



LANDCOM

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# Residential Design Guidelines

Version 3

# Potts Hill

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For: Landcom  
Date: August 9th, 2012

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# Introduction

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The Residential Design Guidelines for Potts Hill are based on consideration of the following policies and guidelines: the NSW Housing Code, the 'Infill Housing Guidelines' within the Affordable Rental Housing SEPP, SEPP 65 and the Residential Flat Design Code as well as the Bankstown Council LEP and DCP. They also reflect the key principles described in the Landcom Built Form Guidelines, and the Potts Hill Concept Plan Design Guidelines, which were part of the approved Concept Plan, and the Bankstown DCP 2005.

Where the home builder intends to use the NSW Housing Code for their approval to build, then the controls within that Code apply.

If, however, the home builder is not using the NSW Housing Code for approval to build, then the controls in these Potts Hill Residential Guidelines, along with the Bankstown Council 'Development Engineering Standards' (amended version June 2009) apply.

These Guidelines provide controls for attached and detached dwellings, as well as apartments, at Potts Hill.

For consistency of built form, and for simplicity, where ever possible the building envelope controls within the Potts Hill Design Guidelines relating to detached and attached dwellings are based directly on the NSW Housing Code controls or the Bankstown DCP and LEP.

This approach will ensure that houses at Potts Hill are built within the same development control framework regardless of the method of approval sought. It will provide overall consistency for minimum setbacks and landscaped area, as well as maximum site coverage, building height and garage door width controls, for example.

Guidelines have been included for attached dwelling lots less than 6 metres wide and/or less than 200m<sup>2</sup> in area as these are not covered by the NSW Housing Code.

Apartment buildings at Potts Hill will be required to comply to the maximum height controls specified in the Bankstown Council LEP. Apartments will also be required to adhere to SEPP 65 and the Residential Flat Design Code. Additional controls for minimum setbacks to adjacent conservation areas and to encourage the preservation of particular significant trees where possible are also included in these guidelines.

Community housing is expected to adhere to selected provisions of the 'Infill Housing Guidelines' included within the Affordable Rental Housing SEPP.

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# Section 1 - Detached houses

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**This section refers to detached front access and rear access houses at Potts Hill**

## Introduction

Where the home builder at Potts Hill is using the NSW Housing Code for approval to build, the controls within the Housing Code apply.

Where the home builder is not using the NSW Housing Code for approval and is instead submitting a Development Application with Bankstown Council, the home must comply with these Guidelines.

In other words, the following controls apply to all detached dwelling lots at Potts Hill which are not using the NSW Housing Code for building approval. In general, the controls for detached houses are based on the controls in the NSW Housing Code and the SEPP for Exempt and Complying development. Height controls are as per the Bankstown LEP and privacy controls are as per Bankstown DCP Section 8 rather than the Housing Code controls.

In addition, all homes seeking approval by Development Application with Council must also comply with the Bankstown Council 'Development Engineering Standards' policy (amended version June 2009).

The controls at Potts Hill are based on these planning instruments in order to achieve a consistent built form across the estate, regardless of whether the home owner is using the NSW Housing Code for approval or submitting a Development Application with Council. It also aims to reduce confusion with conflicting or different controls applying to lots at Potts Hill Residential Development depending on the method of approval sought.

## Section 1 - Detached houses

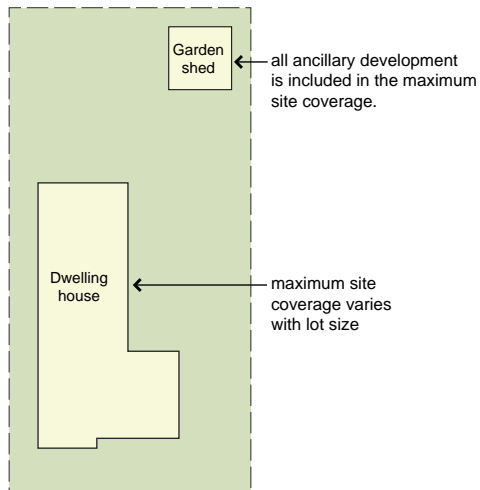


Fig. 1: Site Coverage

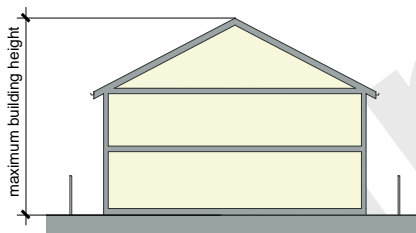


Fig. 2: Maximum building height

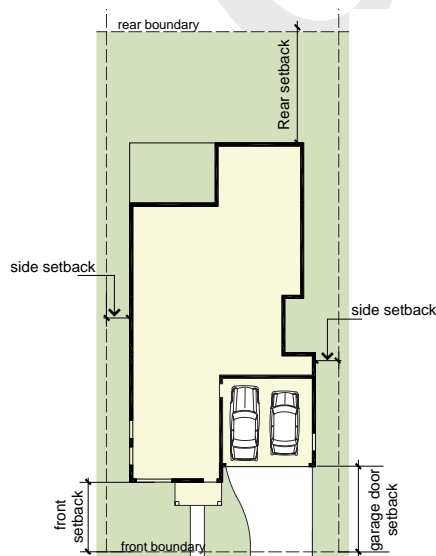


Fig. 3: Typical location of setbacks

### 1. Site Requirements

#### a. Site Coverage (Figure 1)

- Lots 450m<sup>2</sup> and over: 50% max. for two storey homes, 60% max. for single storey homes
- Lots over 320m<sup>2</sup> but less than 450m<sup>2</sup>: 60% max.

#### b. Maximum Floor Area

- 330m<sup>2</sup> for all lots

### 2. Maximum Building Height (Figure 2)

- Maximum building height 9m measured from existing ground level

### 3. Setbacks (Figure 3)

#### a. Front Setback

- 4.5m minimum

#### b. Articulation Zone (Figure 4)

- 1.5m beyond front building line and a maximum 25% of building width

## Section 1 - Detached houses

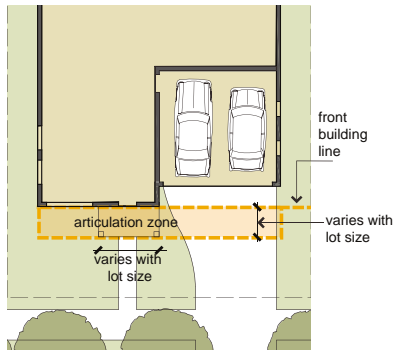


Fig. 4: Articulation Zone

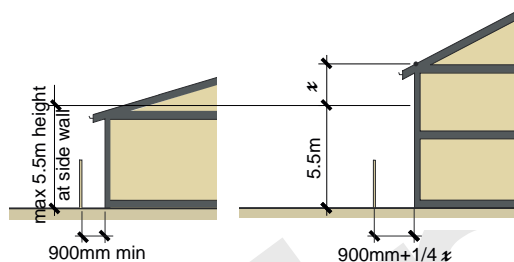


Fig. 5: Side setbacks varies with building height at side wall

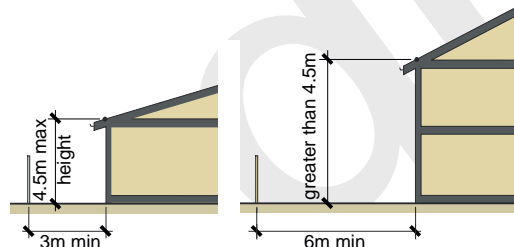


Fig. 6: Rear setback controls

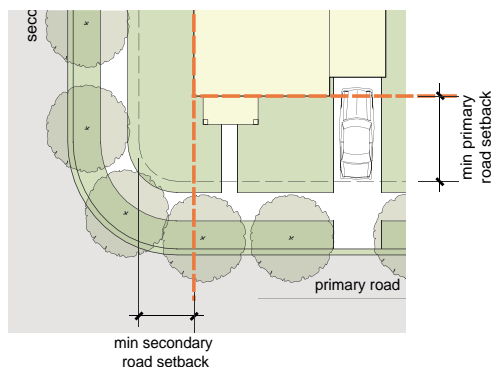


Fig. 7: A corner lot has a minimum setback to both street frontages

### Setbacks (continued)

#### c. Side Setbacks (Figure 5)

- Lots up to 18m wide: 0.9m to 5.5m in height then above that height 0.9m plus 1/4 the height over 5.5m
- Lots over 18m wide: 1.5m to 5.5m in height then above that height 1.5m plus 1/4 the height over 5.5m

#### d. Rear Setbacks (Figure 6)

- Detached front access house lots: 3m min. setback for single storey with a rear wall height of up to 4.5m high, otherwise 8m min.
- Detached front access house lots less than 30m deep at any point perpendicular to the front boundary: 3m min. setback for single storey with a rear wall height up to 4.5m high, otherwise 6m min.
- Rear setback for lots backing onto the Cooper Road properties: An additional 3m in the form of the 'landscaped zone' results in rear setbacks for these lots being 6m min. for single storey with a rear wall of up to 4.5m high and 11m min. otherwise.
- Rear access lots: 1m min. setback to rear lane for garages and accessory dwellings if applicable.

#### e. Secondary Road Setbacks (Figure 7)

- Detached house corner lots: 3m min. setback to secondary street boundary



## Section 1 - Detached houses

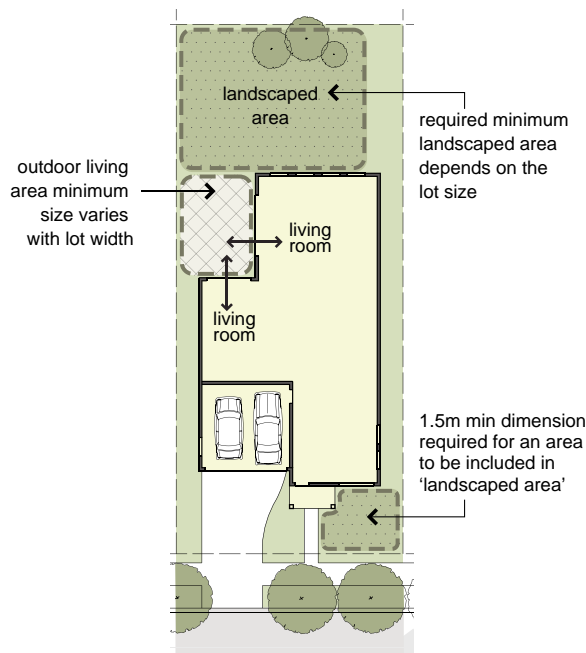


Fig. 8: Minimum landscaped area

### 4. Landscaping (Figure 8)

#### a. Landscaped Area

- 'Landscaped area' is defined as the part of the site used for growing plants, grasses and trees, but does not include any area that contains a building, structure, hard paved area or swimming pool.
- Lots 300-450m<sup>2</sup>: Minimum 15% of total lot.
- Lots 450-600m<sup>2</sup>: Minimum 20% of total lot.
- Lots 600-900m<sup>2</sup>: Minimum 30% of total lot.
- Minimum dimension of landscaped area is 1.5m.
- At least 50% of the landscaped area is to be located behind the front building line.
- For lots less than 18m wide at least 25% of the area to the front of the building line must be landscaped.
- For lots at least 18m wide at least 50% of the area to the front of the building line must be landscaped.

#### b. Outdoor Living Area (Principal private open space)

- A minimum area of 24m<sup>2</sup>, at least 4m wide, flat and directly accessible from a living area.

### 5. Car Parking and Access (Figure 9)

#### a. Car Parking

- All dwelling houses are to provide at least one off-street car parking space.
- A car parking space may comprise of a garage, car port or open car parking space.
- Front access car parking spaces are required to be setback at least 5.5m from the road boundary.
- Front access car parking spaces are required to be setback at least 1m behind the front building line.
- Rear access car parking spaces require 1m setback from the rear lane boundary.
- On corner lots, side access car parking spaces are required to be setback at least 3m from the secondary street boundary.
- On double frontage lots the car parking can be located on either frontage but not on both.
- All lots with rear lane access are to locate the car parking accessed directly from that lane.

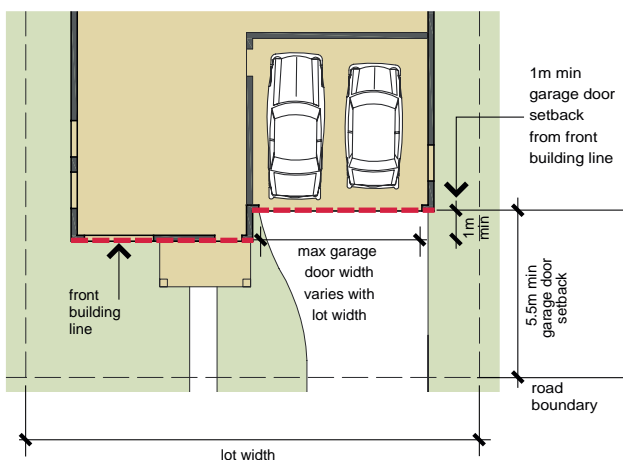


Fig. 9: Minimum garage setbacks and maximum garage door sizes

## Section 1 - Detached houses

### b. Maximum Garage Door Width

- Maximum garage door width varies with lot size :
  - 8-12m lot width : 3.2m
  - Over 12m lot width : 6m
- Corner lots with car parking access from secondary street to have a maximum garage door width of 6m.

### 6. Earthworks and drainage

- Excavation for basements:
  - Excavation permitted under the building footprint to provide a basement.
  - Maximum floor area for basement is 45m<sup>2</sup>.
- Excavation outside the building footprint:
  - The maximum depth of excavation on a site outside the building footprint is 1m and must not extend more than 2m beyond the external wall of the dwelling house or ancillary development.
  - Excavation associated with swimming pools must not exceed the depth of the pool structure.
- Fill:
  - Fill associated with the dwelling or garage must be contained within the external walls of the building or by a retaining wall with a height no greater than 600mm above existing ground level.
- Retaining walls:
  - Retaining walls to be no greater than 1m high.
  - Retaining walls not associated with the cut and fill from a dwelling or garage must have a height above or below existing ground level not exceeding 0.6m if located less than 0.5m from a side or rear boundary, or 1.0m if located at least 1.0m from a boundary.
- Drainage:
  - For all drainage requirements refer to Bankstown Council's 'Development Engineering Standards' Adopted: June 2006, Amended: June 2009

## Section 1 - Detached houses

### 7. Visual & Acoustic Privacy (Figure 10 & 11)

- Development must comply with the visual and acoustic privacy objectives and controls of the Bankstown Development Control Plan 2005 - Part D2 December 2005 - Section 8, see Appendix B.

### 8. Fences

- A front fence is to be provided on all detached dwelling lots.
- Fences in the front setback area from a primary road are to be maximum 1.2m high and of 50% open construction, other fences to be maximum 1.8m high. The maximum height permitted for the fence is to be calculated from ground level at that point.
- Front side fences to extend 2m back from the front facade, and should match the front fence height and design.
- On corner lots, the front fencing is to continue around the corner to the secondary street frontage for a minimum 30% of the lot length.
- Metal fencing not permitted.

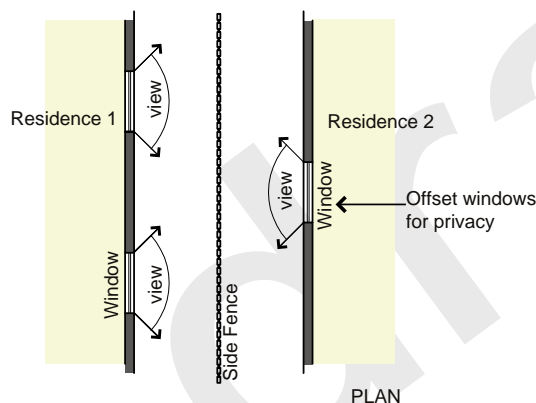


Fig. 10: Offset windows for privacy

### 9. Eaves

- Eaves are required on all external walls.
- Eaves to be at least 450mm (to the fascia).

### 10. Passive Surveillance

- A habitable room must be located so as to look over the primary street to provide passive surveillance.
- The main pedestrian entry of the dwelling is to be visible from the street.

### 11. Subdivision

- Subdivision of detached dwelling lots not permitted.

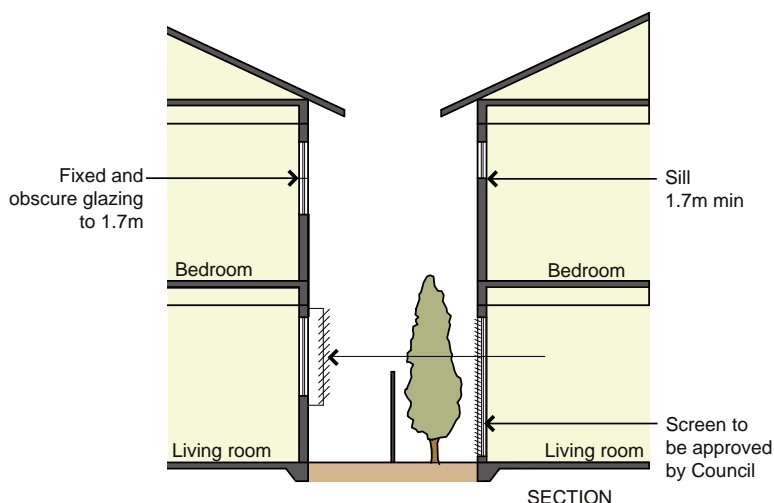


Fig. 11: Other visual privacy options when required

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# Section 2 - Attached houses

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**This section refers to attached houses including dual occupancy dwellings and terrace houses at Potts Hill.**

**For applicable lots see plan page 17.**

## Introduction

The following controls apply to all attached dwelling lots at Potts Hill. The controls vary depending on the lot size or the dwelling type which they apply to. In general, the controls for attached houses are based on the controls contained in the NSW Housing Code and the SEPP for Exempt and Complying development. Height controls are as per the Bankstown LEP and privacy controls are as per Bankstown DCP Section 8 rather than the Housing Code controls.

The NSW Housing Code applies to lots a minimum 6m wide and 200m<sup>2</sup> in area. At Potts Hill, some attached lots will be narrower than 6m, and/or smaller than 200m<sup>2</sup>. These Guidelines have been developed to ensure all attached houses at Potts Hill have appropriate and consistent controls regardless of the size or width of the lot.

The guidelines for Potts Hill aim to achieve a generally consistent built form across the estate, regardless of whether the home owner is using the NSW Housing Code for approval or submitting a Development Application with Council. It also aims to reduce confusion with conflicting or different controls applying to lots at Potts Hill Residential Development depending on the method of approval sought.

A 'terrace house' at Potts Hill is as per the definition for 'attached dwelling' in the Standard Instrument LEP - see page 22. A maximum of 6 terraces attached in a group are permitted at Potts Hill.

A 'dual occupancy' dwelling is as per the definition for 'dual occupancy (attached)' in the Standard Instrument LEP - see page 22.

Refer to Fig. 18 'Attached and community housing lot location plan' on page 17 for dual occupancy and terrace lot locations.

These controls apply to the individual dwelling lot.



## Section 2 - Attached houses - dual occupancy dwellings and terraces

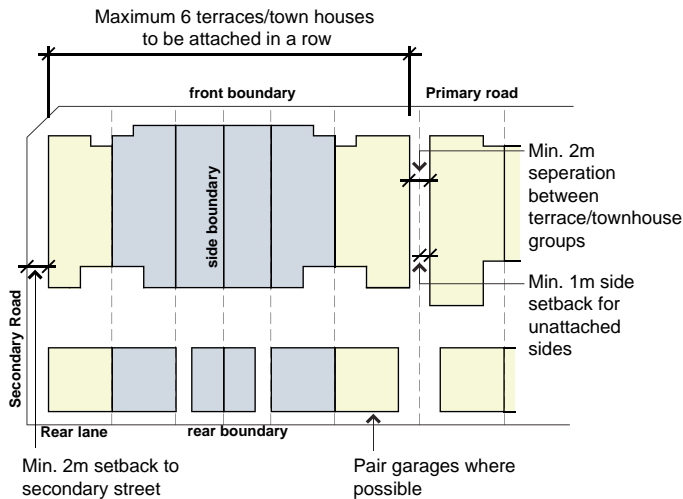
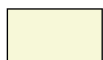


Fig. 14 : Side setbacks of townhouse/terrace lots

### Lot Type



May seek approval with NSW Housing Code or with D.A.\* using Potts Hill guidelines



Lots require approval with D.A.\* using Potts Hill guidelines

\* D.A. - Development Application with Bankstown Council

### b. Articulation Zone

#### i) Dual occupancy dwelling:

- Within the front setback of a new dual occupancy dwelling an 'articulation zone' may be incorporated.
- This zone is a notional area projecting 1.5m forward of the front building line within which additional building elements such as entry features and porticos, balconies, decks, verandahs and bay windows may be built.

- Up to 25% of the articulation zone, when viewed from above, may include building elements. An awning or other feature over a window and a sun shading feature are not included in the maximum area of the building element in the articulation zone.

#### ii) Terrace houses:

- No articulation zone is permitted.

#### iii) For all lots:

- A new dwelling must have a window to a living room or a bedroom (i.e. a 'habitable room') facing the primary road (and the secondary road if on a corner lot).
- A new dwelling must have a front door facing the primary road (and/or the secondary road if on a corner lot).

### c. Side Setbacks

#### i) Dual occupancy dwelling:

- Up to 4.5m building height : 0.9m
- Over 4.5m building height : 0.9m + 1/4 height above 4.5m
- Option to build to one side boundary with full height zero setback as long as it either matches adjacent property boundary wall or is a maximum 3.3m high. The maximum length of the boundary wall to be the lesser of 20m or 50% of lot depth, or match adjoining built to boundary wall.

#### ii) Terrace houses (Figure 14):

- Option to build to one or both side boundaries with full height zero setback as long as it either matches adjacent property boundary wall or is a maximum 3.3m high. The maximum length of the boundary wall to be the lesser of 20m or 50% of lot depth, or match adjoining built to boundary wall.
- Maximum 6 terrace houses to be attached in one group.
- 2.0m minimum separation between terrace house groups.
- 1.0m minimum side setback on unattached sides.

## Section 2 - Attached houses - dual occupancy dwellings and terraces

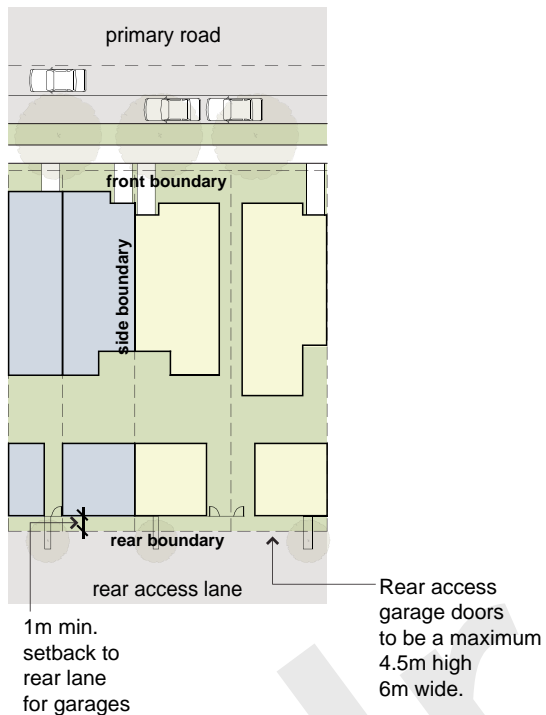
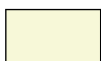
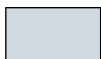


Fig. 15 : Rear setbacks for rear access lots

### Lot Type



May seek approval with NSW Housing Code or with D.A.\* using Potts Hill guidelines



Lots require approval with D.A.\* using Potts Hill guidelines

\* D.A. - Development Application with Bankstown Council

### d . Rear Setbacks

#### i) Dual occupancy dwellings:

- Minimum rear setback varies with lot size:
  - 200-300m<sup>2</sup> up to 4.5m building height : 3m
  - 200-300m<sup>2</sup> above 4.5m building height : average of rear setbacks of adjoining dwelling houses or 10m, whichever is the lesser
  - 300-600m<sup>2</sup> up to 4.5m building height : 3m
  - 300-600m<sup>2</sup> above 4.5m building height : 8m

#### ii) Terrace houses (Figure 15):

- 1m minimum setback to rear lane for garages and accessory dwellings.
- Rear access garage to be a maximum 4.5m high and garage doors a maximum 6m wide.

#### iii) For lots backing onto the Cooper Road properties:

- An additional 3m in the form of the 'landscaped zone' plus those required above in Rear Setbacks (i)

### e. Secondary Road Setbacks

- A dwelling house on a corner lot must be set back a minimum 2m setback from the secondary street boundary.

Section 2 - Attached houses - dual occupancy dwellings and terraces

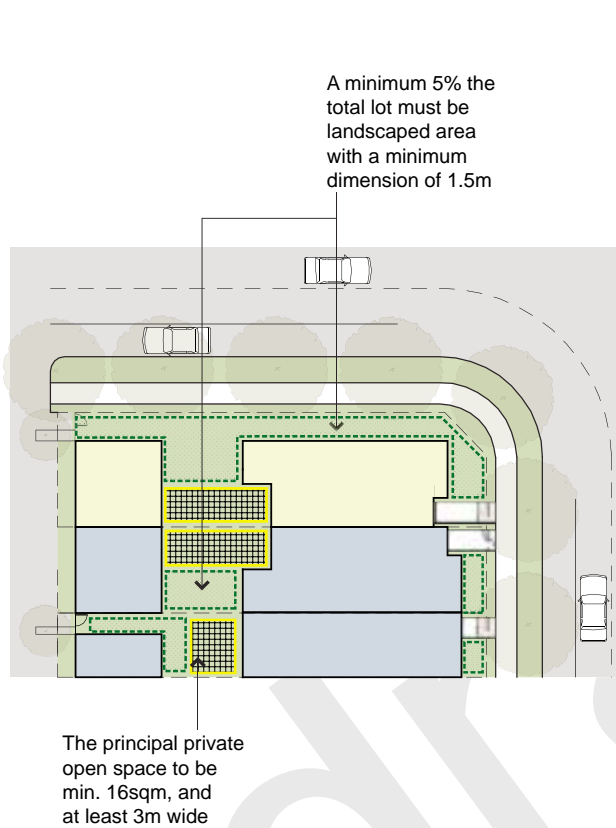




Fig. 16 : Minimum landscaped area and private open space requirements for terraces

Lot Type	
	May seek approval with NSW Housing Code or with D.A.* using Potts Hill guidelines
	Lots require approval with D.A.* using Potts Hill guidelines

\* D.A. - Development Application with Bankstown Council

4. Landscaping

a. Landscaped Area

- 'Landscaped area' is defined as the part of the site used for growing plants, grasses and trees, but does not include any area that contains a building, structure, hard paved area or swimming pool.
- Minimum dimension of landscaped area is 1.5m.

i) Dual occupancy dwellings:

- Minimum landscaped area varies with lot size:
  - 200-300m<sup>2</sup> : 10%
  - 300-450m<sup>2</sup> : 15%
  - 450-600m<sup>2</sup> : 20%
- At least 50% of landscaped area must be located behind the front building line.

ii) Terrace houses (Figure 16):

- Minimum 5% of the total lot area must be landscaped area.

b. Principal private open space

- Principal private open space having a gradient less than 1:50 and located directly accessible from a living area is required.

i) Dual occupancy dwellings:

- Minimum private open space requirement varies with lot size and width:
  - 200-300m<sup>2</sup> : 16m<sup>2</sup>
  - 300-600m<sup>2</sup> : 24m<sup>2</sup>
  - 6-10m wide lot : Minimum 3m wide
  - Over 10m wide lot : Minimum 4m wide

ii) Terrace houses:

- A minimum area of 16m<sup>2</sup> and a minimum 3m wide



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## Section 2 - Attached houses - dual occupancy dwellings and terraces

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### 5. Car Parking and Access

#### a. Car Parking

- All dwelling houses to provide at least one off-street car parking space.
- A car parking space may comprise of a garage, car port or open car parking space.
- Front access car parking spaces are required to be setback at least 5.5m from the road boundary.
- Front access car parking spaces are required to be setback at least 1m behind the front building line.
- All lots with rear lane access are to locate the car parking accessed directly from that lane.
- Rear access car parking spaces require minimum 1m setback from the rear lane boundary.
- On corner lots, side access car parking spaces are required to be setback at least 3m from the secondary street boundary.

#### b. Maximum Garage Door Width

##### i) Dual occupancy dwellings:

- Maximum garage door width varies with lot width :

8-12m lot width : 3.2m

Over 12m lot width : 6m

##### ii) Terrace houses:

- Garage doors on rear access lots to have a maximum width of 6m.

iii) Corner lots with car parking access from secondary street to have a maximum garage door width of 6m.

## Section 2 - Attached houses - dual occupancy dwellings and terraces



An example of detached studios adjoining a lane at Linwood Shores, Newcastle.

### 6. Detached Studios Adjoining Lanes

- Permitted only on dual occupancy dwelling lots with rear access.
- A detached studio adjoining a lane is a common development type found on smaller lots. The building is separate from the dwelling house and often contains a garage. The detached studio is a habitable room but is not a separate dwelling.

This development type has the following additional standards:

- Must have a frontage to a lane over 3m wide
- A minimum 1m setback to the lane is required
- Maximum dimensions of the building are:
  - maximum height: 6m
  - maximum width: 9m
  - maximum depth: 7m
- Maximum floor area varies with lot width:
  - 6-12m : 60m<sup>2</sup>
  - 12-15m : 75m<sup>2</sup>
- Side setback for detached studios on lots 6-15m in width varies by building height:
  - Up to 4.5m height : 0.9m
  - Over 4.5m height : 1.2m
- A detached studio may be built to one or both side boundaries on lots 6-8m in width.
- The distance between the studio and the dwelling house to be minimum 3m below 4.5m and minimum 6m above 4.5m.
- Any inward facing windows to a detached studio must be fitted with a privacy screen.

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## Section 2 - Attached houses - dual occupancy dwellings and terraces

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### 7. Earthworks and drainage

- Excavation for basements:
  - Excavation permitted under the building footprint to provide a basement.
  - Maximum floor area for basement varies with lot width:
    - Lots 10m wide or less: 25m<sup>2</sup>
    - Lots over 10m wide: 45m<sup>2</sup>
- Excavation outside the building footprint:
  - The maximum depth of excavation on a site outside the building footprint is 1m and must not extend more than 2m beyond the external wall of the dwelling house or ancillary development.
  - Excavation associated with swimming pools must not exceed the depth of the pool structure.
- Fill:
  - Fill associated with the dwelling or garage must be contained within the external walls of the building or by a retaining wall with a height no greater than 600mm above existing ground level.
- Retaining walls:
  - Retaining walls to be no greater than 1m high.
  - Retaining walls not associated with the cut and fill from a dwelling or garage must have a height above or below existing ground level not exceeding 0.6m if located less than 0.5m from a side or rear boundary, or 1.0m if located at least 0.5m from a boundary.
- Drainage:
  - For all drainage requirements refer to Bankstown Council's 'Development Engineering Standards' Adopted: June 2006, Amended: June 2009

## Section 2 - Attached houses - dual occupancy dwellings and terraces

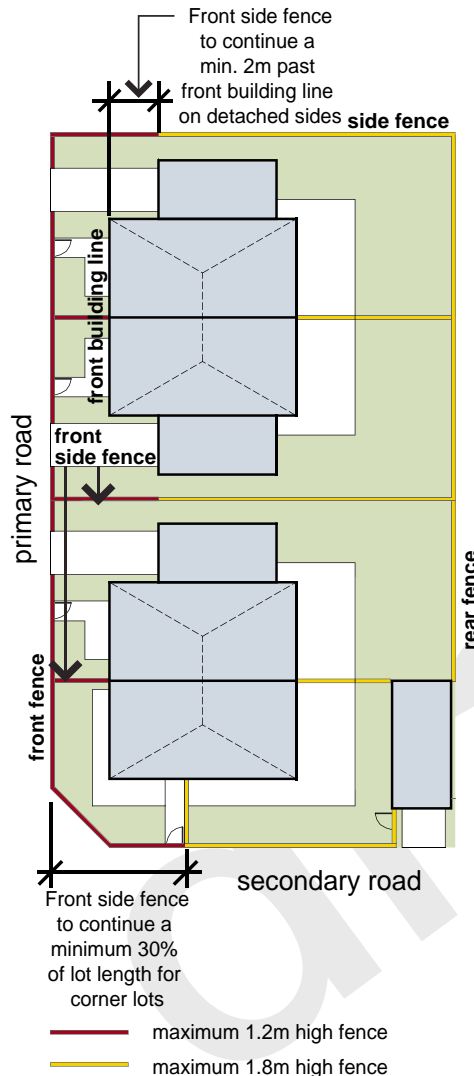


Fig. 17 : Fence requirements for attached dwelling lots

### 8. Visual & Acoustic Privacy

- Development must comply with the visual and acoustic privacy objectives and controls of the Bankstown Development Control Plan 2005 - Part D2 December 2005 - Section 8, see Appendix B.

### 9. Fences (Figure 17)

- A front fence is to be provided on all attached dwelling lots.
- Fences in the front setback area from a primary road are to be maximum 1.2m high and of 50% open construction, other fences to be maximum 1.8m high. The maximum height permitted for the fence is to be calculated from ground level at that point.
- Front side fences on detached sides to extend 2m back from the front facade, and should match the front fence height and design.
- On corner lots, the front fencing is to continue around the corner to the secondary street frontage for a minimum 30% of the lot length.
- Metal fencing not permitted.

## Section 2 - Attached houses - dual occupancy dwellings and terraces



Fig. 18 : Attached and community housing lot location plan

# Section 3 - Apartments

## Introduction

The following controls apply to all apartment buildings at Potts Hill. In general, the controls defer to SEPP 65 and the Residential Flat Design Code. Height controls are as per the Bankstown LEP.

These Guidelines also include additional controls which provide minimum required setbacks to adjacent environmental areas and the retention of identified significant trees where possible.

## 1. SEPP 65 & the Residential Flat Design Code (RFDC)

### a. SEPP 65

- Apartments built at Potts Hill are expected to show consistency with the 10 design principles included in SEPP 65. These principles concern the building's context; scale; built form; density; resource, energy and water efficiency; landscape; amenity; safety and security; social dimensions and housing affordability; as well as aesthetics.

### b. Residential Flat Design Code

- Apartments built at Potts Hill are also expected to show consistency with the Residential Flat Design Code 2002 'rules of thumb' standards. These rules of thumb give guidance in over 45 areas relating to quality apartment building design as well as designing with consideration for local context as well as site design and amenity.

## 2. Maximum Building Height

- As per the Bankstown Local Environment Plan (LEP).

## 3. Brunker Road Apartment Site Setbacks (Figure 19)

- Minimum 3m native landscape setback along the rear of the lot adjacent to the bush regeneration zone.

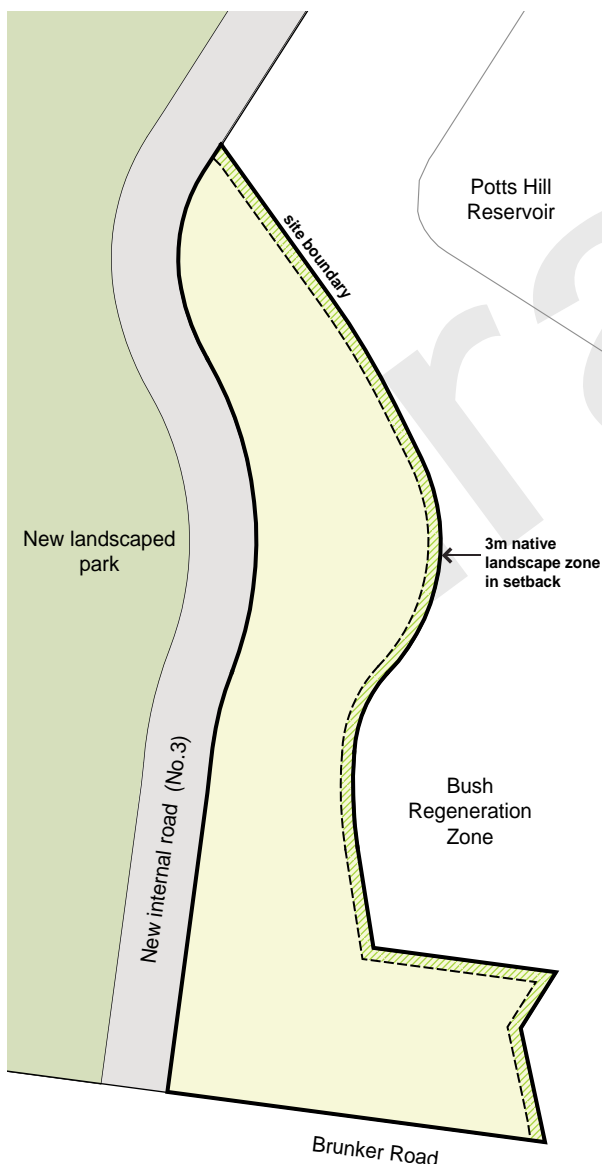


Fig. 19 : Built Form Control Plan - Brunker Road Apartments

## Section 3 - Apartments

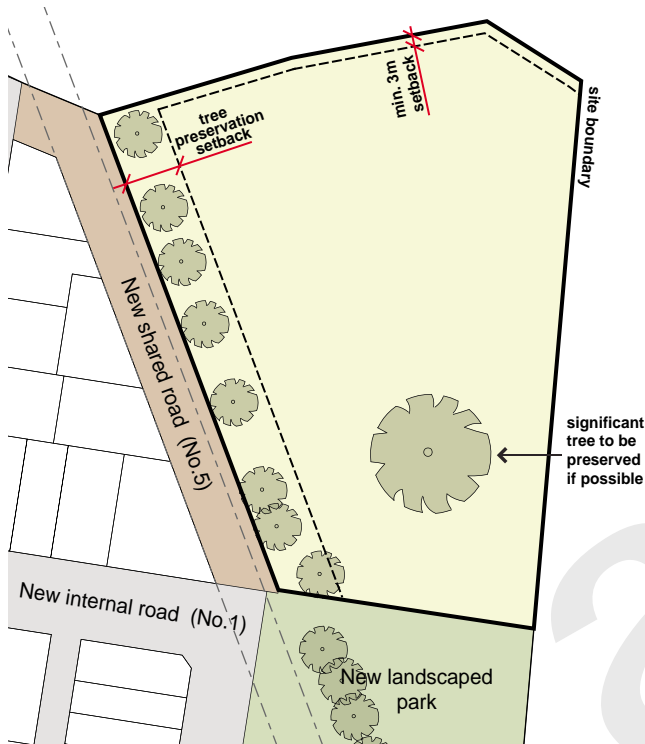


Fig. 20 : Built Form Control Plan - North East Apartment site

### 4. North East Apartment Site Setbacks (Figure 20)

- Minimum 3m native landscape setback along the northern boundary of the lot adjacent to the bush regeneration zone.
- A tree preservation setback to the new shared road (No. 5) to the west to protect and maintain the street frontage trees if possible.

### 5. Significant Trees (Figure 21)

- Significant trees on the North East Apartment Site are to be retained and protected where possible. These include the trees along Road No.5 (within the tree preservation setback) and the large tree in the centre of the southern portion of the site.



Fig. 21 : Aerial photograph of North-East Apartment Site outlining significant trees to be retained if possible. Site boundary is indicative only.

# Section 4 - Community Housing

This section refers to  
Community Housing  
Projects only

For applicable lots  
see plan page 17

The following provisions have been adapted from the Affordable Rental Housing SEPP provisions for 'Infill Development':

- Character of the local area: A requirement that proposals are designed to be compatible with the character of the local area.
- Proportion of affordable housing: 100% of gross floor area of the development.
- Height: As specified in the Bankstown LEP.
- Minimum dwelling sizes:
  - 35m<sup>2</sup> for a bedsitter or studio
  - 50m<sup>2</sup> for a 1 bedroom dwelling
  - 70m<sup>2</sup> for a 2 bedroom dwelling
  - 95m<sup>2</sup> for a 3 or more bedroom dwelling
- Affordable housing management: The affordable rental housing component is to be secured for a minimum of 10 years and managed by a registered Community Housing Provider (CHP).
- Subdivision is permissible with consent, generally in accordance with the attached draft plan of subdivision detail, see page 17.
- Minimum parking requirements for CHPs:
  - 0.4 car spaces per 1 bedroom dwelling
  - 0.5 car spaces per 2 bedroom dwelling
  - 1 car space per 3 or more bedroom dwelling
- Landscaped area: Minimum 35m<sup>2</sup>
- 'Landscaped area' is defined as the part of the site used for growing plants, grasses and trees, but does not include any area that contains a building, structure, hard paved area or swimming pool.
- Solar access: Living rooms and open spaces of 70% of the dwellings require a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter.
- Minimum setbacks:
  - Front: 3m
  - Side: 0m
  - Secondary street frontage: 2m
  - Rear Boundary: 2m
  - Rear Lane: 1m
- Deep soil zones:
  - Minimum of 15% of the site area
  - Minimum dimensions of 3 metres
  - At least two-thirds of the deep soil zone is to be located at the rear of the site.



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# Appendix A

# Glossary

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The following definitions are from  
the Standard Instrument LEP.

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# Glossary

The following definitions are from the Standard Instrument LEP.

## Articulation Zone -

Area of three dimensional modelling at the periphery of the building, including any changes in facade alignment, balconies, bay windows and sun shading devices.

## Attached dwelling -

Attached dwelling means a building containing 3 or more dwellings, where:

- (a) each dwelling is attached to another dwelling by a common wall, and
- (b) each of the dwellings is on its own lot of land, and
- (c) none of the dwellings is located above any part of another dwelling.

## Basement-

The space of a building where the floor level of that space is predominantly below ground level (existing) and where the floor level of the storey immediately above is less than 1 metre above ground level (existing). NB. A basement is counted as a storey.

## Building Line (or setback)-

The horizontal distance between the property boundary or other stated boundary (measured at 90 degrees from the boundary) and:

- (a) a building wall, or
- (b) the outside face of any balcony, deck or the like, or
- (c) the supporting posts of a carport or verandah roof, whichever distance is the shortest.

## Building Height (or height of building)-

The vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.

## Dual-occupancy (attached or detached) -

Dual occupancy (attached) means 2 dwellings on one lot of land that are attached to each other, but does not include a secondary dwelling.

Dual occupancy (detached) means 2 detached dwellings on one lot of land, but does not include a secondary dwelling.

## Floor Area -

The sum of the areas of each storey of the dwelling house and carport, garage, balcony, deck, patio, pergola, terrace, verandah, measured at a height of 1.4m above each floor level, where the area is taken to be the area within the outer face of:

- (a) the external walls of the dwelling house, and

(b) the walls of the carport, garage, balcony, deck, patio, pergola, terrace or verandah,

but excluding any of the following:

- (c) any part of an awning, blind or canopy that is outside the outer wall of a building,
- (d) an eave,
- (e) a lift shaft,
- (f) a stairway,
- (g) a void above a lower storey.

## Habitable Room -

Any room or area used for normal domestic activities including living, dining, family, lounge, bedrooms, study, kitchen, sun room and play room.

## Secondary dwelling -

A self-contained dwelling that:

- (a) is established in conjunction with another dwelling (the principal dwelling), and
- (b) is on the same lot of land as the principal dwelling, and
- (c) is located within, or is attached to, or is separate from, the principal dwelling.

Note. See clause 5.4 for controls relating to the total floor area of secondary dwellings.

## Site Coverage -

The proportion of a site area covered by buildings. However, the following are not included for the purpose of calculating site coverage:

- (a) any basement,
- (b) any part of an awning that is outside the outer walls of a building and that adjoins the street frontage or other site boundary,
- (c) any eaves,
- (d) unenclosed balconies, decks, pergolas and the like.

## Storey -

A space within a building that is situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above, but does not include:

- (a) a space that contains only a lift shaft, stairway or meter room, or
- (b) a mezzanine, or
- (c) an attic.

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# Appendix B

# Bankstown DCP

Section 8 - Visual and Acoustic Privacy

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# Bankstown DCP, Section 8

## Bankstown City Council Development Control Plan 2005

– Part D2 December 2005

### SECTION 8 – VISUAL AND ACOUSTIC PRIVACY

#### Objectives

The objectives are:

- a) To minimise the overlooking of a living area and private open space of a dwelling;
- b) To maximise privacy between buildings; and
- c) To ensure the design and siting of a building provide acoustic privacy for residents and neighbours in their dwellings.

#### Performance criteria

The performance criteria to achieve the objectives are:

- a) The privacy of a dwelling (particularly a living area) and a private open space should be protected through:
  - i) The building layout and setbacks
  - ii) The location and design of windows, balconies, terraces and the like; and
  - iii) Landscaping and screening;
- a) The building design should minimise overlooking in preference to a screening device, high sills, or obscure glass. Where used, these elements should integrate with the building design and have a minimal impact on the amenity of neighbouring properties;
- b) The siting of a noise sensitive room and private open space should be away from a noise source (such as an active recreational area, driveway and parking area, service equipment area, pool filter/pump, air conditioning unit, and burglar alarm) in addition to appropriate noise-shielding techniques; and
- c) The siting and construction of a development should:
  - i) Reduce the reflection of noise onto other buildings;
  - ii) Minimise the infiltration of noise into a building;
  - iii) Minimise sound transmissions through a building structure and common walls; and
  - iv) Provide an acoustic barrier to provide for communal open spaces.

#### Development controls

The development controls to achieve the objectives and performance criteria are:

#### Visual privacy

- 8.1 Where a development proposes a window that directly looks into the living area or bedroom window or an existing dwelling, the development must:
  - a. Offset the windows between dwellings to minimise overlooking; or
  - b. Provide the window with a minimum sill height of 1.7 metres above floor level; or
  - c. Ensure the window cannot open and has obscure glazing to a minimum height of 1.7 metres above floor level; or
  - d. Use another form of screening to the satisfaction of Council.
- 8.2 Where a development proposes a window that directly looks into the private open space of an existing dwelling, the window does not require screening where:
  - a) the window is to a bedroom, bathroom, toilet, laundry, storage room, or other non-habitable room; or
  - b) the window has a minimum sill height of 1.7 metres above floor level; or
  - c) the window has translucent glazing to a minimum height of 1.7 metres above floor level; or
  - d) the window is designed to prevent overlooking of more than 50% of the private open space of a lower-level of an adjoining dwelling
- 8.3 Council may allow an upper floor balcony to a dwelling house, dual occupancy, and family housing solely where the design and siting of the balcony:
  - a) Takes advantage of a vista or provides appropriate privacy screening devices; and
  - b) Is not accessible from a living area or hallway; and
  - c) Does not have an external staircase; and
  - d) Does not exceed a width of 1.5 metres throughout; and
  - e) Is partially recessed into the building
- 8.4 An upper floor balcony to rowhouses and villas may require screening where the open space overlooks more than 50% of the private open space of a lower-level or neighbouring dwelling. The screening must be in the form of a permanent fixed structure such as:

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## Bankstown DCP, Section 8

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- a) A solid translucent screen or perforated panel that is:
    - i) Durable and designed to blend in with the development; and
    - ii) The sum of the perforated panel openings do not exceed 25% of the total surface area; or
  - b) Another form of screening to the satisfaction of Council
- 8.5 Council does not allow roof-top balconies and the like on an outbuilding, dwelling house, family housing, and a multi-unit development.

### Acoustic privacy

- 8.6 Where an allotment adjoins an arterial road, a development must ensure the siting and design of any dwellings:
- a. Comply with AS 3671 – Acoustics – Road Traffic Noise Intrusion;
  - b. Consider a combination of acoustic treatments such as building design, dual aspect dwellings, setbacks, and landscaping; and
  - c. Council does not allow the erection of a noise attenuation wall
- 8.7 Where an allotment is located 60 metres or less to a railway corridor, the erection of a dwelling must incorporate noise and vibration attenuation measures in accordance with the State Rail document 'Interim Guidelines for Applicants – consideration of rail noise and vibration in the planning process'.
- 8.8 Where an allotment is in the vicinity of the Bankstown Airport, a development must comply with Clause 24 of Bankstown Local Environmental Plan 2001.
- 8.9 A shared common wall between dwellings must comply with the noise transmission and insulation requirements of the Building Code of Australia.

the 1990s, the incidence of *S. flexneri* has increased in the United Kingdom [10]. In the United States, *S. flexneri* has been reported as the most common serotype in children with acute bacterial dysentery [11]. In the United Kingdom, *S. flexneri* has been reported as the most common serotype in children with acute bacterial dysentery [12].

There is a paucity of data on the epidemiology of *S. flexneri* in the United Kingdom. In the 1980s, *S. flexneri* was reported as the most common serotype in children with acute bacterial dysentery [12]. In the 1990s, *S. flexneri* was reported as the most common serotype in children with acute bacterial dysentery [13]. In the 2000s, *S. flexneri* was reported as the most common serotype in children with acute bacterial dysentery [14].

The aim of this study was to determine the prevalence of *S. flexneri* in children with acute bacterial dysentery in the United Kingdom. The study was conducted in the United Kingdom, where *S. flexneri* is the most common serotype in children with acute bacterial dysentery [12].

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