf client123 - Info developments page 12011 - Large Environment (web) | Downloaded: E:\WB-070.dwg, 20170201 17:56:40 JAL, 1:2

PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11

REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP619015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28  
 PTY LTD**



Scale 12000 - A1 (14000 - A3)  
 0 20 40 60 80 100m

ISSUES	DATE
TENDER	
STATE AUTHORITY	27-06-11
CONSTRUCTION	

PRE DATE	AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2008. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
 LANDSURV Pty. Ltd.  
 14 Enid St,  
 TWEED HEADS NSW 2486  
 Ph. (07) 55307056

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
 FINISHED SURFACE  
 PLAN  
 SHEET 03

**MORTONS**  
 urban solutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/Aa  
 Mortons-Urban Solutions  
 ABN 39 16 375 045  
 www.urban-solutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1088

Postal Address  
 PO Box 2484  
 Southport QLD 4215

Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED RB	DRAWN BL
APPROVED	DATE 27-06-11
DRAWING NUMBER <b>12301-EWB-072</b>	AMEND <b>A</b>

ADJOINS SHEET 02

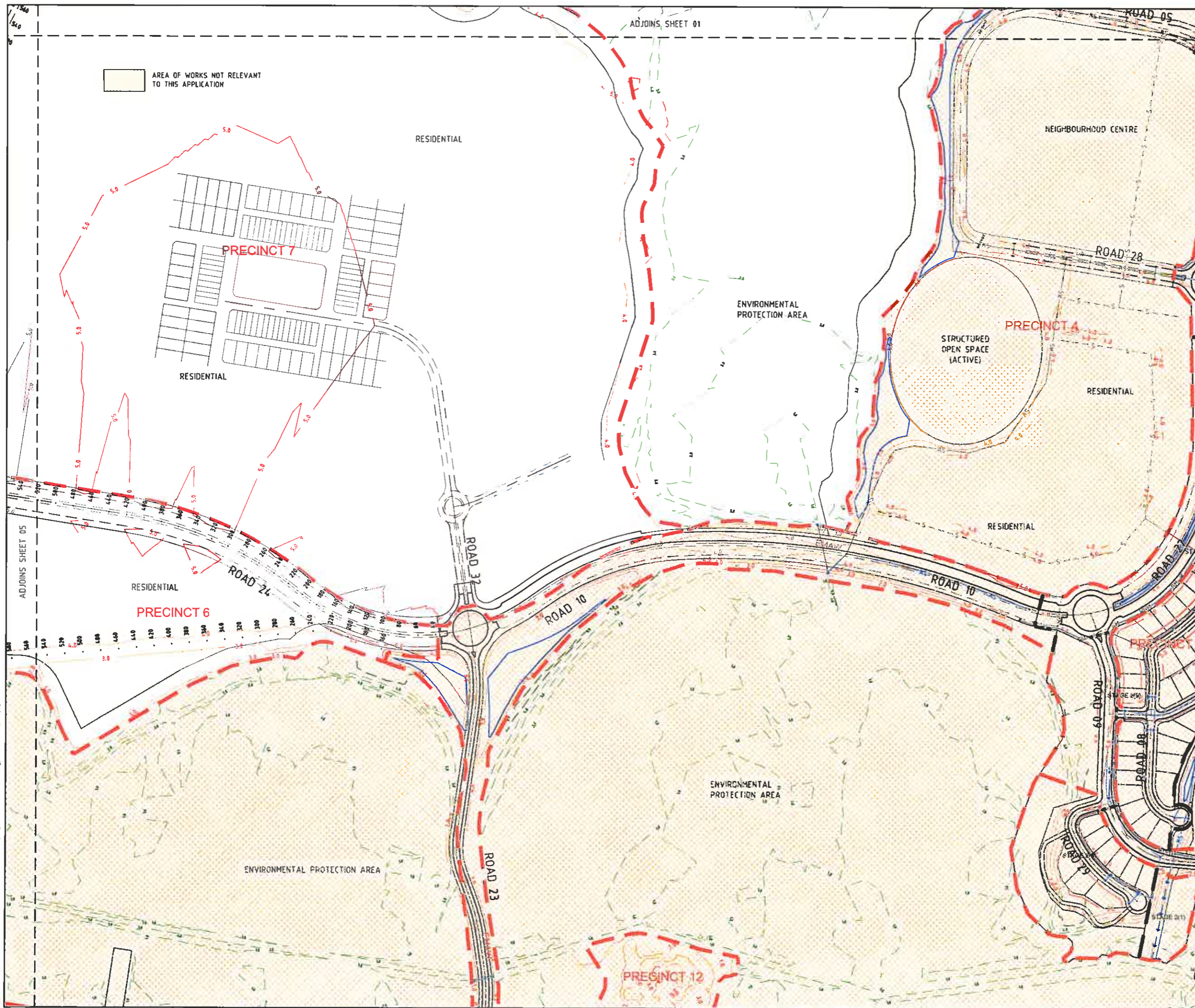
12  
 DP1086837

1  
 DP1101049

11  
 DP1086837

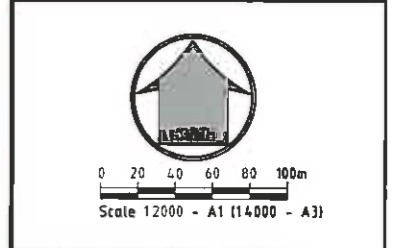
PRECINCT 11  
 RESIDENTIAL

ADJOINS SHEET 06



PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



ISSUES	DATE
TENDER	
STATE AUTHORITY	27-06-11
CONSTRUCTION	

PRE DATE	AMENDMENT
B 24-06-11	EARTHWORKS REVISED
A 27-06-11	STATE AUTHORITY ISSUE

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2000. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
 LANDSURV Pty. Ltd.  
 14 Enid St,  
 TWEED HEADS NSW 2486  
 Ph. (07) 55367065

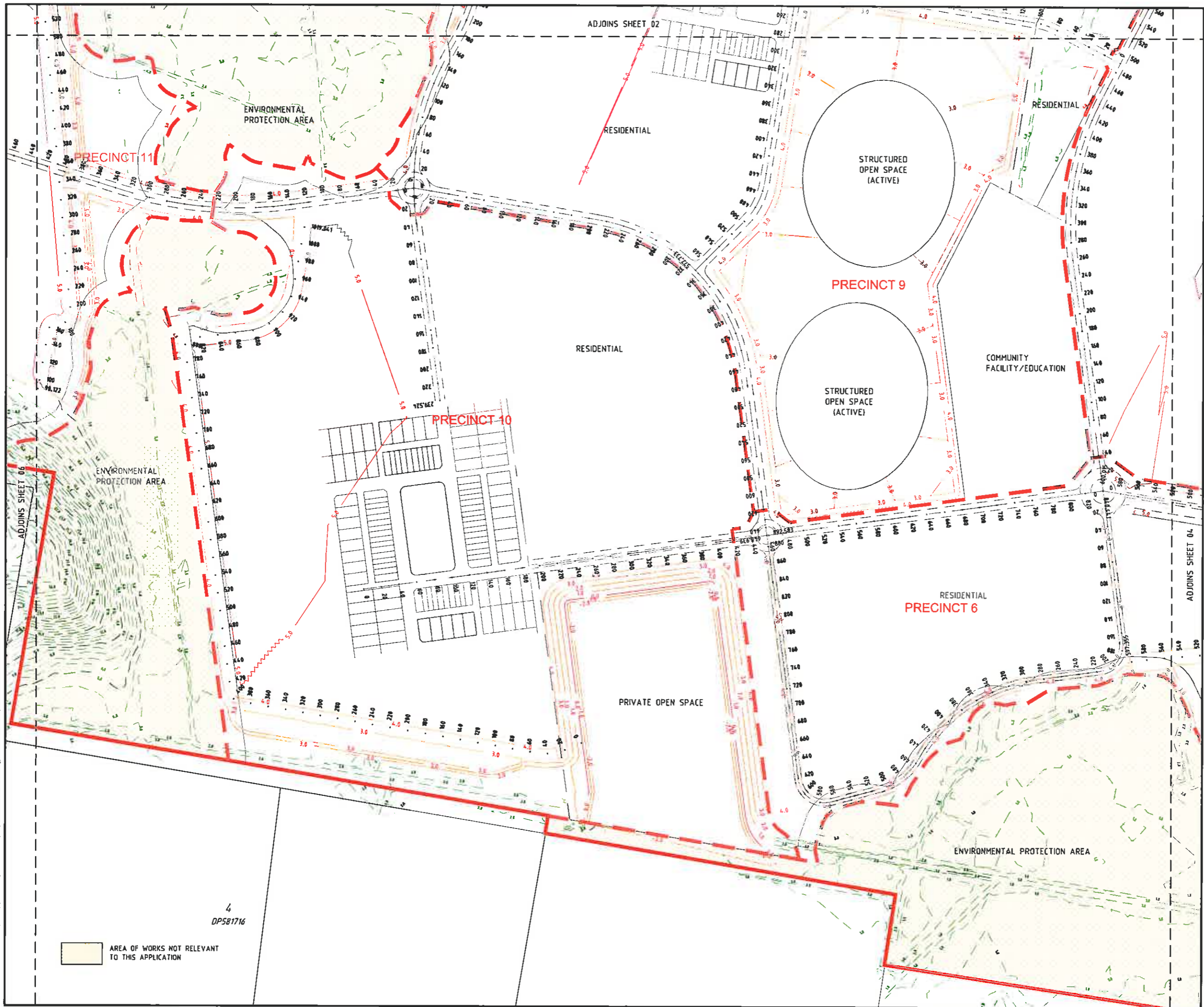
**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
 FINISHED SURFACE  
 PLAN  
 SHEET 04

**MORTONS**  
 urbansolutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination  
 M/S Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1080  
 Postal Address  
 PO Box 2484  
 Southport QLD 4215  
 Gold Coast Office  
 Suite 9, 19 Shore St  
 Southport QLD 4215

DESIGNED RB	DRAWN BL
APPROVED	DATE 27-06-11
DRAWING NUMBER <b>12301-EWB-073</b>	AMEND. <b>B</b>

File: 12301-EWB-073.dwg  
 User: murtos  
 Date: 27/06/2011 11:28:00 AM  
 Plot: 12301-EWB-073.dwg  
 Scale: 1:2000  
 Sheet: 04 of 04



PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDGEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



0 20 40 60 80 100m  
 Scale 1:2000 - A1 (1:4000 - A3)

ISSUES	DATE
TENDER	
STATE AUTHORITY	27-04-11
CONSTRUCTION	

A	27-04-11	STATE AUTHORITY ISSUE
PRE DATE		AMENDMENT

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2008. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
 LANDSURV Pty. Ltd.  
 14 Enid St.,  
 TWEED HEADS NSW 2485  
 Ph. (07) 55307065

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE

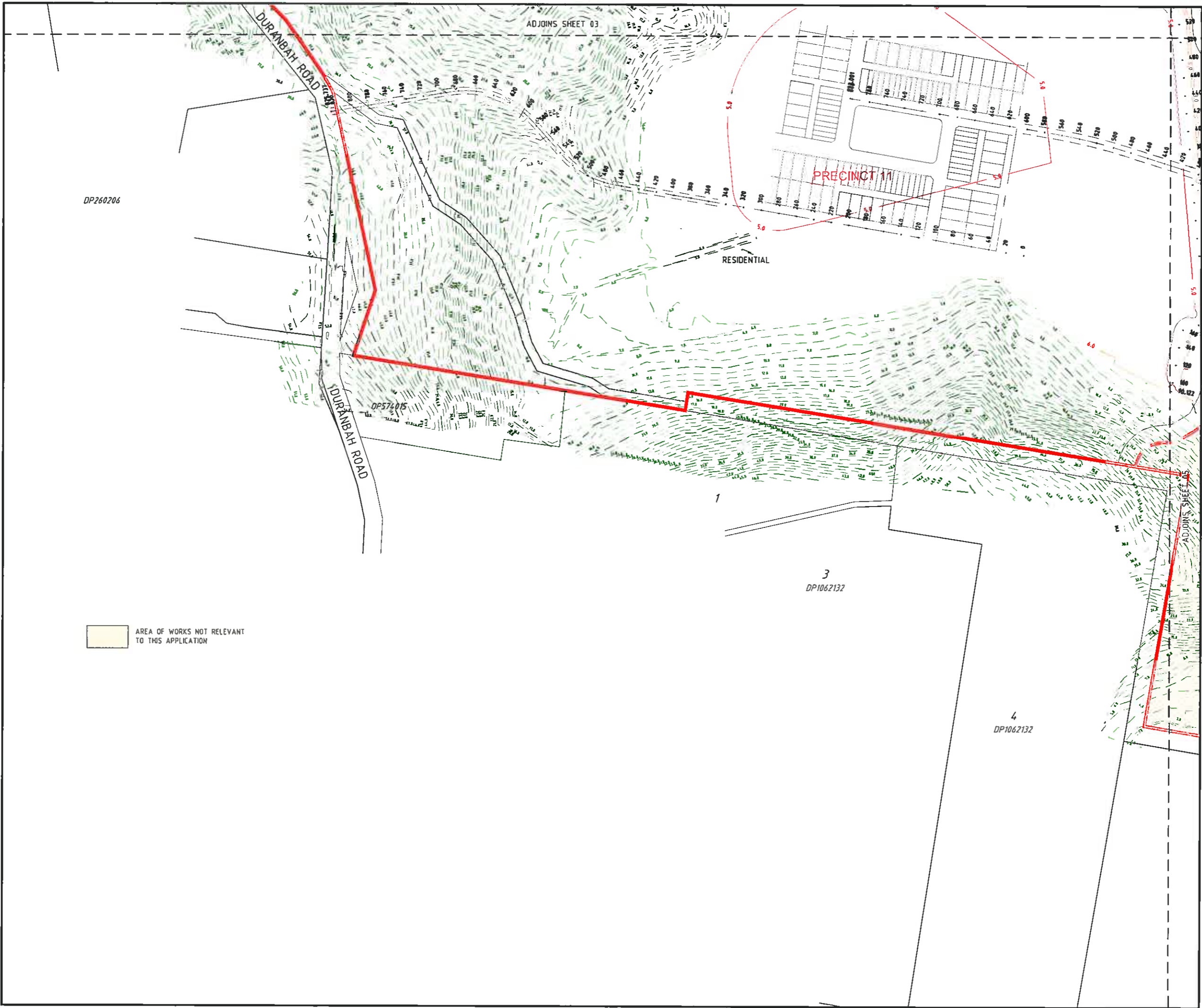
**FINISHED SURFACE  
 PLAN  
 SHEET 05**

**MORTONS**  
 urban solutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination

MUS Pty Ltd T/As  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 mortons@urbansolutions.net.au  
 www.urbansolutions.net.au  
 Tel 07 5571 1099  
 Fax 07 5571 1098

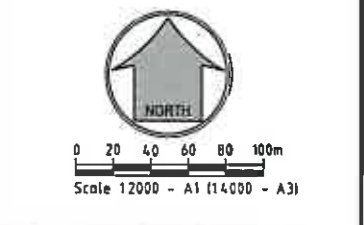
Postal Address  
 PO Box 2484  
 Southport QLD 4215  
 Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215

DESIGNED	RB	DRAWN	BL
APPROVED		DATE	27-06-11
DRAWING NUMBER	12301-EWB-074		AMEND.
			A



PROJECT NAME  
**KINGS FOREST**  
 BULK EARTHWORKS  
 BALANCE-PRECINCTS 06 to 11  
 REAL PROPERTY DESCRIPTION  
 Lot 7 on DP875447, Part of Lot 6 on DP875446,  
 Part of Lot 1 on DP781633, Part of Lot 40 on DP7482  
 & Part of Lot 2 on DP819015  
 PARISH OF CUDDEN  
 COUNTY OF ROUS

CLIENT  
**PROJECT 28 PTY LTD**



ISSUES	DATE
TENDER	
STATE AUTHORITY	27-06-11
CONSTRUCTION	

PRE DATE	AMENDMENT
A	27-06-11 STATE AUTHORITY ISSUE

COPYRIGHT IS VESTED IN MORTONS URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. COPYRIGHT MORTONS URBAN SOLUTIONS 2008. DO NOT SCALE FROM THIS DRAWING.

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH 001-NOTES AND LEGEND

ASSOCIATED CONSULTANTS  
 LANDSURV Pty. Ltd.  
 14 Enid St.,  
 TWEED HEADS NSW 2485  
 Ph. (07) 55307065

**GILBERT+SUTHERLAND**  
 agricultural and environmental scientists

DRAWING TITLE  
 FINISHED SURFACE  
 PLAN  
 SHEET 06

**MORTONS**  
 urban solutions  
 Urban & Regional Planning  
 Civil Engineering  
 Project Coordination  
 MRS Pty Ltd T/A  
 Mortons-Urban Solutions  
 ABN 39 116 375 065  
 www.urbandsolutions.net.au  
 Postal Address  
 PO Box 2484  
 Southport QLD 4215  
 Gold Coast Office  
 Suite 9, 19 Short St  
 Southport QLD 4215  
 Tel 07 5571 1099  
 Fax 07 5571 1088

DESIGNED RB	DRAWN BL
APPROVED	DATE 27-06-11
DRAWING NUMBER	AMEND.
12301-EWB-075	A

AREA OF WORKS NOT RELEVANT TO THIS APPLICATION