



Umow Lai

The Star Modification 14

Hydraulic Services Infrastructure Report

REPORT AUTHORISATION

PROJECT: THE STAR
HYDRAULIC SERVICES INFRASTRUCTURE REPORT

REPORT NO: SEEG.0000 RPT 005

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EXECUTIVE SUMMARY

The Star Entertainment Group is a leading operator of integrated resorts catering to both local and international visitors and is the operator of The Star Sydney (The Star). Consistent with The Star's licence obligation to operate the site to an international standard, The Star Entertainment Group is proposing to advance a revitalisation of the existing complex.

The Star is embarking on a five year redevelopment journey to create a landmark, exemplar integrated resort within the City of Sydney. This proposed redevelopment will occur through the lodgement of two S75W applications with the Department of Planning and Environment, identified as Modification 13 and Modification 14. All works pertaining to Modification 14 are detailed below. Modification 13 will involve the design of a new Ritz-Carlton Hotel Tower and associated podium treatment and will be detailed at a future time.

The Star is proposing to attain the highest standard of built form outcomes for the site through the proposed redevelopment by encouraging innovation and best practice approaches in order to achieve an environmentally sustainable development that positively contributes to the overall architecture of both Pyrmont and the City of Sydney. This will be done through the implementation of advanced ESD initiatives, improved people and movement connections, upgrades to the external appearance and presentation of the facility and improved integration with the adjacent urban fabric.

Modification 14 includes the following proposed works:

1. **Level B4 Infrastructure Upgrades** - Upgrades to existing generators, existing harbour heat rejection system, natural gas system, existing domestic cold water system and an additional sewer connection.
2. **Level 00 – Porte Cochere and Astral Lobby Upgrade** - Realignment of Porte Cochere to accommodate expanded and upgraded Astral Lobby, upgraded Astral Lobby Bar and retail expansion and upgrades of the Main Casino Entry, including valet improvements to the Porte Cochere.
3. **Level 00 Back of House Upgrades** - Internal upgrades and improvements to multiple aspects of the back of house space at Level 00.
4. **Level 00 Astral Luxury Retail Zone** - New luxury retail zone connecting from Astral Hotel Lobby out to Jones Bay Road. Change of use from office / back of house to retail.
5. **Level 00 - SELS Fitout** - Refurbish existing SELS Level 00 toilets at southern end of building to allow for adjacent lift lobby circulation areas. Upgrades and tenancy improvements to existing retail tenant at northern end of SELS building along Jones Bay Road. No external changes to SELS are proposed, with internal alterations only.
6. **Level 00 SELS Lighting** - External lighting of the SELS building along Pyrmont Street to celebrate the heritage elements of the building.
7. **Level 00 Darling Café** – New café within the existing Darling Hotel Lobby at Level 00.
8. **Level 00 to 01 - G-Star Raw Escalators** - Replace existing G-Star Raw retail shop at Level 00 with new escalators providing access from Level 00 to Main Gaming Floor at Level 01. Includes new arrival bar adjacent to escalators at Level 01.



9. **Level 01 - Main Gaming Floor Slab Infill** - Slab expansion off the Main gaming Floor at Level 01 over the existing main entry foyer facing Pirrama Road. No facade works are proposed.
10. **Level 02 – Oasis Gaming Area** – Minor external alterations to the Oasis unenclosed gaming area at Level 02.
11. **Level 03 - Sovereign Expansion** – Expansion to the existing Sovereign Room at Level 03. This includes refurbishment of existing food, beverage and gaming locations, expansion of food and beverage opportunities an VIP gaming and unenclosed gaming areas.
12. **Level 03 - Event Centre Pre-function Space** - New pre-function space adjacent to the MUEF at Level 03, to allow for circulation changes from the level 03 expansion.
13. **Vertical Transportation Drum** - New escalators as part of a vertical transport arrival strategy from Level 00 to Level 03.
14. **Level 04 – Star Administrative Offices** - Fitout of existing administrative offices within Astral Residences tower. Internal improvements only.
15. **Level 05 – VIP Lobby & Check-In** - Conversion of existing pool plant space and enclosed pool deck at Level 05 to a lobby for the VIP hotel guest lounge.
16. **Level 05 - Astral Residences Reception** - Conversion of meeting room to Reception and check-in lobby. Includes minor expansion to existing enclosed space.
17. **Northern Porte Cochere Canopy** - Removal of a section of the current glazing (retaining the canopy structure) of the current porte cochere canopy and include a new ceiling at a lower height over a section of the new slab (NW Gaming slab infill).



CONTENTS

1.0	HYDRAULIC SERVICES SUMMARY	1
2.0	WATER SUPPLY	2
3.0	SEWER DRAINAGE	4
4.0	NATURAL GAS SUPPLY	7
5.0	STORMWATER	9

APPENDIX A SYDNEY WATER CORRESPONDENCE



1.0 HYDRAULIC SERVICES SUMMARY

- Application has been made to Sydney Water for increased water supply and sewer discharge capacity. Sydney Water has responded noting that the existing infrastructure appears adequate for the proposed development.
- Discussions with Jemena have commenced regarding increased gas supply capacity. Jemena have indicated that the increased demand is available. A formal application is to be lodged on confirmation of when increased demands will be required.
- The catchment area for the site will not change with the proposed development, therefore the total site stormwater discharge will not change.



2.0 WATER SUPPLY

2.1 EXISTING WATER CONNECTIONS

The Star is provided with domestic and fire fighting water supply from the 250mm water main that is located in Jones Bay Road.

The site is currently supplied with a 150mm connection from the 250mm Sydney Water main in Jones Bay Road which is then divided into 2 separately metered services for the Astral Hotel & Apartments and the Casino.

The Darling Hotel has a separate 150mm metered water service connection off the 200mm Sydney Water main in Edward Street.

The existing mains connections feature appropriate backflow prevention.

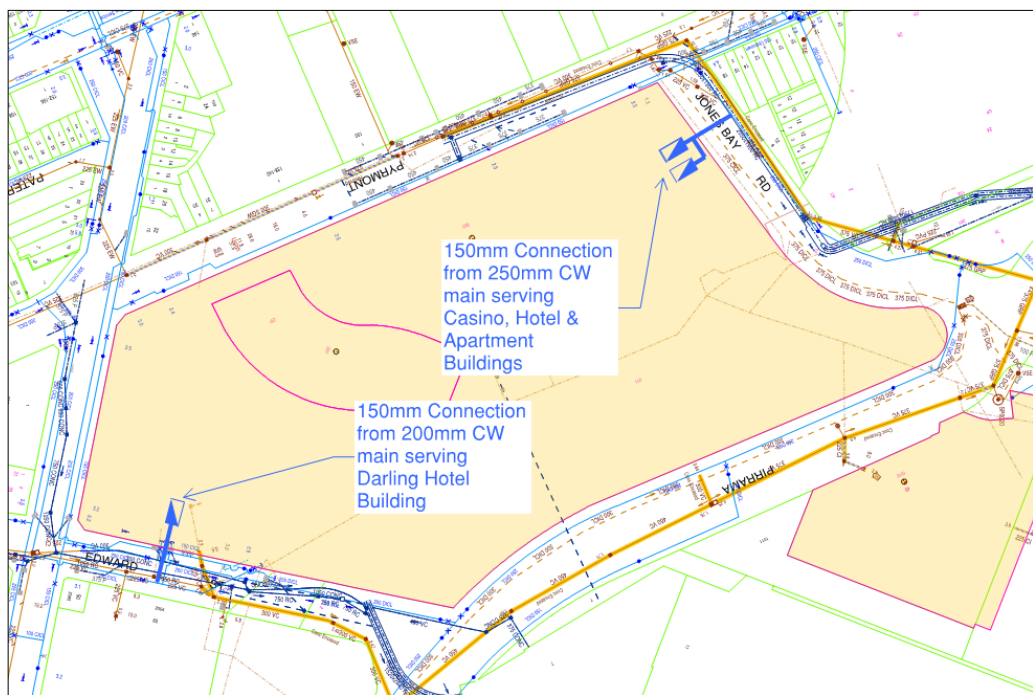


Figure 1 Existing Connections to Authority Water Mains

2.2 PROPOSED DEMAND

The capacity of the existing 150mm connection to Jones Bay Road main is 30 l/s.

The existing peak demand for the water main connection is approximately at 29l/sec which is within the existing capacity of 30l/sec. The existing average daily consumption from the Jones Bay Road main is 2,800 KL.

The increased domestic cold water peak demand for the Modification 14 redevelopment is approximately 35 litres/second, which is greater the capacity of the existing 150mm water connection. The proposed average daily water consumption is calculated at 3,600 KL.



2.3 PROPOSED INFRASTRUCTURE WORKS

A new water main connection is proposed to meet the increased demand associated with the Modification 14 redevelopment. The proposed 150mm main connection will extend from the Pirrama Road 250mm SWC water main.

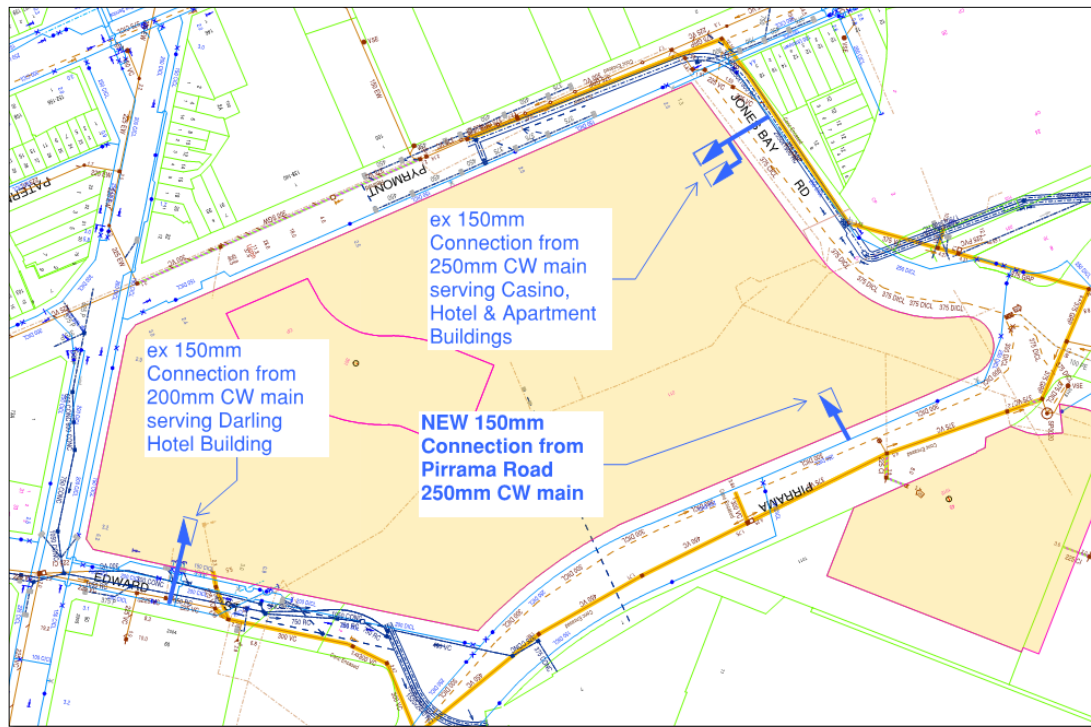


Figure 2 Proposed Connection to Authority Water Mains

A pre Section 73 **Feasibility Letter** request has been lodged with Sydney Water stating the above increase in water demand with respect to the capacity of the existing Pirrama Road and Jones Bay Road Sydney Water Corporation's water mains.

Sydney Water has responded with a Feasibility Letter. In summary, Sydney Water's response states;

Water

The following information is provided to assist in planning the servicing needs of the development, based on information supplied with this application:

- A Preliminary Water servicing investigation was based on a supply being sourced from either the 150mm main in Pyrmont Road, the 200mm main in Edward St, and the 250mm main in Pirrama Road. Based on the Building Heights the proposed development will require a connection to either the 200 or 250mm main.



3.0 SEWER DRAINAGE

3.1 EXISTING SEWER CONNECTIONS

The site features three sewer discharge points, connecting via gravity to Sydney Water Corporation's sewer mains in Pirrama Road, Edward Street and Pyrmont Road.

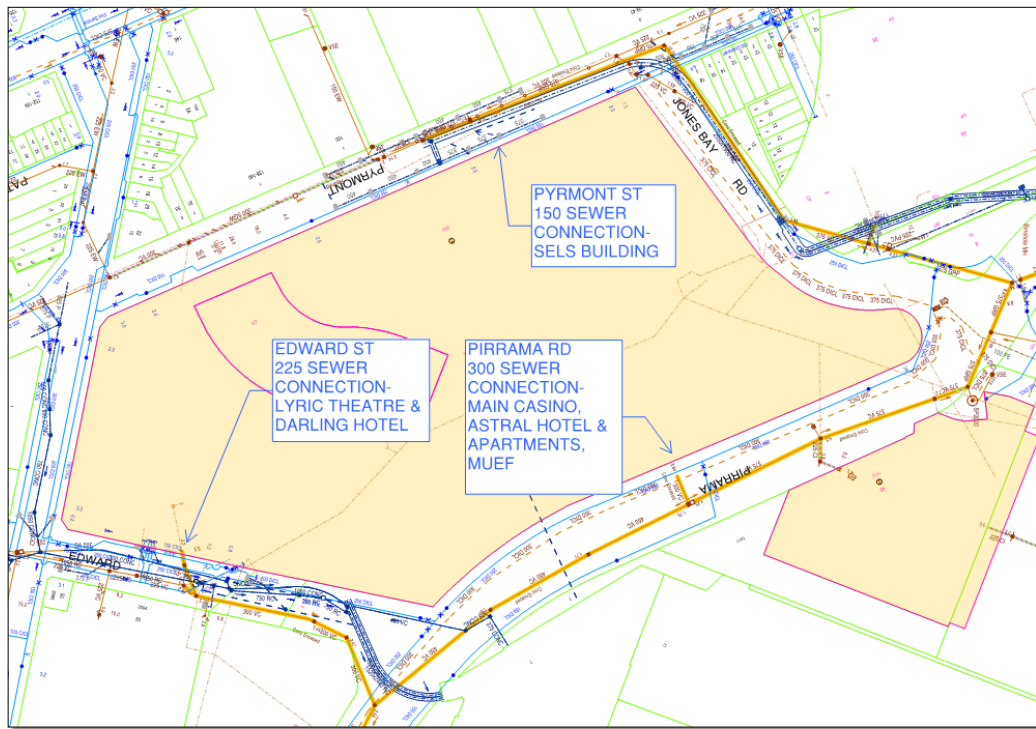


Figure 3 Existing Sewer Main Connections

3.1.1 Edward Street Sewer Connection

The 225mm connection to the Edward Street sewer main drains the Darling Hotel, Lyric Theatre, DAF Grease Waste Treatment Plant, Apartments and a section of the retail component of the Casino.

The 225mm Edward Street SWC sewer stub connection has a capacity of 1,600 EP. The total connected load is currently 1,355 EP.

3.1.2 Pirrama Road Sewer Connection

The main existing sewer outfall from The Star which drains the majority of the Star including gaming areas, restaurants, Astral hotel and entertainment facility is via an 225mm internal sanitary drain to a 300mm sewer stub. The connection to the sewer stub is 1 metre within the property boundary and connects to the 375mm Sydney Water Corporation's sewer main that is located centrally on the Pirrama Road frontage.

The 300mm Pirrama Road SWC sewer stub connection has a capacity of 3,200 EP. The total connected load is currently 3,015 EP



3.1.3 Pyrmont Street Sewer Connection

The 150mm sewer connection to the 300mm Pyrmont St Sewer receives a relatively small loading from the SELS heritage building.

3.2 PROPOSED SEWER DEMAND

The expansion of The Star will introduce a higher demand on the main sewer infrastructure connections as a result of the Modification 14 works.

The Edward Street sewer connection has an existing EP 1,355 and this would increase to EP1,505 which is within the capacity of the existing connection.

The Pirrama Road sewer connection has an existing EP 3,015 and this would increase to EP 3,665 which would exceed the capacity of the existing connection.

3.3 PROPOSED INFRASTRUCTURE WORKS

A new sewer main connection is proposed to meet the increased demand associated with the Modification 14 redevelopment. The proposed 300mm sewer connection will extend from the Pirrama Road 375mm SWC sewer main.

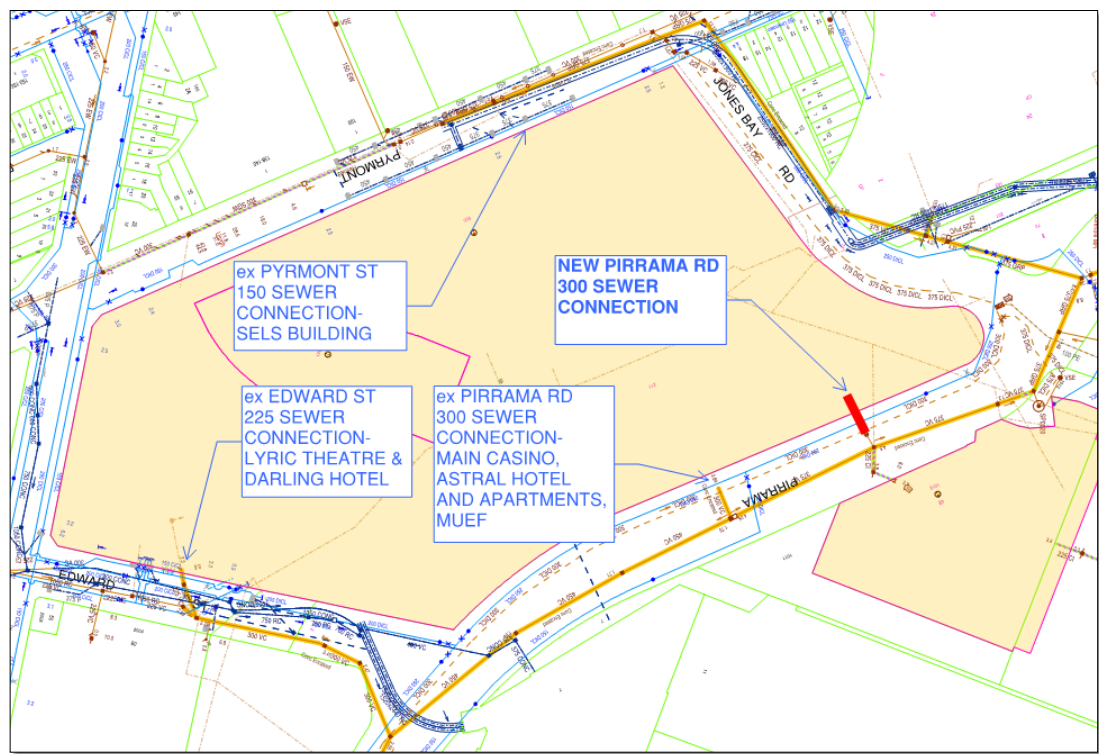


Figure 4 Proposed Sewer Main Connection

A Pre Section 73 **Feasibility Letter** request has been lodged with Sydney Water stating the above increase in sewer outflow demand with respect to the capacity of the existing 375mm Sydney Water Corporation's sewer main. The Feasibility Letter response is attached in Appendix B.

In summary, Sydney Water's response states;



Sewer

- A preliminary study shows that the wastewater gravity system has uncommitted spare capacity for the anticipated additional sewage load. The downstream pumping station has capacity but the dry weather storage is limited.

This response confirms that the existing 375 main has capacity for the proposed additional load; however there may be an associated infrastructure charge to increase the capacity of the downstream pumping station.



4.0 NATURAL GAS SUPPLY

4.1 EXISTING GAS CONNECTION

A 150mm Secondary - 1050Kpa high pressure gas main exists in Pirrama & Edward Street that currently supplies The Star with natural gas, as indicated below;

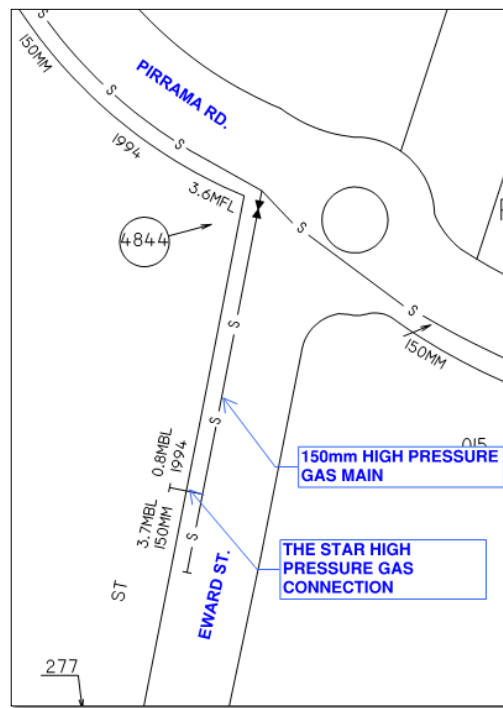


Figure 5 Edward Street Gas Main and Connection point

The Star has a single high pressure connection from the Edward Street main.

The gas is regulated down from 1050 kPa to 300kPa and reticulated through The Star. The gas pressure is further regulated at each kitchen and other points to 7kPa using double diaphragm regulators.

4.2 NG DEMAND

The existing gas supply to The Star is summarised below by the current **Supply Agreement Energy Australia August 2013**

CMHQ (GJ)	36	Contracted Max Hourly Quantity
CMDQ (GJ)	506	Contracted Max Daily Quantity
ACQ (GJ)	105,000	Contracted Max Annual Quantity



The existing MHQ demand for the site is approximately 29 GJ which is within the existing contracted MHQ capacity of 36 GJ.

The increased MHQ demand for the Modification 14 redevelopment is approximately 67 GJ, which is greater the capacity of the existing meter and regulator assembly.

4.3 PROPOSED INFRASTRUCTURE WORKS

A new meter and regulator assembly will be required to accommodate the increased NG demand.

Discussions with Jemena have commenced regarding increased gas supply capacity. Jemena have indicated that the increased demand is available. A formal application is to be lodged on confirmation of when increased demands will be required.



5.0 STORMWATER

5.1 EXISTING INFRASTRUCTURE CONNECTIONS

The Star site currently discharges to the two existing seawater cooling conduits that formed part of the former Pyrmont Power Station. These cooling conduits are now being utilised as stormwater culverts and are under the control of Sydney Water Corporation.

The total catchment area of The Star is 33,535m². There are two major stormwater discharge points from the site;

Approximately 35% of the site, or 11,815m² of catchment discharges to the northern seawater conduit. Of this catchment, 10,150m² is directed to a 230,000 litre stormwater harvesting tank. This stormwater harvesting tank has been configured so that it also acts as a silt and oil arrester.

The southern seawater conduit collects the stormwater discharge from the remaining 65% of The Star site, or 21,720m². The internal stormwater drainage system incorporates silt arrestors prior to connection to the seawater conduit.

Stormwater catchment from the area of The Star featuring The Darling Hotel drains to the council stormwater main in Edward street via a rainwater harvesting tank. This stormwater harvesting tank is used to supply recycled water to the Darling Hotel toilet flushing.

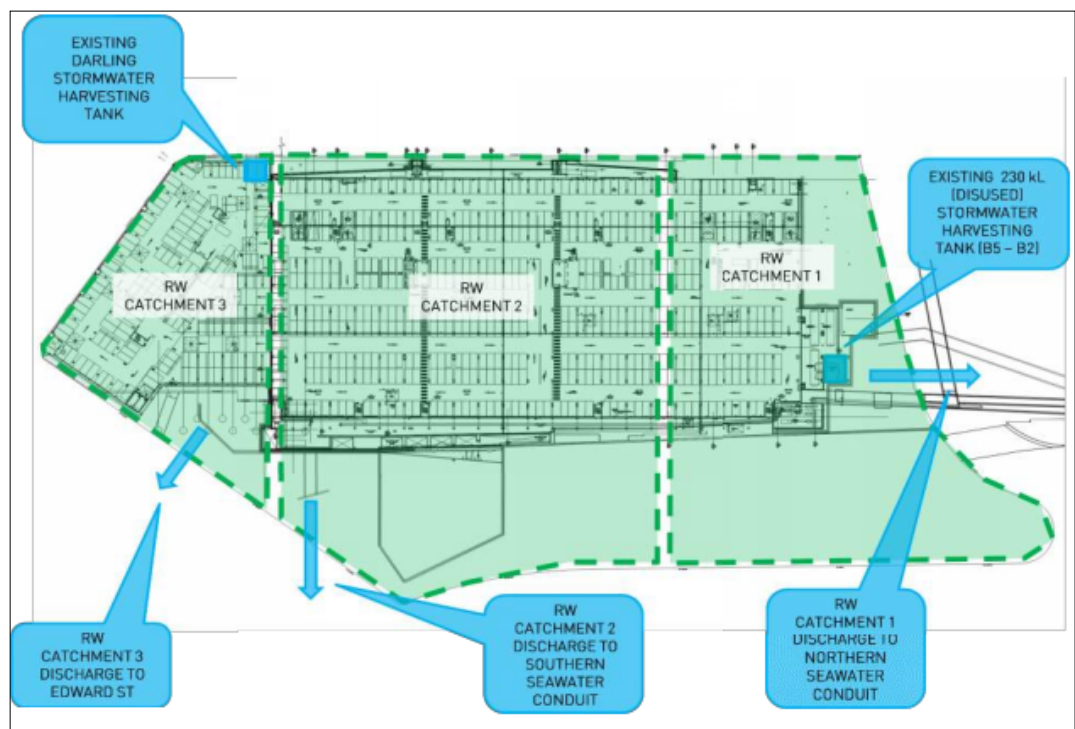


Figure 6 Site Rainwater Catchment Zones and Points of Discharge



5.2 PROPOSED DEMAND

The catchment area for the site will not change with the proposed development, therefore the total site discharge will not change.

5.3 PROPOSED INFRASTRUCTURE WORKS

The reuse of rainwater collected in the existing northern stormwater harvesting tank will be increased via provision of treated rainwater to the new development area.

5.4 GROUNDWATER CONSIDERATIONS

The two areas of consideration are;

1. **Basement Level 04** - New plant areas
2. **Pirrama Road** - Excavation for new services connections between the existing facility and services infrastructure located below

A geotechnical assessment has been undertaken by JK Geotechnics; **“Geotechnical Assessment, Proposed Modification 14 Works, The Star, 80 Pyrmont Street, Pyrmont, NSW”** Dated 13 February 2017.

The Geotechnical Assessment addresses groundwater hydrology considerations. Based on the advice provided in the Geotechnical Assessment, the following hydraulic drainage is proposed.

5.4.1 Basement Level 04 Works

The area proposed for the new basement plant is currently an excavated void. The plant areas will feature new walls and slabs to the structural engineers details.

The new plant areas will be provided with bunding adequate to contain any spills and prevent contamination of groundwater.

New cut faces and retaining walls will be provided with spoon drains and subsoil drainage to intercept potential seepage.

The building's basement features an existing sub soil drainage system. New subsoil drainage and spoon drains will discharge to this existing system.

No changes to the existing subsoil pump out system are proposed. The existing subsoil system discharges to the stormwater system.



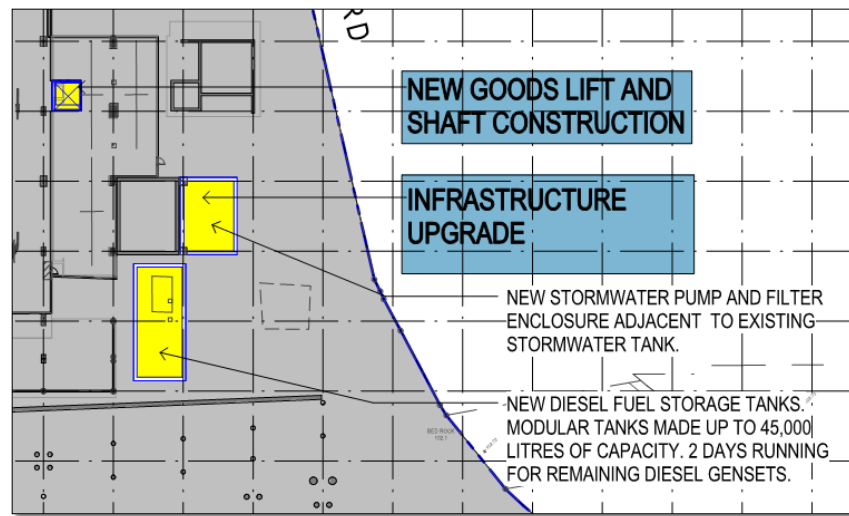


Figure 7 B04 New Plant Areas

5.4.2 Pirrama Road Works

Minor local excavation will be required for the new Water and Sewer connections as indicated in Figures 3 & 4 of this Report. The detailed design for Sewer and Water connections will be undertaken by a Water Services Coordinator. It is not expected that the depth of these works to exceed 3m below existing RL's.

The Geotechnical Assessment states *"Seepage volumes into the excavations are expected to be of limited volume and controllable by sump and pump methods and/or gravity drainage methods. Discharge from the drainage system should be piped to the stormwater system"*

There is no proposed reinjection of water or wastes into aquifers associated with Modification 14 development.



APPENDIX A SYDNEY WATER CORRESPONDENCE



Case Number: 151098

3 March 2016

Paul Jacobsen
c/- MGP BUILDING & INFRASTRUCTURE SERVICES PTY LTD

FEASIBILITY LETTER

Developer: Paul Jacobsen
Your reference: SY073856.s73
Development: No. 80 SP 56913 Pyrmont Street, Pyrmont
Development Description: Proposed upgrade to The Star. The new building features, gaming areas, dining, retail, serviced apartment/hotel. Please note that this includes 2 new proposed hotels/serviced apartment towers.
Your application date: 5 February 2016

Dear Applicant

This Feasibility Letter (Letter) is a guide only. It provides general information about what Sydney Water's requirements could be if you applied to us for a Section 73 Certificate (Certificate) for your proposed development. **The information is accurate at today's date only.**

If you obtain development consent for that development from your consent authority (this is usually your local Council) they will require you to apply to us for a Section 73 Certificate. You will need to submit a new application (and pay another application fee) to us for that Certificate by using your current or another Water Servicing Coordinator (Coordinator).

Sydney Water will then send you either a:

- Notice of Requirements (Notice) and Developer Works Deed (Deed) or
- Certificate.

These documents will be the definitive statement of Sydney Water's requirements.

There may be changes in Sydney Water's requirements between the issue dates of this Letter and the Notice or Certificate. The changes may be:

- if you change your proposed development eg the development description or the plan/site layout, after today, the requirements in this Letter could change when you submit

your new application; and

- if you decide to do your development in stages then you must submit a new application (and pay another application fee) for each stage.

Water

The following information is provided to assist in planning the servicing needs of the development, based on information supplied with this application:

- A Preliminary Water servicing investigation was based on a supply being sourced from either the 150mm main in Pyrmont Road, the 200mm main in Edward St, and the 250mm main in Pirrama Road. Based on the Building Heights the proposed development will require a connection to either the 200 or 250mm main.

Sewer

- A preliminary study shows that the wastewater gravity system has uncommitted spare capacity for the anticipated additional sewage load. The downstream pumping station has capacity but the dry weather storage is limited.

General Advice

- A more detailed investigation is required with the final development details and the analysis can be performed when the Section 73 application is lodged. The developer needs to engage a Hydraulic Consultant to study full impacts to our existing water and sewer system and any augmentation required.
- More information about the Section 73 application process is available on our web page in the [Land Development Manual](#).
- As part of the Section 73 Application, you will need to get approval for your building plans and you will need to ensure your development satisfies Sydney Water's 'Multi-Level Individual Metering' requirements. In this regard, you must comply at all times and in respects with the requirements of Sydney Water's "Multi-level Individual Metering Guide".

OTHER THINGS YOU MAY NEED TO DO

Shown below are other things you need to do that are NOT a requirement for the Certificate. They may well be a requirement of Sydney Water in the future because of the impact of your development on our assets. You must read them before you go any further.

Disused Sewerage Service Sealing

Please do not forget that you must pay to disconnect all disused private sewerage services and

seal them at the point of connection to a Sydney Water sewer main. This work must meet Sydney Water's standards in the Plumbing Code of Australia (the Code) and be done by a licensed drainer. The licensed drainer must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.

Soffit Requirements

Please be aware that floor levels must be able to meet Sydney Water's soffit requirements for property connection and drainage.

Requirements for Business Customers for Commercial and Industrial Property Developments

If this property is to be developed for Industrial or Commercial operations, it may need to meet the following requirements:

Trade Wastewater Requirements

If this development is going to generate trade wastewater, the property owner must submit an application requesting permission to discharge trade wastewater to Sydney Water's sewerage system. You must wait for approval of this permit before any business activities can commence.

The permit application should be emailed to Sydney Water's Business Customer Services at businesscustomers@sydneywater.com.au

It is illegal to discharge Trade Wastewater into the Sydney Water sewerage system without permission.

A **Boundary Trap** is required for all developments that discharge trade wastewater where arrestors and special units are installed for trade wastewater pre-treatment.

If the property development is for Industrial operations, the wastewater may discharge into a sewerage area that is subject to wastewater reuse. Find out from Business Customer Services if this is applicable to your development.

Backflow Prevention Requirements

Backflow is when there is unintentional flow of water in the wrong direction from a potentially polluted source into the drinking water supply.

All properties connected to Sydney Water's supply must install a testable **Backflow Prevention Containment Device** appropriate to the property's hazard rating. Property with a high or medium hazard rating must have the backflow prevention containment device tested annually. Properties identified as having a low hazard rating must install a non-testable device, as a minimum.

Separate hydrant and sprinkler fire services on non-residential properties, require the installation of a testable double check detector assembly. The device is to be located at the boundary of the

property.

Before you install a backflow prevention device:

1. Get your hydraulic consultant or plumber to check the available water pressure versus the property's required pressure and flow requirements.
2. Conduct a site assessment to confirm the hazard rating of the property and its services. Contact PIAS at NSW Fair Trading on **1300 889 099**.

For installation you will need to engage a licensed plumber with backflow accreditation who can be found on the Sydney Water website:

<http://www.sydneywater.com.au/Plumbing/BackflowPrevention/>

Water Efficiency Recommendations

Water is our most precious resource and every customer can play a role in its conservation. By working together with Sydney Water, business customers are able to reduce their water consumption. This will help your business save money, improve productivity and protect the environment.

Some water efficiency measures that can be easily implemented in your business are:

- Install water efficiency fixtures to help increase your water efficiency, refer to WELS (Water Efficiency Labelling and Standards (WELS) Scheme, <http://www.waterrating.gov.au/>
- Consider installing rainwater tanks to capture rainwater runoff, and reusing it, where cost effective. Refer to <http://www.sydneywater.com.au/Water4Life/InYourBusiness/RWTCalculator.cfm>
- Install water-monitoring devices on your meter to identify water usage patterns and leaks.
- Develop a water efficiency plan for your business.

It is cheaper to install water efficiency appliances while you are developing than retrofitting them later.

Contingency Plan Recommendations

Under Sydney Water's [customer contract](#) Sydney Water aims to provide Business Customers with a continuous supply of clean water at a minimum pressure of 15meters head at the main tap. This is equivalent to 146.8kpa or 21.29psi to meet reasonable business usage needs.

Sometimes Sydney Water may need to interrupt, postpone or limit the supply of water services to your property for maintenance or other reasons. These interruptions can be planned or unplanned.

Water supply is critical to some businesses and Sydney Water will treat vulnerable customers, such as hospitals, as a high priority.

Have you thought about a **contingency plan** for your business? Your Business Customer Representative will help you to develop a plan that is tailored to your business and minimises productivity losses in the event of a water service disruption.

For further information please visit the Sydney Water website at: <http://www.sydneywater.com.au/OurSystemsandOperations/TradeWaste/> or contact Business Customer Services on **1300 985 227** or businesscustomers@sydneywater.com.au

Fire-fighting

Definition of fire-fighting systems is the responsibility of the developer and is not part of the Section 73 process. It is recommended that a consultant should advise the developer regarding the fire-fighting flow of the development and the ability of Sydney Water's system to provide that flow in an emergency. Sydney Water's Operating Licence directs that Sydney Water's mains are only required to provide domestic supply at a minimum pressure of 15 m head.

A report supplying modelled pressures called the Statement of Available pressure can be purchased through Sydney Water Tap inTM and may be of some assistance when defining the fire-fighting system. The Statement of Available pressure, may advise flow limits that relate to system capacity or diameter of the main and pressure limits according to pressure management initiatives. If mains are required for fire-fighting purposes, the mains shall be arranged through the water main extension process and not the Section 73 process.

Private Water Services Connection and Metering

To provide domestic water to the total development you will need to connect to the Sydney Water main. You must lodge an application for this connection at Sydney Water Tap inTM. We will then tell you about any requirements you need to meet. Visit www.sydneywater.com.au > Plumbing, building & developing > Building > Sydney Water Tap inTM to find out more.

Visit www.sydneywater.com.au > Plumbing, building & developing > Plumbing > Meters & metered standpipes to find out more about our metering requirements for your development.

Disused Water Service Sealing

You must pay to disconnect all disused private water services and seal them at the point of connection to a Sydney Water water main. This work must meet Sydney Water's standards in the Plumbing Code of Australia (the Code) and be done by a licensed plumber. The licensed plumber must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.

Other fees and requirements

The requirements in this Notice relate to your Certificate application only. Sydney Water may be involved with other aspects of your development and there may be other fees or requirements. These include:

- plumbing and drainage inspection costs;
- the installation of backflow prevention devices;
- trade waste requirements;
- large water connections and

- council fire-fighting requirements. (It will help you to know what the fire-fighting requirements are for your development as soon as possible. Your hydraulic consultant can help you here.)

No warranties or assurances can be given about the suitability of this document or any of its provisions for any specific transaction. It does not constitute an approval from Sydney Water and to the extent that it is able, Sydney Water limits its liability to the reissue of this Letter or the return of your application fee. You should rely on your own independent professional advice.

END