

# **THE STAR MODIFICATION 14 (MP 08\_0098)**

## **HERITAGE RESPONSE TO COMMENTS**

**URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:**

|                   |                                                                                                                    |
|-------------------|--------------------------------------------------------------------------------------------------------------------|
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| Report Number     | 3 – Issued 06.03.2017                                                                                              |

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# 1. INTRODUCTION

## 1.1. BACKGROUND

Urbis has been engaged by The Star Entertainment Group to prepare the following response to the comments pertinent to Modification 14 (MP 08\_0098 MOD14) which involves various additions and alterations to The Star Casino. This report is primarily concerned with works which have the potential to visually or physically impact on The SELS building which is located in the northern west corner of The Star.

The SELS is listed as an item of environmental heritage (Item 1259) under the Sydney Local Environmental Plan 2012. The Star is also located in the vicinity of a number of other heritage items as identified in the Heritage Impact Statement prepared by Urbis in September 2016.

This report responds to the comments received from the Heritage Council dated 02/12/2016. It also responds to the comments related to heritage set down in the response to the project prepared by the City of Sydney dated 13/12/2016. Each comment has been discussed individually and revised plans are referenced where relevant.

## 1.2. SITE LOCATION

The Star is located at 20-80 Pyrmont Street (Figure 1). The SELS is located in the north western corner of the larger site and runs part way down its western boundary. The subject site has a frontage to Jones Bay Road and Pyrmont Street.

Figure 1 – Location of the subject site (The SELS Building) within The Star Integrated Report.



Source: Google Maps

## **1.3. METHODOLOGY**

This report sets out the comments received from the Heritage Council dated 02/12/2016. It also responds to the comments related to heritage set down in the response to the project prepared by the City of Sydney dated 13/12/2016.

This report does not include a site description or historical overview. Refer to the Heritage Impact Statement prepared by Urbis in September 2016.

## **1.4. AUTHOR IDENTIFICATION**

The following report has been prepared by Alexandria Barnier (Senior Consultant).

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

## **1.5. THE PROPOSAL**

In 2016 Urbis prepared a Heritage Impact Statement for the works proposed under the application MP 08\_0098 which relate to The SELS building. The only works assessed in that report were those that may have the potential to impact on the locally listed SELS building or the listed heritage items adjacent to the subject site. This potential was determined with consideration for whether the works would physically affect the items or whether they are in the visual catchment of the items. The works assessed in that document and which form the basis of this response are as follows:

- Level 00 SELS Fitout
- Level 00 SELS Retail Fitout
- Level 00 SELS Lighting
- Level 00 Porte Cochere Entry
- Level 00 Porte Cochere and Astral Lobby Upgrade
- Northern Porte Cochere Canopy
- Level 03 Pre Function Space and Pedestrian Access way to Sovereign Expansion

This report makes reference to the revised plans prepared by Point of View and DWP Suters, and the Lighting Strategy Methodology prepared by Urbis. A number of plans have been revised by DWP Suters which are relevant to this application, however only those plans which have been prepared for the purpose of responding to the heritage comments have been referenced herein.

## 2. RESPONSE – HERITAGE COUNCIL COMMENTS

The NSW Heritage Council provided comments on Modification 14 in their correspondence dated 02/12/2016.

The comments received by the Heritage Council are as follows:

- *The design of the proposed water feature, including its form, proportions, material and colour should sit well and engage harmoniously with the architectural style of The SELS building. More information and design detail should be submitted by the applicant to enable proper assessment.*  
**(Refer Section 2.1 below for discussion).**
- *Any proposed changes to the external lighting to The SELS building should be in keeping with the recommendations made in the Heritage Impact Statement report, by URBIS Pty Ltd. In addition, a mock-up of the proposed lighting effects to the The SELS building should be organised, on site, to be inspected and approved by a suitably qualified heritage consultant.*  
**(Refer Section 2.2 below for discussion).**
- *The design of the proposed Porte Cochere Canopy should, including its form, proportions, materials and colour, sit well and engage with the architectural style of The SELS Building. More information and detail design should be submitted by the applicant to enable proper assessment.*  
**(Refer Section 2.3 below for discussion).**
- *The proposed glazed balustrade F05 should be either clear glass or dark grey glass. It should not be in greenish coloured glass as indicated in the photomontage.*  
**(Refer Section 2.4 below for discussion).**
- *Proposed sovereign room expansion (roof top building) – this roof top glazed addition does not appear to sit well with its surrounds...Further input and careful consideration is required towards the design of the proposed building, keeping in mind the qualities of contrast, articulation, movement and depth evident in the existing heritage buildings, so that the overall proposed design engages well with the surrounding heritage context.*  
**(Refer Section 2.5 below for discussion).**

A response to each comment and reference to the relevant plans have been set out below in this section.

### 2.1. WATER FEATURE

The following plans have been prepared to address the Heritage Council comments relevant to the proposed water feature. These plans have been appended to this report:

- 303448\_A6411 prepared by DWP Suters (refer appendix C);
- 303457\_A3000 prepared by DWP Suters (refer appendix C); and
- 303457\_A4011 prepared by DWP Suters (refer appendix C).

The water feature has been designed such that it does not extend higher than the sill height of the first floor window openings on the eastern façade of The SELS. It has been sympathetically sited such that it sits minimally forward of the face brick return of the northern façade. This is in line with the Pre DA feedback received from the City of Sydney Council heritage advisor in 2016 and would mitigate the visual impact of the fountain on the primary (north) façade of The SELS.

Figure 2 – Extract of Water Feature Plan.



Source: DWP Suters Plan 303448\_A6411

## 2.2. LIGHTING STRATEGY

The following documents have been prepared to address the Heritage Council comments relevant to the proposed lighting strategy. These documents have been appended to this report:

- Lighting Renders Revision V1 prepared by Point of View (refer appendix A);
- Lighting Design – Western Elevation Revision C3 prepared by Point of View (refer appendix A);
- SELS Façade Details Revision V2 prepared by Point of View (refer appendix A); and
- Lighting Methodology Statement prepared by Urbis (refer appendix B).

The accompanying drawings have been provided as a mock up of the proposed lighting to The SELS. The lighting has been developed in accordance with the Dialux Render provided in Mod 14, the recommendations set down in the HIS by Urbis and with ongoing consultation with Urbis.

A methodology has been prepared by Urbis in collaboration with Point of View to ensure the appropriate treatment of the heritage item. In summary, the lighting strategy methodology ensures that the proposed strategy avoids penetrations into brick and stone fabric, and minimises the sizes of any penetrations through other fabric. The methodology statement also aims to minimise the visual impact of the light fittings and cabling.

It is considered that the proposed lighting strategy is appropriate in the context of the heritage item.

Figure 3 – Lighting Render – SELS Building



Source: Prepared by Point of View 03.02.2017

## 2.3. PORTE COCHERE CANOPY

The following plans has been prepared to address the Heritage Council comments relevant to the porte cochere canopy. These plans have been appended to this report:

- 303457\_A1005 prepared by DWP Suters (refer appendix C);
- 303457\_A1002 prepared by DWP Suters (refer appendix C); and
- 303457\_A2002 prepared by DWP Suters (refer appendix C).

## 2.4. GLAZED BALUSTRADE

The following plans has been prepared to address the Heritage Council comments relevant to the glazed balustrade. These plans have been appended to this report:

- 303457\_A0013 prepared by DWP Suters (refer appendix C).

The proposed glazed balustrade F05 would comprise dark grey glass. As this is not located in close proximity to the heritage item it is not considered that there would be any heritage impact.

Figure 4 – Extract from Photomontage and Finishes Schedule.



Source: DWP Suters Plan 303457\_A0013

## 2.5. SOVEREIGN ROOM EXPANSION

The following plan has been prepared to show the further articulation of the proposed pre-function space. It is considered that this space is that which has potential to impact on The SELS Building rather than the Sovereign Room Expansion to the east. The following revised plans have been appended to this report:

- 303457\_A0015 prepared by DWP Suters (refer appendix C).

The drawings have been revised such that the proposed pre-function space which is located to the east of The SELS is better articulated, giving it depth and making it more visually recessive in the context of the heritage item. Devices include:

- Horizontal and expressed mullions to visually break up the long-glazed plane;
- Expressed roof overhang to create depth and visual interest; and
- Vertical steel blades to the northern façade, introducing more solid elements to offset the completely glazed façade behind.

The space is proposed to be well buffered through soft landscaping along the western and northern facades.

It is considered that the revised drawings indicate a better architectural response in the context of the heritage item.

Figure 5 – Pre-Function Space Photomontage.



Source: DWP Suturs Plan 303457\_A0015

### 3. RESPONSE – CITY OF SYDNEY COUNCIL COMMENTS

The heritage advisor from the City of Sydney Council provided comments on the proposed plans in the correspondence dated 13/12/2016.

The comments received by the City of Sydney Council relevant to heritage are set out below:

- *The level of detail in the MOD 14 drawings is inadequate to determine what is being proposed and to assess the impact of the works. The proposed works to The SELS building should be shown clearly on drawings, at least at a scale of 1:100 at A3.*  
**(Refer Section 3.1 below for discussion).**
- *Fitout to the retail tenancy in the SELS Building is subject to “future detail” and should be the subject of a separate DA.*  
**(Refer Section 3.2 below for discussion).**
- *In terms of plaza space in front of the retail tenancy, details including paving, walls, seating, landscaping, lighting and the like should be shown on drawings. The proposed glazed balustrade F05 should be either clear glass or dark grey glass. It should not be in greenish coloured glass as indicated in the photomontage.*  
**(Refer Section 3.3 below for discussion).**
- *The replacement awnings to the retail tenancy are supported in principle subject to them being designed to fit within the recessed section of the brickwork. More detail drawings are required showing full details of the awning including location, fixings, framing and the type and colour of awning fabric.*  
**(Refer Section 3.4 below for discussion).**
- *In relation to the new ceilings in the northern Porte Cochere near the SELS Building, there should be sections showing details of what is proposed.*  
**(Refer Section 3.5 below for discussion).**
- *In relation to proposed lighting to the Pyrmont Street façade of the SELS Building, the report by Point of View includes a drawing “to convey design intent only” but the details are not shown on the submitted plans.*  
**(Refer Section 3.6 below for discussion).**
- *With regard to the arrival lounge, the demolition plan is unreadable and the proposed changes are difficult to decipher. Clear detail of the demolition and the changes being proposed should be shown on the drawings, including section, which should include the extent of demolition, lightweight construction of the new partition for the butler’s pantry and other changes to the room layout, removal of the suspended ceiling, details of screening etc.*  
**(Refer Section 3.7 below for discussion).**
- *In relation to the proposed water feature and sculpture on the porte cochere side of the SELS building, no details have been submitted on the drawings for this feature. In pre DA advice given by the City to The Star, the City recommended that to reduce its visual impact on the SELS building the water feature structure should be no forward of the line of the face brick return of the SELS building and be reduced in height such that the top of it is no higher than the base of the sill of the first floor double hung sash window within this brick return section of the building.*  
**(Refer Section 3.8 below for discussion).**
- *It would be useful if the updated CMP for the SELS Building, prepared by Urbis, was submitted with the application at the Response to Submission Stage.*  
**(Refer Section 3.10 below for discussion).**
- *The recommendations in Section 6 of the Heritage Impact Statement should be imposed as conditions of any consent granted:*
  - *If any original timber flooring is found under the carpet in The SELS during the construction work of the Arrival Lounge, this should be retained either below the new floor finishes or incorporated into the new finishes for the space.*

- *The existing tiles on the southern façade of the ground floor bathroom should be incorporated into the finishes schedule for the Arrival Lounge or retained behind the proposed finishes.*
- *All works for the new Butler's Pantry will be through lightweight reversible partitions and a low ceiling so that existing hallway cornice can be viewed and the works can be removed in the future with minimal damage to the fabric.*
- *The proposed new awnings on the northern façade should be designed to fit within the existing arched brick recesses of the façade.*
- *An appropriate methodology should be established for the lighting of the primary façade, which does not require significant penetrations or chasing into original fabric.*
- *Where possible, penetrations for electricity supply to the lights, or for fixing the replacement awnings on the northern façade, should be made through mortar joints rather than through the original bricks.*
- *Fixings to the masonry for the new lighting or for the replacement awnings on the northern façade should allow for future removal of these features with minimal impact on the heritage fabric.*

**(Refer Section 3.9 below for discussion).**

A response to each comment and reference to the relevant plans have been set out below in this section.

### **3.1. REVISION OF DRAWINGS**

Drawings specific to The SELS building have been provided at a scale of 1:100@A1. Refer to the following drawings:

- 303457\_A3000 prepared by DWP Suters (refer appendix C); and
- 303457\_A2002 prepared by DWP Suters (refer appendix C).

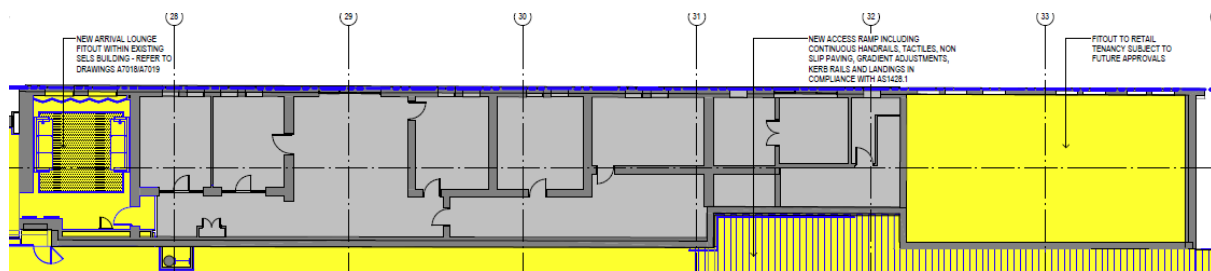
### **3.2. RETAIL TENANCY FITOUT**

The following plan has been prepared to address the CoS comment relevant to the retail tenancy fitout. These plans have been appended to this report:

- 303457\_A3000 prepared by DWP Suters (refer appendix C); and
- 303457\_A2000 prepared by DWP Suters (refer appendix C).

Any fitout to the tenancy will be the responsibility of the future tenants and will be addressed as part of a future applications. Under this application, it is proposed only to remove the existing contemporary fitout. This will have no heritage impact.

Figure 6 – Extract from proposed ground floor plan to SELS.



Source: DWP Suturs Plan 303457\_A3000

### 3.3. NORTHERN PLAZA SPACE

There are no changes proposed in this space as part of this application.

### 3.4. REPLACEMENT AWNINGS

The following plan has been prepared to address the CoS comment relevant to the replacement awnings. These plans have been appended to this report:

- 303457\_A0015 prepared by DWP Suturs (refer appendix C); and
- 303457\_A4011 prepared by DWP Suturs (refer appendix C).

Revised drawings have been provided to indicate the details of the awning. The awning would sit within the recesses in the façade. The awning would be domed which would respect the arched character of the windows above. The fabric is proposed to be black and white striped.

Figure 7 – Extract from Pre-Function Space Photomontage.



Source: DWP Suturs Plan 303457\_A0015

### **3.5. PORTE COCHERE CEILING**

The following plans have been prepared to address the CoS comments relevant to the porte cochere canopy. These plans have been appended to this report:

- 303457\_A1005 prepared by DWP Suters (refer appendix C);
- 303457\_A1002 prepared by DWP Suters (refer appendix C); and
- 303457\_A2002 prepared by DWP Suters (refer appendix C).

### **3.6. LIGHTING STRATEGY**

The following documents have been prepared to address the Heritage Council comments relevant to the proposed lighting strategy. These documents have been appended to this report:

- Lighting Renders Revision V1 prepared by Point of View (refer appendix A);
- Lighting Design – Western Elevation Revision C3 prepared by Point of View (refer appendix A);
- SELS Façade Details Revision V2 prepared by Point of View (refer appendix A); and
- Lighting Methodology Statement prepared by Urbis (refer appendix B).

The accompanying drawings have been provided as a mock up of the proposed lighting to The SELS. The lighting has been developed in accordance with the Dialux Render provided in Mod 14, the recommendations set down in the HIS by Urbis and with ongoing consultation with Urbis.

A methodology has been prepared by Urbis in collaboration with Point of View to ensure the appropriate treatment of the heritage item. In summary, the lighting strategy methodology ensures that the proposed strategy avoids penetrations into brick and stone fabric, and minimises the sizes of any penetrations through other fabric. The methodology statement also aims to minimise the visual impact of the light fittings and cabling.

It is considered that the proposed lighting strategy is appropriate in the context of the heritage item.

### **3.7. ARRIVAL LOUNGE**

The following documents have been prepared to address the CoS comments relevant to the proposed arrival lounge. These documents have been appended to this report:

- 303457\_A3000 prepared by DWP Suters (refer appendix C);
- 303457\_A2000 prepared by DWP Suters (refer appendix C);
- 303448\_A7018 prepared by DWP Suters (refer appendix C); and
- 303448\_A7019 prepared by DWP Suters (refer appendix C).

The demolition plan has been provided at a scale of 1:100@A1 and the new works have been represented in revised drawings.

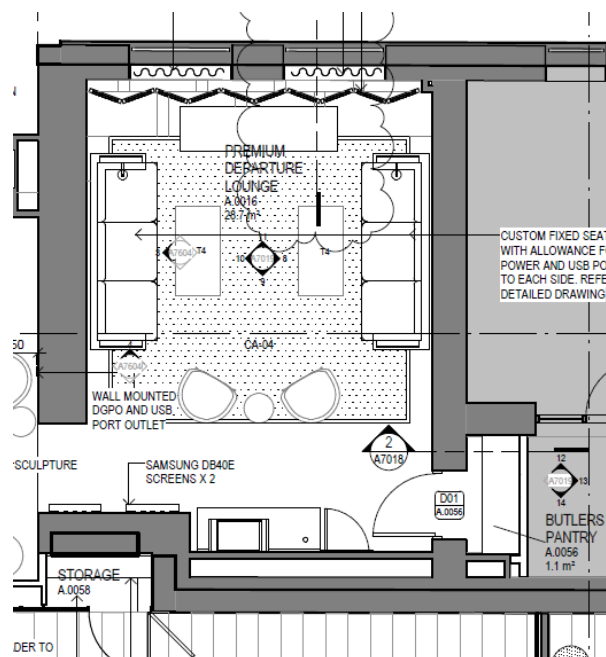
In summary, the proposal requires the demolition of later fabric including partition walls and suspended ceiling. Allowance is made for the retention of any original flooring or ceilings found during the works behind the proposed finishes/ceiling.

The new works largely include the addition of freestanding furniture into the room. The new butler's pantry would be lightweight and would not obscure the significant original door to the adjacent room.

The new ceiling would be at an appropriate height which would clear the head height of the windows and their detail on the western wall.

It is considered that these works would not have a detrimental heritage impact.

Figure 8 – Extract from VIP Lounge Plan.



Source: DWP Suters Plan 303448\_A7018

### 3.8. WATER FEATURE

The following plans have been prepared to address the CoS comments relevant to the proposed water feature. These plans have been appended to this report:

- 303448\_A6411 prepared by DWP Suters (refer appendix C); and
- 303457\_A3000 prepared by DWP Suters (refer appendix C).

The water feature has been designed such that it is not higher than the sill height of the first floor window openings on the eastern façade of The SELS. It has been sympathetically sited such that it sits minimally forward of the face brick return of the northern façade. This is in line with the Pre DA feedback received from the City of Sydney Council Heritage advisor in 2016 and would mitigate the visual impact of the fountain on the primary (north) facade.

### 3.9. HERITAGE IMPACT STATEMENT RECOMMENDATIONS

In 2016 Urbis prepared a Heritage Impact Statement for the proposed works which included a number of recommendations to ensure the appropriate treatment of the fabric. CoS has requested confirmation that the recommendations have been implemented in the revised drawings.

The recommendations are set out individually in bold italics below. Below each is a discussion of the revised drawings and their response to the recommendation.

***If any original timber flooring is found under the carpet in The SELS during the construction work of the Arrival Lounge, this should be retained either below the new floor finishes or incorporated into the new finishes for the space.***

Provision is made for the retention of any original flooring if it is found during works (refer 303457\_A3000 prepared by Suters).

***The existing tiles on the southern façade of the ground floor bathroom should be incorporated into the finishes schedule for the Arrival Lounge or retained behind the proposed finishes.***

Provision is made for the retention of the tiles if they are found to be original (refer 303457\_A3000 prepared by DWP Suters).

***All works for the new Butler's Pantry will be through lightweight reversible partitions and a low ceiling so that existing hallway cornice can be viewed and the works can be removed in the future with minimal damage to the fabric.***

The Butler's Pantry would be constructed of lightweight reversible partitions (refer 303448\_A7018 prepared by DWP Suters).

***The proposed new awnings on the northern façade should be designed to fit within the existing arched brick recesses of the façade.***

The new awnings would fit within the existing arched brick recesses (refer 303448\_A7018 prepared by DWP Suters).

***An appropriate methodology should be established for the lighting of the primary façade, which does not require significant penetrations or chasing into original fabric.***

***Where possible, penetrations for electricity supply to the lights, or for fixing the replacement awnings on the northern façade, should be made through mortar joints rather than through the original bricks.***

***Fixings to the masonry for the new lighting or for the replacement awnings on the northern façade should allow for future removal of these features with minimal impact on the heritage fabric.***

A methodology statement has been prepared by Urbis in collaboration with Point of View to ensure the appropriate treatment of the heritage item. In summary, the lighting strategy methodology ensures that the proposed strategy avoids penetrations into brick and stone fabric, and minimises the sizes of any penetrations through other fabric. The methodology statement also aims to minimise the visual impact of the light fittings and cabling.

It is considered that the proposed lighting strategy is appropriate in the context of the heritage item.

### **3.10. CONSERVATION MANAGEMENT PLAN**

Urbis has completed an update of the 1994 Tanner and Associates Conservation Management Plan for the building. This Conservation Management Plan will be submitted with this application *for information only*.



## **4. CONCLUSION**

In summary, it is considered that the revised plans prepared by DWP Suters and Point of View indicate that there will be no detrimental heritage impact on the heritage listed item as a result of the proposed works. The methodology statement prepared by Urbis for the implementation of the lighting strategy would ensure the appropriate treatment of the fabric, and the Conservation Management Plan will guide future development to ensure the significant values and fabric are retained.

The proposed works are therefore supported from a heritage perspective.

# DISCLAIMER

This report is dated 3 March 2017 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of Star Entertainment Group (**Instructing Party**) for the purpose of Heritage Response (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

In preparing this report, Urbis may rely on or refer to documents in a language other than English, which Urbis may arrange to be translated. Urbis is not responsible for the accuracy or completeness of such translations and disclaims any liability for any statement or opinion made in this report being inaccurate or incomplete arising from such translations.

Whilst Urbis has made all reasonable inquiries it believes necessary in preparing this report, it is not responsible for determining the completeness or accuracy of information provided to it. Urbis (including its officers and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which Urbis relies, provided that such errors or omissions are not made by Urbis recklessly or in bad faith.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.



# APPENDICES

# **APPENDIX A      LIGHTING STRATEGY**

**PREPARED BY POINT OF VIEW – FEBRUARY 2017**



## LIGHTING RENDERS

**SELS HERITAGE FACADE  
THE STAR, SYDNEY  
STAR ENTERTAINMENT GROUP**

03.02.2017 // REVISION: V1

LIGHTING & AUDIOVISUAL DESIGN

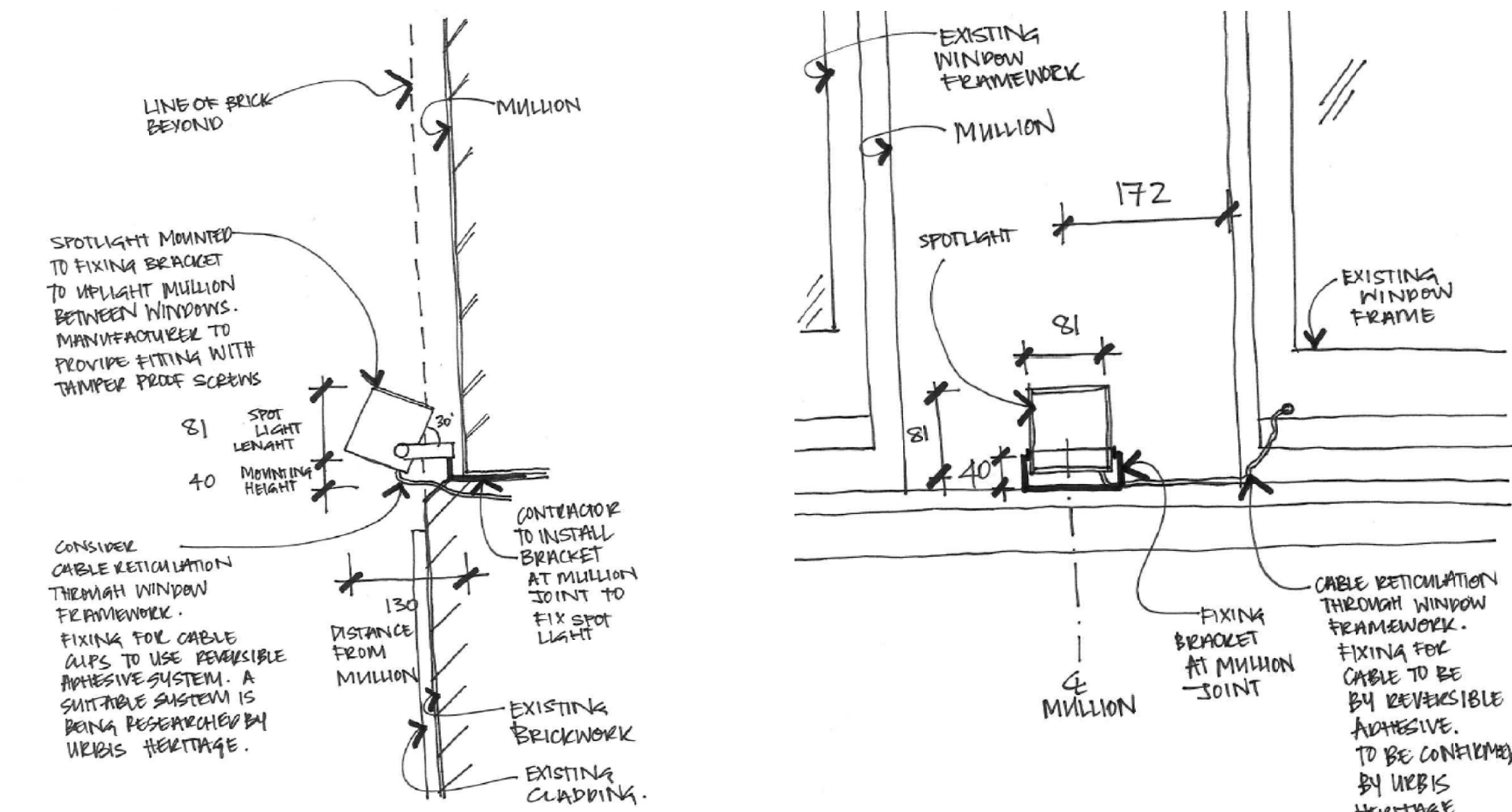




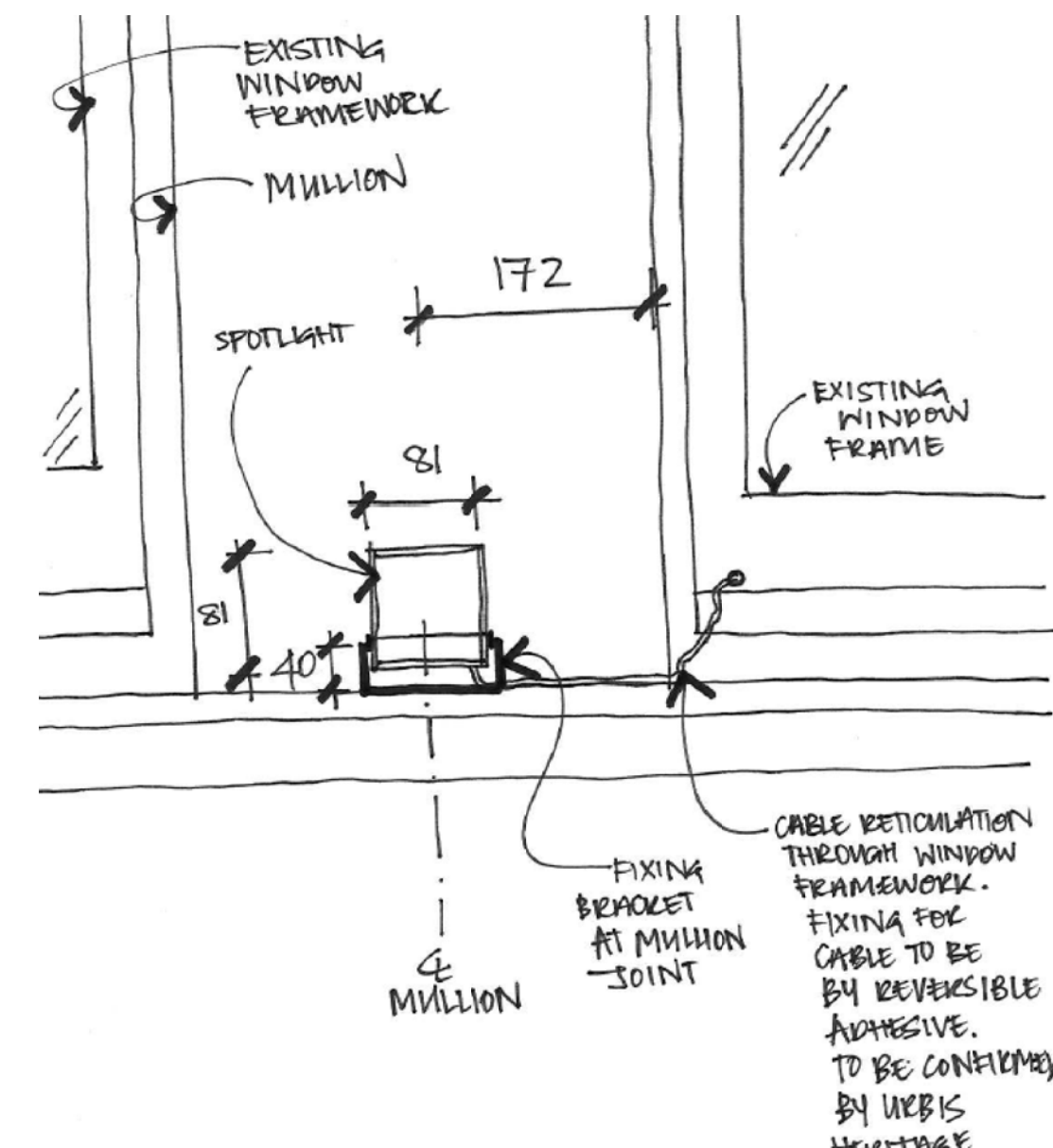




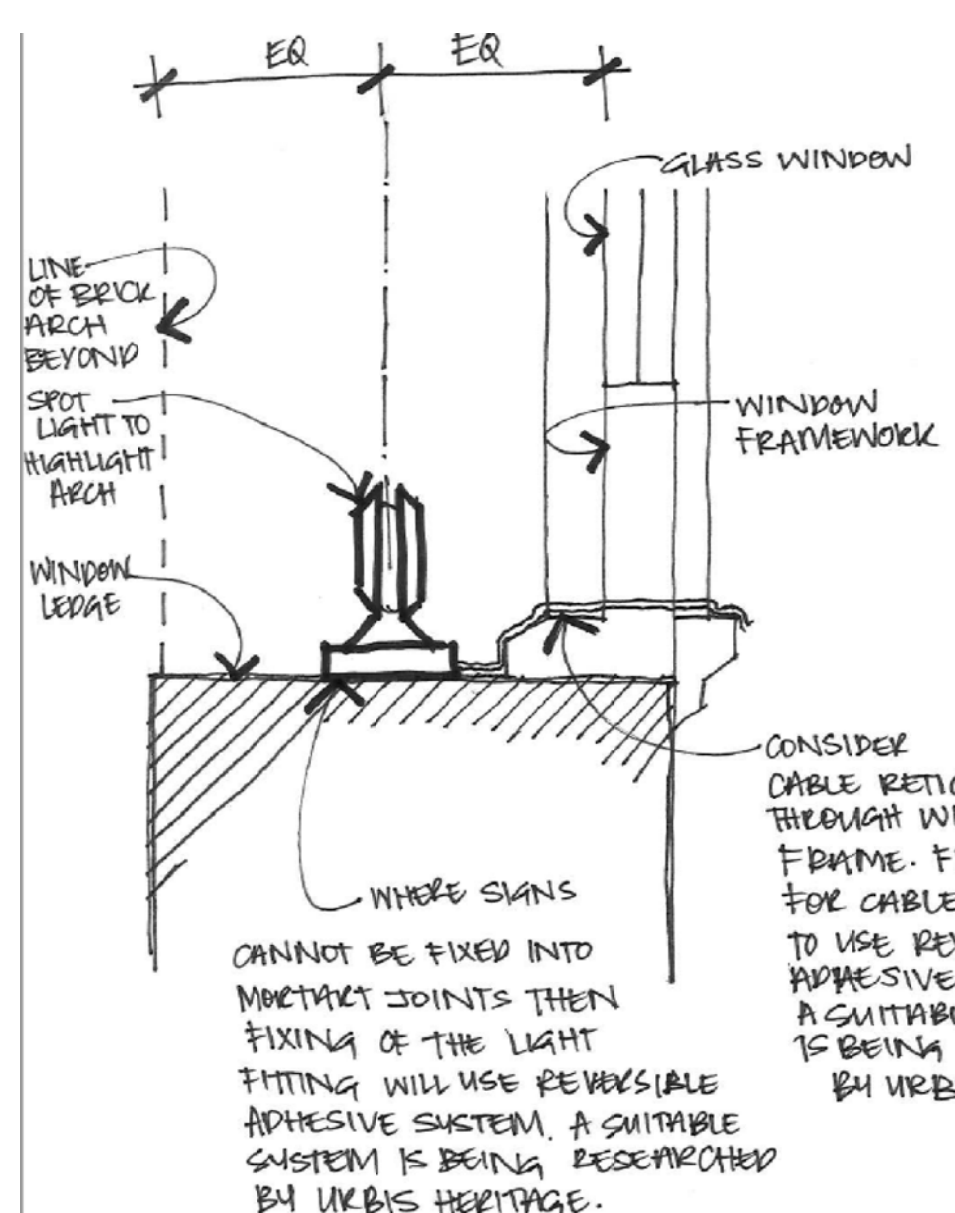




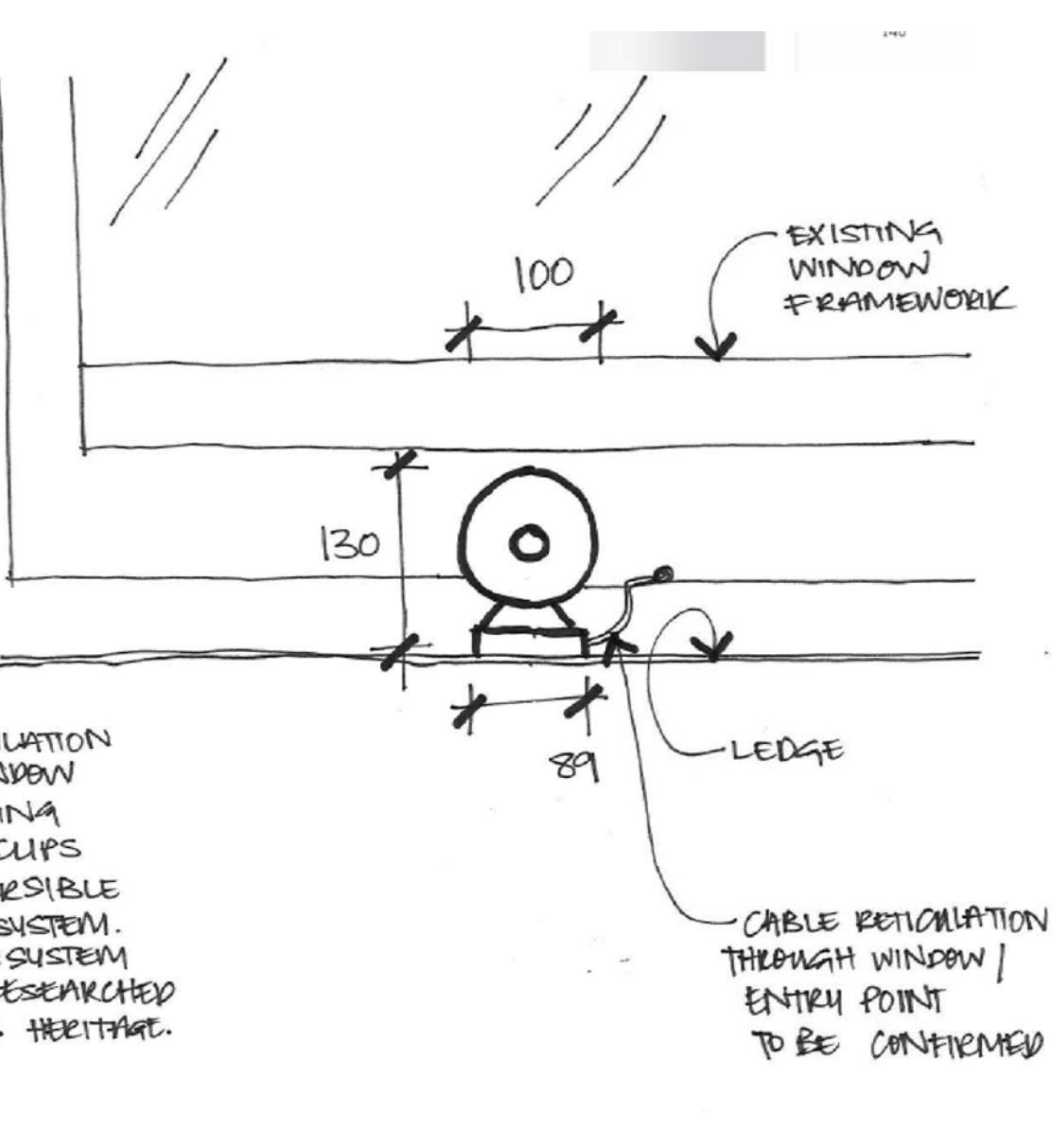
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1404 SCALE N/A



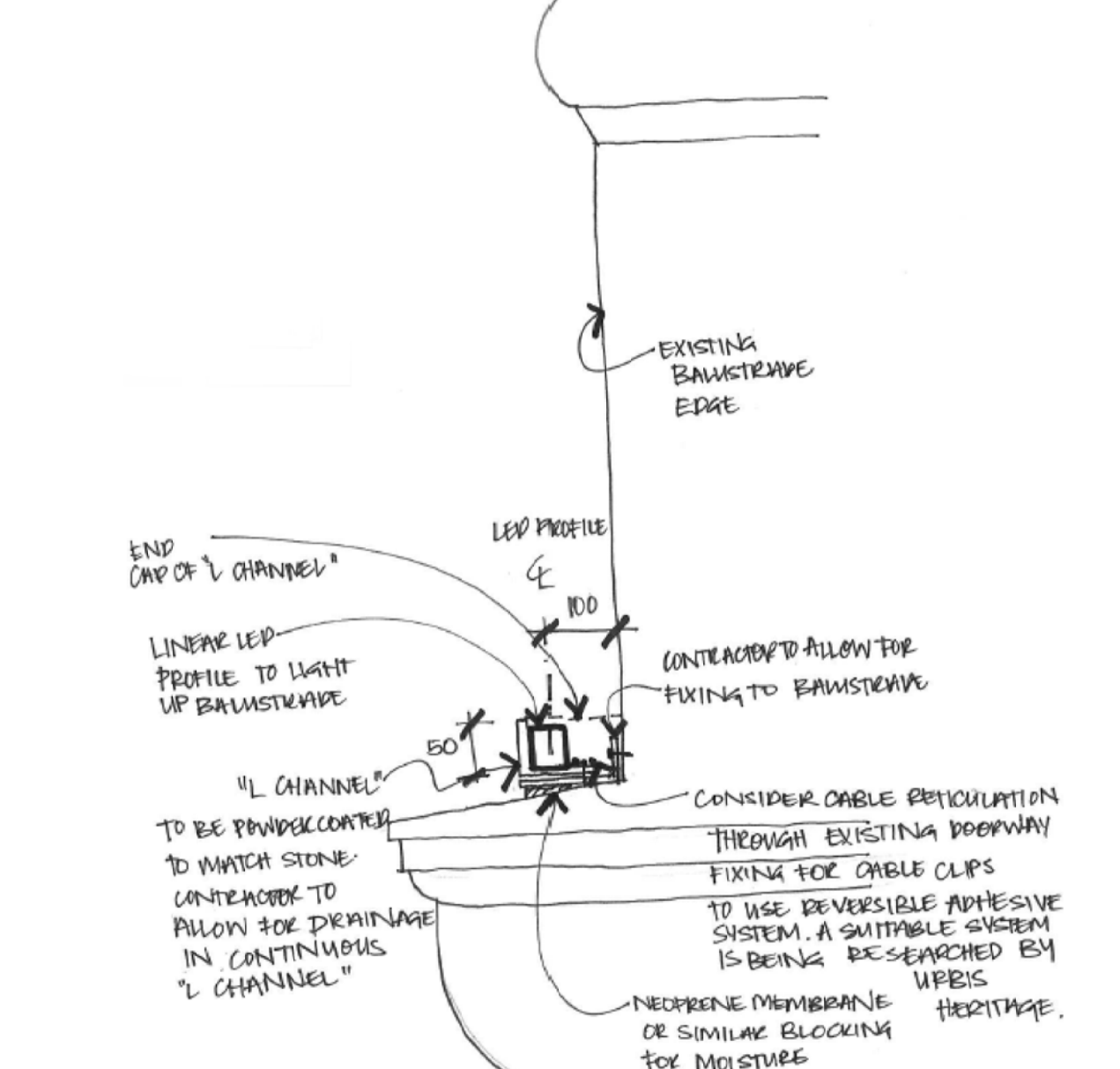
01A SPOTLIGHT TO MULLION - ELEVATION  
1404 SCALE N/A



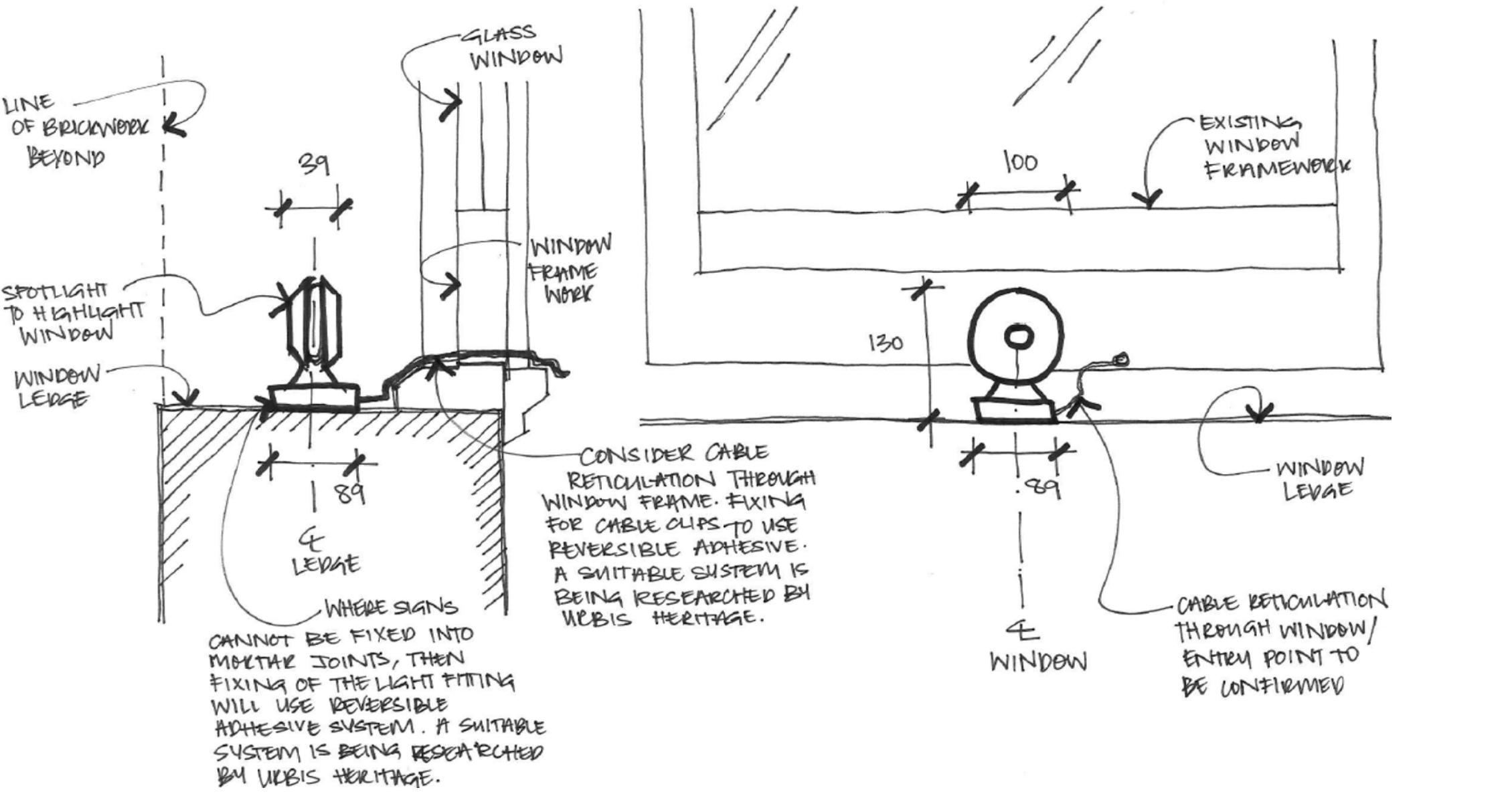
02 SPOTLIGHT TO ARCHES - SECTION  
1404 SCALE N/A



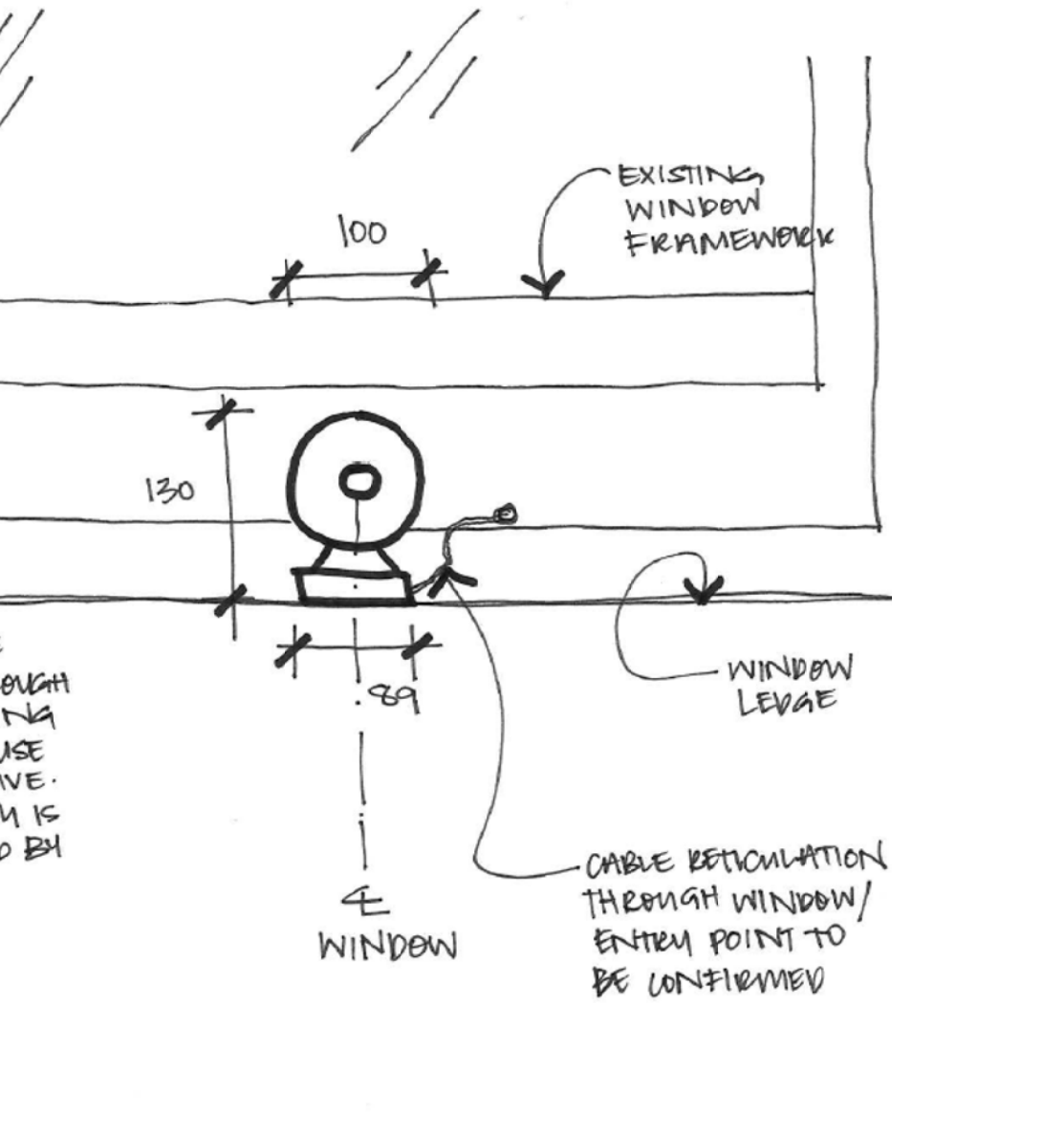
02A SPOTLIGHT TO ARCHES - ELEVATION  
1404 SCALE N/A



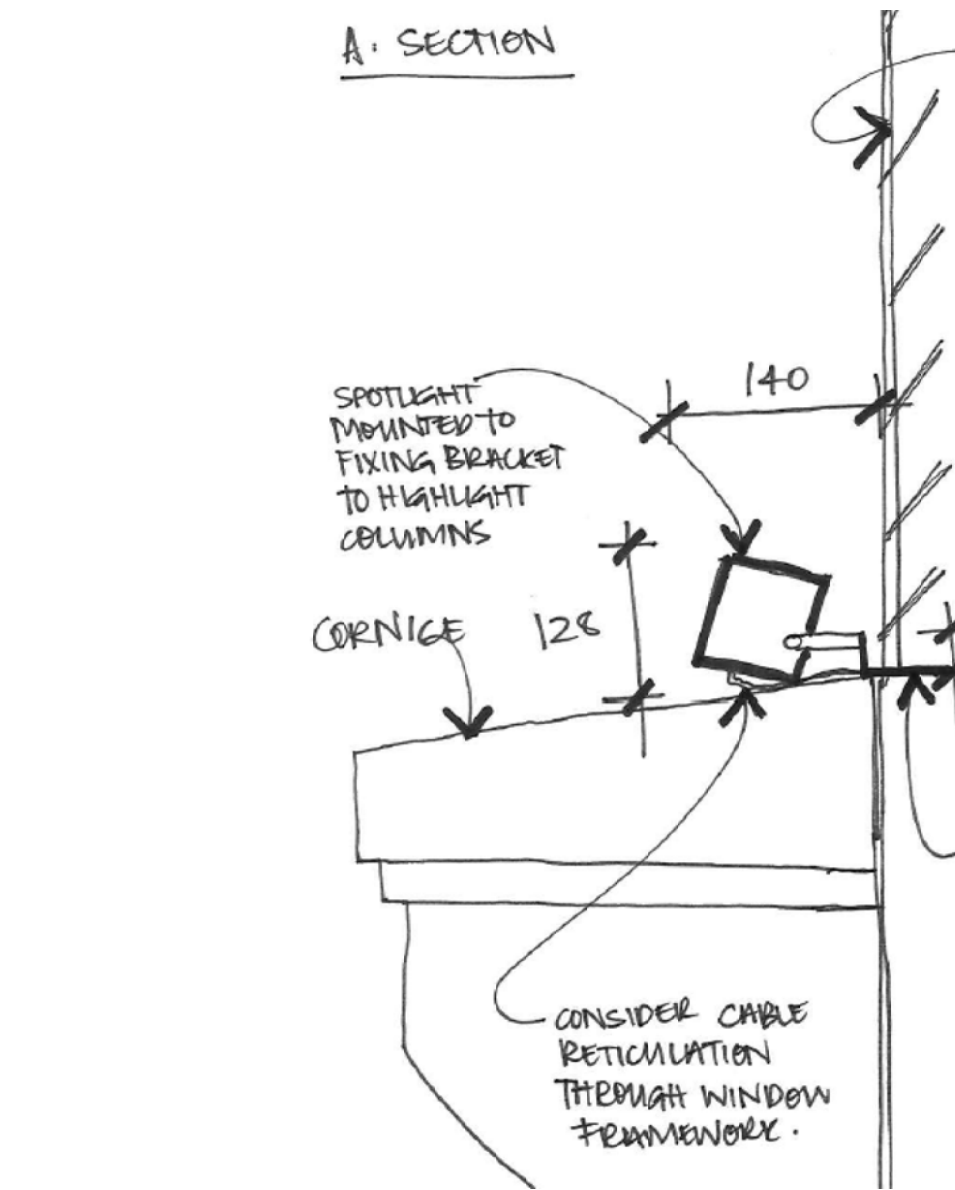
03 LINEAR LED TO BALUSTRADE - SECTION  
1404 SCALE N/A



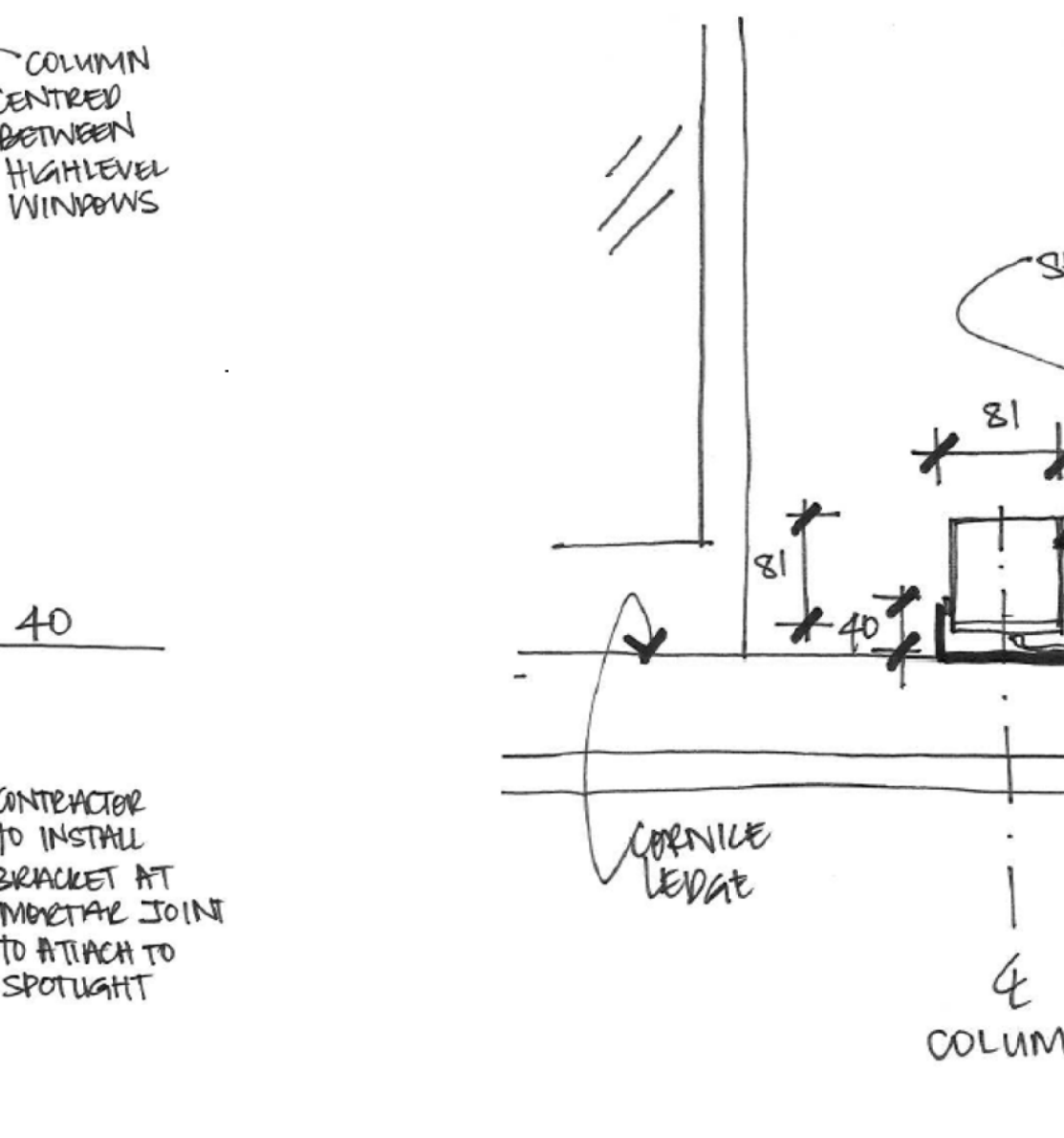
04 SPOTLIGHT TO FRAME WINDOWS - SECTION  
1404 SCALE N/A



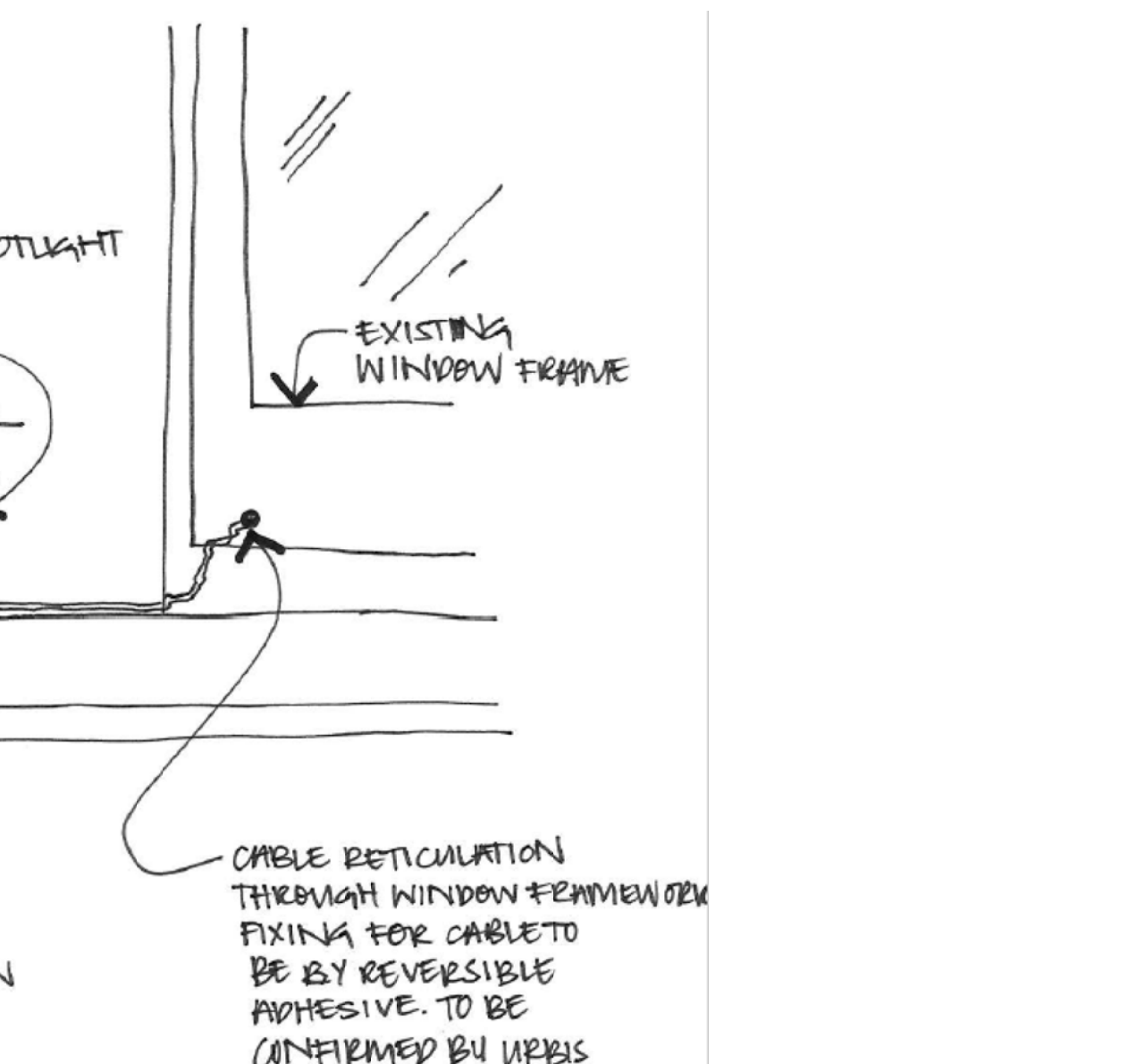
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1404 SCALE N/A



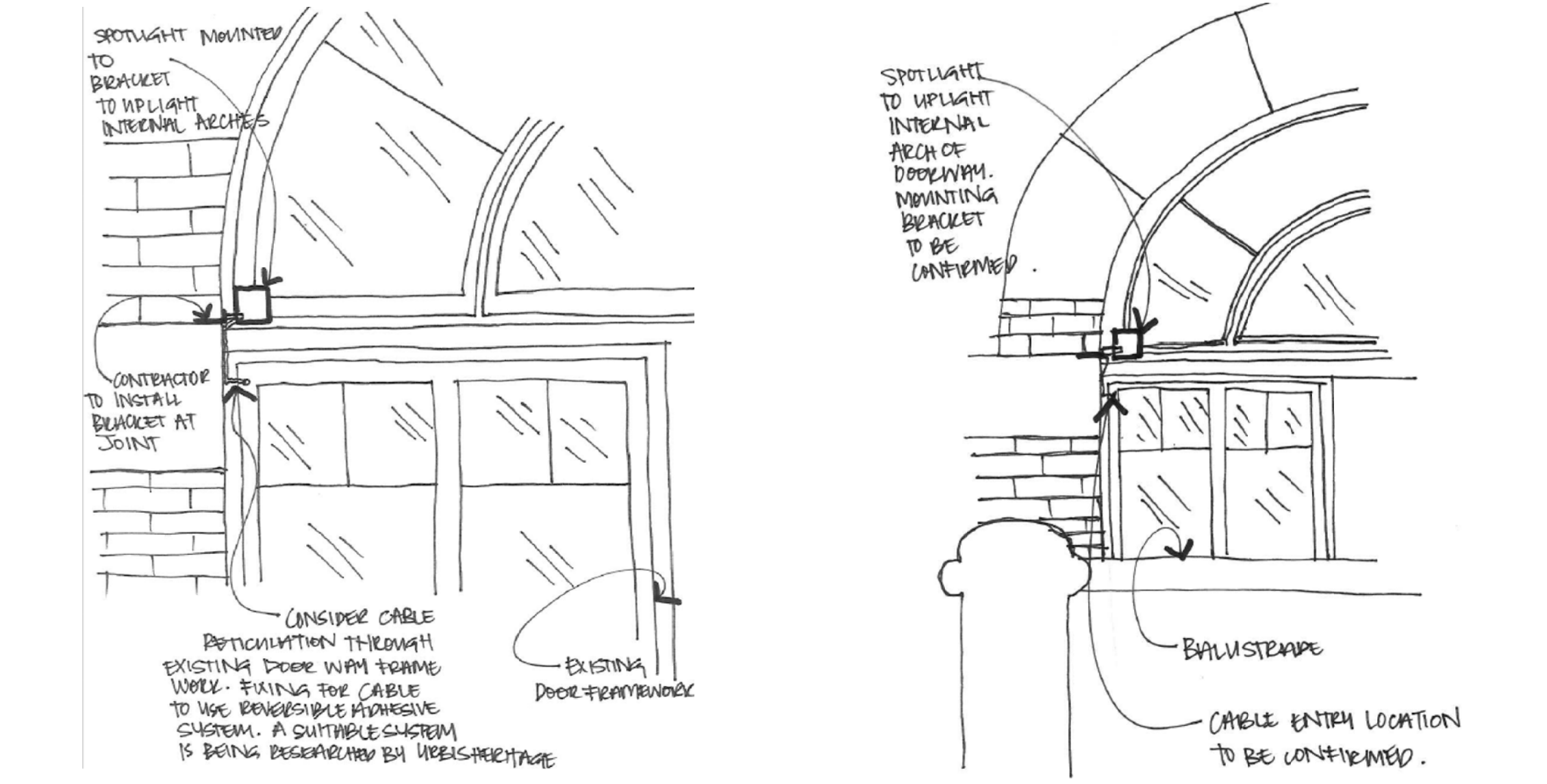
05 SPOTLIGHT TO COLUMNS - SECTION  
1404 SCALE N/A



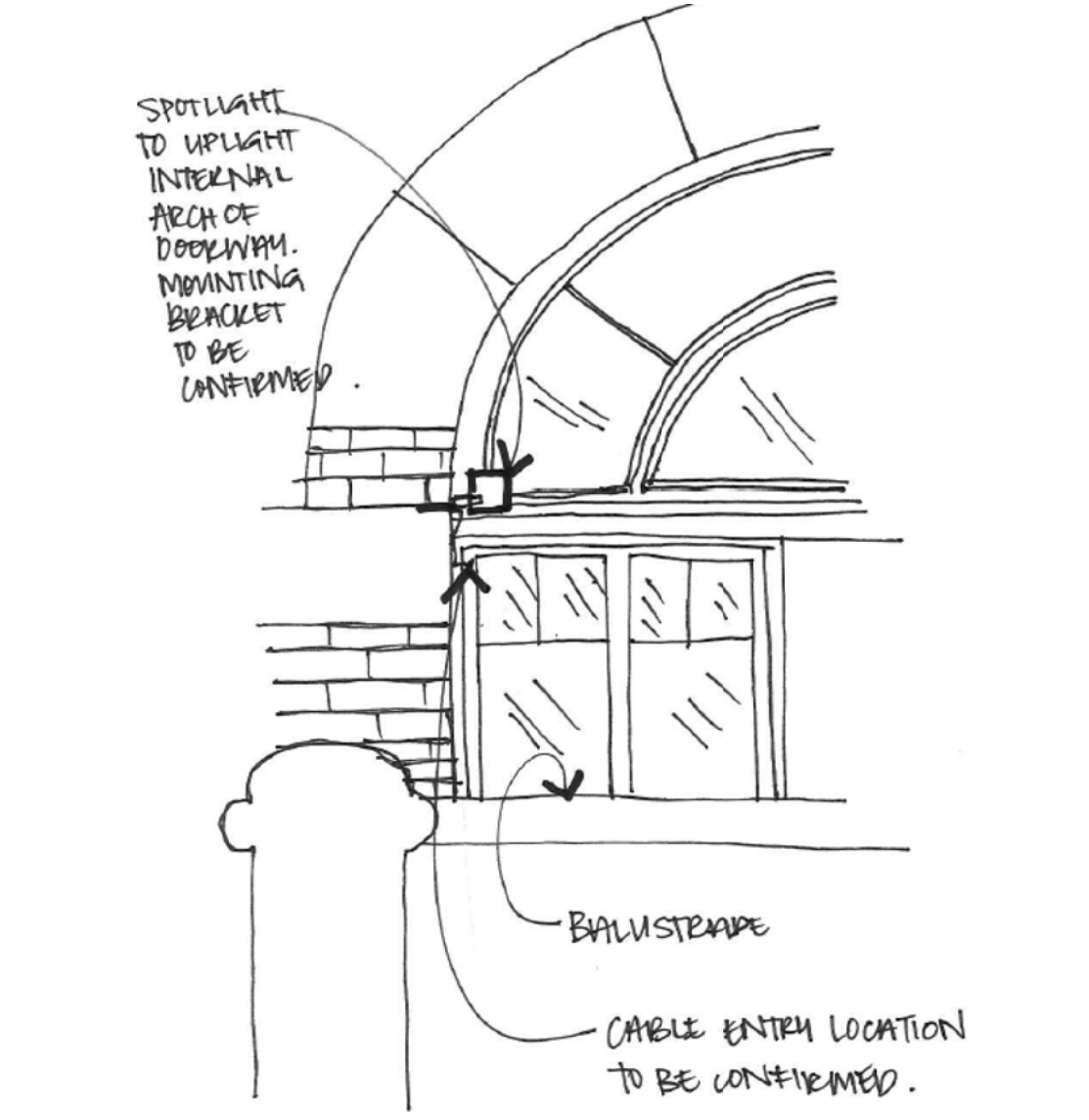
05A SPOTLIGHT TO COLUMNS - ELEVATION  
1404 SCALE N/A



05A SPOTLIGHT TO COLUMNS - ELEVATION  
1404 SCALE N/A



06 SPOTLIGHT DOOR ARCHES - ELEVATION  
1404 SCALE N/A



06A SPOTLIGHT DOOR ARCHES - ELEVATION  
1404 SCALE N/A

HERITAGE FACADE DETAILS AS PER  
J3117-SL-SELS Facade Details [V2]  
ISSUED TO URBIS 2017.01.17

|                                                                                                                                                                                                                                                                                                                                                         |                    |       |                             |     |                                  |      |      |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|-------|-----------------------------|-----|----------------------------------|------|------|
| CONSTRUCTION COORDINATION                                                                                                                                                                                                                                                                                                                               |                    | L K   |                             | IB  |                                  |      |      |
| DESCRIPTION                                                                                                                                                                                                                                                                                                                                             |                    | BY    |                             | CHK |                                  |      |      |
| APPLICATION                                                                                                                                                                                                                                                                                                                                             | ARCHITECTURAL      | -A    | COMPACT FLUORESCENT         | -C  | Specification supplied by others | FFAE | -AE  |
|                                                                                                                                                                                                                                                                                                                                                         | HOLLAND            | -U    | LINEAR/CIRCULAR FLUORESCENT | -C  | EFFECT / GLOBE PROJECTORS, ETC.  |      | -FX  |
|                                                                                                                                                                                                                                                                                                                                                         | CEILING MOUNT      | -C    | LED                         | -G  | RE-USE EXISTING PRODUCTS         |      | -R   |
|                                                                                                                                                                                                                                                                                                                                                         | DOWNLIGHT          | -D    | LOW VOLTAGE HALOGEN         | -H  | TRACE                            |      | -TR  |
|                                                                                                                                                                                                                                                                                                                                                         | FLOOR STAND        | -F    | LED                         | -L  | CUSTOM / FEATURE LIGHTING OBJECT |      | -Z   |
|                                                                                                                                                                                                                                                                                                                                                         | FIRE OPTIC         | -FO   | METAL HALIDE                | -H  | DIMMERS                          |      | -DM  |
|                                                                                                                                                                                                                                                                                                                                                         | PENDANT            | -P    | NEON / COLD CATHODE         | -N  | LIGHTING CONTROL PANEL           |      | -DDP |
|                                                                                                                                                                                                                                                                                                                                                         | POST TOP           | -PT   | 240V HALOGEN                | -H  | LIGHTING / PROGRAMMABLE SOCKET   |      | -DPS |
|                                                                                                                                                                                                                                                                                                                                                         | SPOT/TRACE mount-S | -S    | SODIUM                      | -S  | DIMMED GPO                       |      | -DLS |
|                                                                                                                                                                                                                                                                                                                                                         | TABLE LAMP         | -T    | MERCURY VAPOUR              | -V  | DIMMER SENSOR                    |      | -DS  |
| WALL LIGHT                                                                                                                                                                                                                                                                                                                                              | -W                 | XENON | -X                          |     |                                  |      |      |
| LEGEND                                                                                                                                                                                                                                                                                                                                                  |                    | OTHER |                             |     |                                  |      |      |
| NOTES                                                                                                                                                                                                                                                                                                                                                   |                    |       |                             |     |                                  |      |      |
| NOTES                                                                                                                                                                                                                                                                                                                                                   |                    |       |                             |     |                                  |      |      |
| CONSULTANT                                                                                                                                                                                                                                                                                                                                              |                    |       |                             |     |                                  |      |      |
| ARCHITECT                                                                                                                                                                                                                                                                                                                                               |                    |       |                             |     |                                  |      |      |
| CONSULTANT                                                                                                                                                                                                                                                                                                                                              |                    |       |                             |     |                                  |      |      |
| <div> <b>POINT OF VIEW</b></div> <div>Level 3, 207 Clarence Street, Sydney, NSW, 2000, Australia<br/>P +61 2 2818 6355 E sydney@pov.com.au</div> <div>Unit 5, 15 Vera Street, Collingwood, VIC, 3066, Australia<br/>P +61 3 9017 4161 E melbourne@pov.com.au</div> |                    |       |                             |     |                                  |      |      |
| DRAWING                                                                                                                                                                                                                                                                                                                                                 |                    |       |                             |     |                                  |      |      |
| THE STAR CASINO, SYDNEY<br>ASTRAL HOTEL LOBBY & PORTE COCHERE<br>LIGHTING DESIGN<br>DETAIL SHEET 5 - SELS BUILDING<br>SCALE 1:100 PROJ. No. J3117 DWG No. SL-1403                                                                                                                                                                                       |                    |       |                             |     |                                  |      |      |

# **APPENDIX B      LIGHTING STRATEGY - METHODOLOGY STATEMENT**

**PREPARED BY URBIS – FEBRUARY 2017**

16 February 2017

## **THE SELS BUILDING, PYRMONT - LIGHTING METHODOLOGY STATEMENT**

This Methodology Statement has been prepared in order to set out the appropriate methodology for installing the proposed atmospheric façade lighting to the Former Sydney Electric Lighting Station Building (hereafter The SELS) on Pyrmont Street, Pyrmont. The lighting design has been undertaken by Point of View lighting designers.

The document has been prepared by Alexandria Barnier, Senior Consultant at Urbis Heritage. The report was reviewed by Mary Knaggs, Senior Consultant (Heritage Architect).

These works form part of an application which has been submitted to the NSW Department of Planning (Modification to Part 3A approval MP 08\_0098). The application was referred to the City of Sydney Heritage Adviser, among others, for comment. This letter has been prepared in response to the following comment set out in that correspondence, dated 13 December 2016.

### **5. Heritage Conservation**

*a) A methodology for lighting the Pyrmont Street façade of The SELS Building, prepared with input from the Applicant's heritage consultant, addressing matters such as:*

- *Penetration*
- *Fixings*
- *Cabling*
- *Avoiding chasing in brickwork*
- *Location of lighting*

This statement is based on the following plans prepared by Point of View:

- |                                              |             |            |
|----------------------------------------------|-------------|------------|
| • Lighting Renders                           | Revision V1 | 03.02.2017 |
| • Lighting Design – Exterior Façade Lighting | Revision C3 |            |
| • SELS Façade Details J3117                  | Revision C1 | 17.01.2017 |

There are six different types of lights proposed for the lighting of The SELS facades. The locations of these lights are identified on the drawing – Lighting Design – Exterior Façade Lighting. Set out below is a description of and methodology for the installation of each of the proposed lighting typologies including penetration, fixings and cabling.

Please note that the advice set down below should be read in conjunction with advice from the relevant manufacturers.

## Generally

The Pymont Street façade of the SELS building has been assessed as being of exceptional heritage significance. Therefore, the installation of the new façade lighting needs to respect this significance and be installed so that it can be changed or removed in the future with no or minimal change to original and significant building fabric.

The general approach includes the following:

- All contractors are to receive heritage induction prior to working on site.
- Minimise the visual impact of the light fittings and cabling.
- Install fittings and cabling using either reversible fixings such as appropriate adhesives; or use stainless steel 316 or non-ferrous fixings into mortar joints.
- Fixings for cable clips to use a reversible adhesive system. The sourcing of an appropriate reversible adhesive system is to be researched (e.g. in consultation with 3M). Manufacturer's instructions for specified product to be read in conjunction with this methodology. Localised priming may be necessary to decrease the porosity of any stone – this should be minimised.
- Avoid finishes and materials that may stain the heritage façade.
- Avoid penetrations into brick and stone fabric.
- Minimise the size of any façade penetrations through other fabric (i.e. mortar or joinery)
- Internally cabling to use existing services routes such as the applied metal cable skirtings. Where vertical runs are needed, they shall be vertical and discretely placed and not cut into the heritage fabric.
- Remote gear is to be positioned internally at skirting level (or in adjacent cupboards) and not mechanically fixed to heritage fabric.
- Where there is any doubt as to a suitable approach the advice of the heritage consultant will be sought before proceeding.
- Finish: The brackets and fitting to be finished in custom high quality paint finish. The finish should be a matte recessive colour (e.g. medium grey). A sample should be submitted to the heritage consultant for approval prior to manufacture.

## Adjacent heritage fabric – protect & repair

When installing the lights and cabling:

- protect heritage fabric and all glazing (and particular leadlight glazing) from accidental damage during the installation.
- check over adjacent mortar joints and repoint damaged or deteriorating mortar joints as directed by the heritage consultant prior to fixing the new lighting system.
- check over adjacent timber joinery elements (e.g. timber window sills) and prepare and repaint as directed by the heritage consultant prior to fixing the new lighting system.
- paint any surface mounted cables or conduits to match the background fabric without damage to that fabric.

## Detail 01/Type SL5

Detail 01/Type SL5 constitutes a spotlight mounted to ss 316 bracket to up light sandstone mullion between windows (refer Figure 1).

### Fixing

Light fitting bracket to be fixed at the mortar joint between the stone mullion and the stone sill.

Cabling to use a reversible adhesive system.

### Cabling

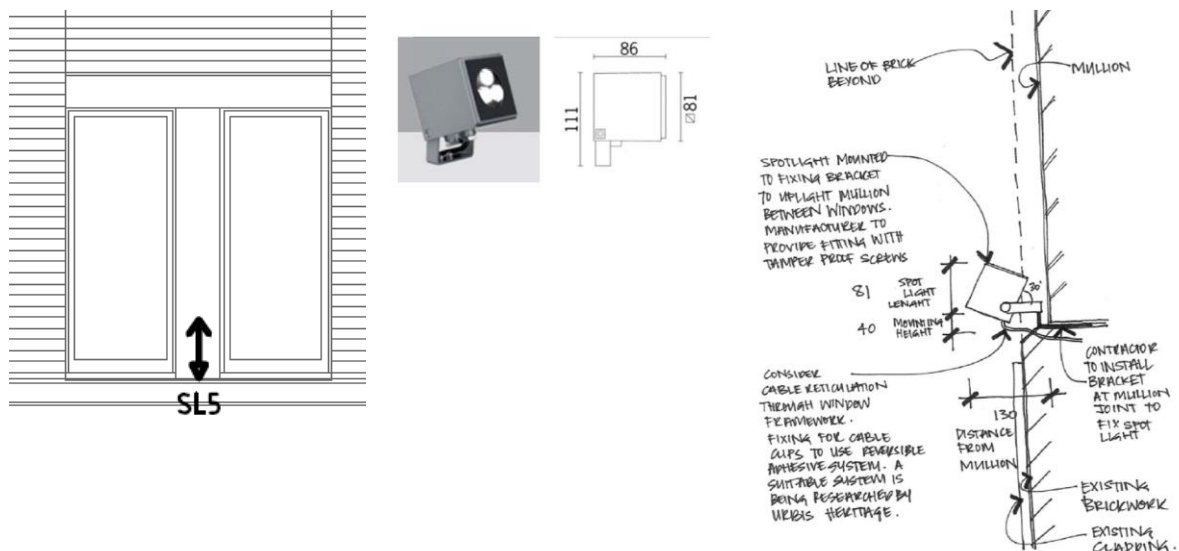
Cabling proposed to be run through timber window framework. Cables and cable clips should be in a colour that blends with the background fabric (white shall not be used).

Cables should penetrate the timber joinery at a point to ensure maximum concealment. No cables to be penetrate operable window sashes (i.e. sashes are to remain operable). Protect glass during works.

### Finish

The brackets and fitting would be finished in custom high quality paint finish. Colour to blend with the façade (e.g. matte medium grey). A sample should be submitted to the heritage consultant for approval prior to manufacture.

Figure 1 – Details 01/Type SL5.



Source: Drawing prepared by Point of View 17.01.2017

## Detail 02/Type SL4

Detail 02/Type SL4 constitutes a discreet spotlight mounted window ledge to frame arches (refer Figure 2).

### Fixing

Fixing of light fitting to sill will use a reversible adhesive system.

### Cabling

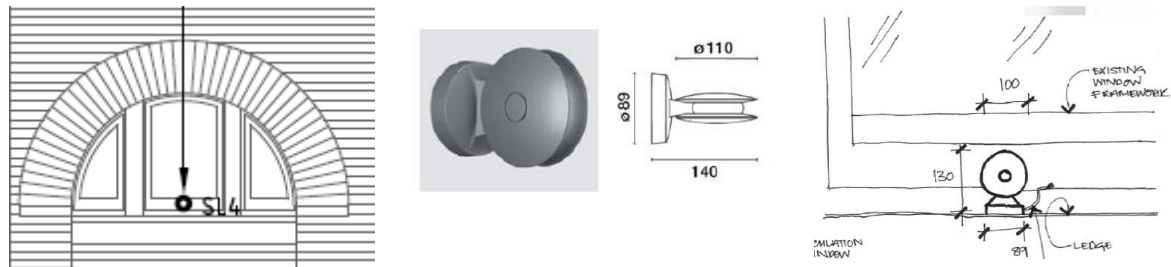
Cabling proposed to be run through timber window framework.

Cables should run directly in the window frame from the rear of the lighting fitting and should penetrate the timber at a point to ensure maximum concealment. No cables to be run through operable window sashes. Protect glass during works to drill through window frame.

### Finish

The brackets and fitting would be finished in custom high quality paint finish. Colour to blend with the façade (e.g. matte medium grey). A sample should be submitted to the heritage consultant for approval prior to manufacture.

Figure 2 – Detail 02/Type SL4.



Source: Drawing prepared by Point of View 17.01.2017

### Detail 03/Type AL1

Detail 03/Type AL1 constitutes an exterior rated linear LED in "L" Channel to illuminate balustrades (refer Figure 3).

"L" Channel to have a return on either end (north and south) of balustrade to ensure obscurity from footpath below.

Neoprene blocks or similar to allow levelling of bracket and to prevent retention of moisture between “L” Channel and stone sill.

## Fixing

Fixing of the “L” Channel to the stone will use a reversible adhesive system.

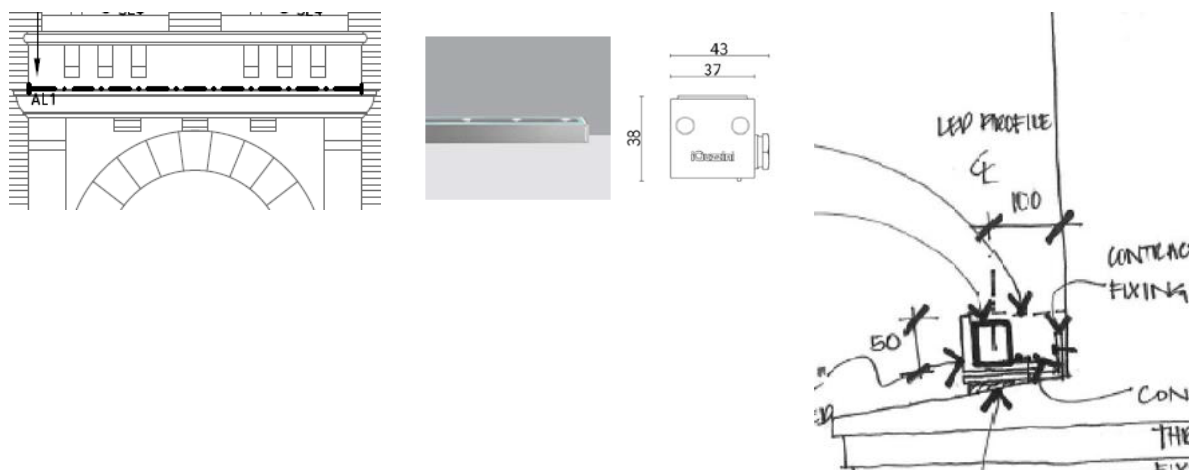
## Cabling

Cabling to be run through existing door frame. Fixing of cable clips also to use the reversible adhesive method described above.

## Finish

"L" Channel to be powder coated to match stone. Colour swatch should be provided to Urbis for approval prior to manufacture.

Figure 3 – Detail 03/Type AL1.



Source: Drawing prepared by Point of View 17.01.2017

#### Detail 04/Type SL4

Detail 04/Type SL4 constitutes a low glare spotlight mounted to base of window ledge (refer Figure 4).

Contractor to also allow for remote gear. Remote gear to be mounted internally.

#### Fixing

Fixing of light fitting to sill will use a reversible adhesive system.

#### Cabling

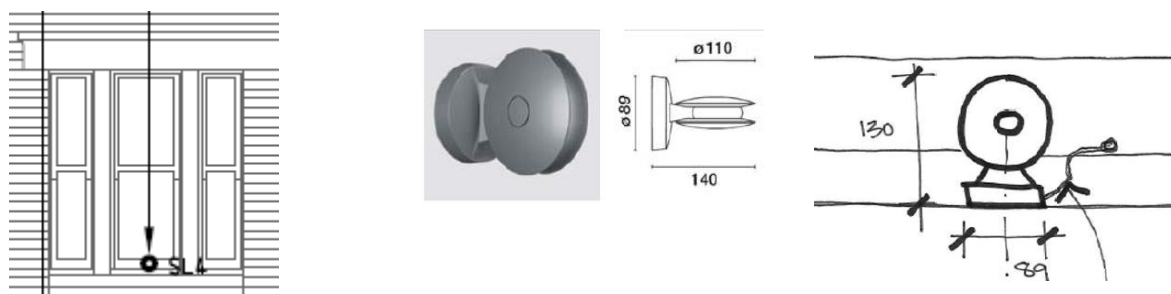
Cabling proposed to be run through timber window framework.

Cables should run directly in the window frame from the rear of the lighting fitting and should penetrate the timber at a point to ensure maximum concealment. No cables to be run through operable window sashes.

#### Finish

The brackets and fitting would be finished in custom high quality paint finish. Colour to blend with the façade (e.g. matte medium grey). A sample should be submitted to the heritage consultant for approval prior to manufacture.

Figure 4 – Detail 04/Type SL4.



Source: Drawing prepared by Point of View 17.01.2017

### Detail 05/Type SL5

Detail 05/Type SL5 constitutes a spotlight mounted to fixings bracket to up light sandstone mullion between windows (refer Figure 5).

#### Fixing

Light fitting to be mounted to a fixing bracket. Bracket to be fixed at cornice/mullion joint. Check over mortar joints and repoint damaged or deteriorating mortar joints TME as required before fixing bracket.

All metal fixings to be of a non-corrodible metal.

Fixings for cable clips to use a reversible adhesive system. The adhesive system is being research by Urbis in consultation with 3M. Manufactures instruction for specified product to be read in conjunction with this methodology. Localised priming will be necessary to increase the porosity of any stone.

#### Cabling

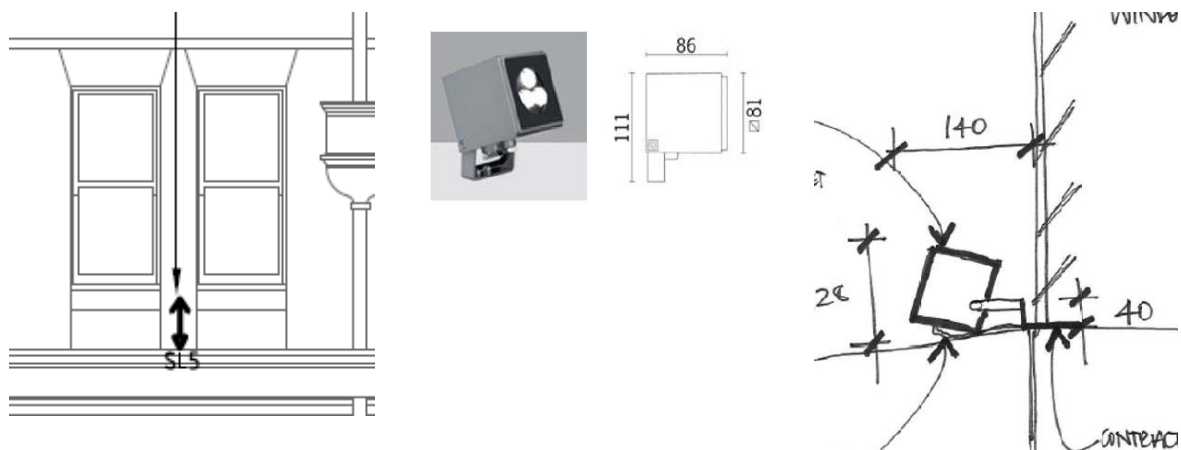
Cabling proposed to be run through timber window framework. Cables and cable clips should be in a dark grey/black colour.

Cables should penetrate the timber at the lowest level possible to ensure maximum concealment. No cables to be run through operable window sashes. Protect glass during works to drill through window frame.

#### Finish

The brackets and fitting would be finished in custom high quality paint finish. Colour to blend with the façade (e.g. matte medium grey). A sample should be submitted to the heritage consultant for approval prior to manufacture.

Figure 5 – Detail 05/Type SL5.



Source: Drawing prepared by Point of View 17.01.2017

### Detail 06/Type SL5

Detail 06/Type SL5 constitutes a spotlight mounted to fixings bracket to up accent arched door frames (refer Figure 6).

Contractor to also allow for remote gear. Remote gear to be mounted internally.

#### Fixing

The light fitting should be mounted to a fixing bracket. Bracket to be mounted to brickwork. If the fixing is removed in the future patch affected bricks including colour, texture and finish TME. If required carefully remove brick, rotate and rebed TME. Nothing further to be drilled back into the affected bricks.

Fixings for cable clips to use a reversible adhesive system.

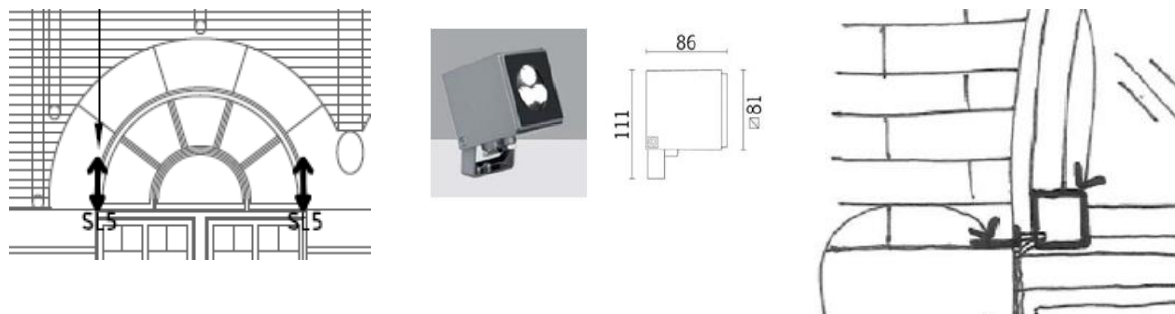
#### Cabling

Cabling to be run through window framework.

#### Finish

The brackets and fitting would be finished in custom high quality paint finish. Colour to blend with the façade (e.g. matte medium grey). A sample should be submitted to the heritage consultant for approval prior to manufacture.

Figure 6 – Detail 06/Type SL5.



Source: Drawing prepared by Point of View 17.01.2017



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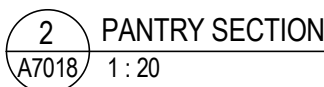
# **APPENDIX C      REVISED ARCHITECTURAL DRAWINGS**

**PREPARED BY DWP SUTERS– FEBRUARY 2017**

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Location

Client

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Consultants  
**Structural Engineer**  
TAYLOR THOMSON WHITTING  
**Mech & Fire Protection Engineer**  
WSP/PARSONS BRINCKERHOFF  
**Elec, Comms & Hyd. Engineer**  
UMOW LAI  
**BCA Consultant**  
McKenzie Group

**TTW**  
Taylor Thomson Whitting

**WSP**  
PARSONS BRINCKERHOFF

**UMOW LAI**

**mckenzie group**

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|           |                    |          |     |      |
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| 1         | FOR TENDER         | 04.08.16 | AM  | SD   |
| Issue     | Description        | Date     | CHK | Auth |
| Architect | dwp[suters         |          |     |      |
|           | www.dwpsuters.com  |          |     |      |

Project  
**THE STAR REDEVELOPMENT**  
**ASTRAL LOBBY UPGRADE**  
Location  
80 PYRMONT STREET  
PYRMONT NSW 2009  
Client

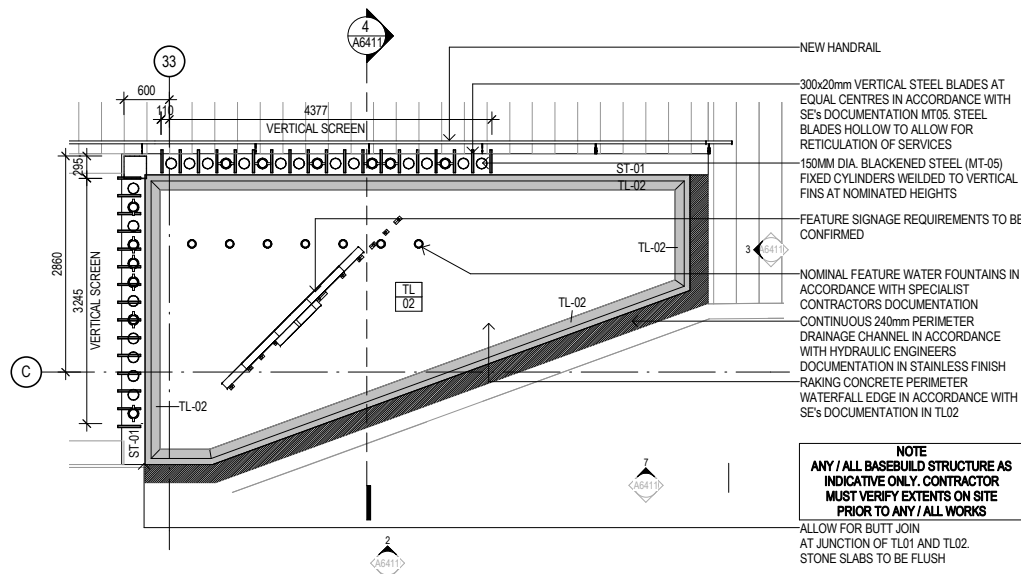
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Drawing  
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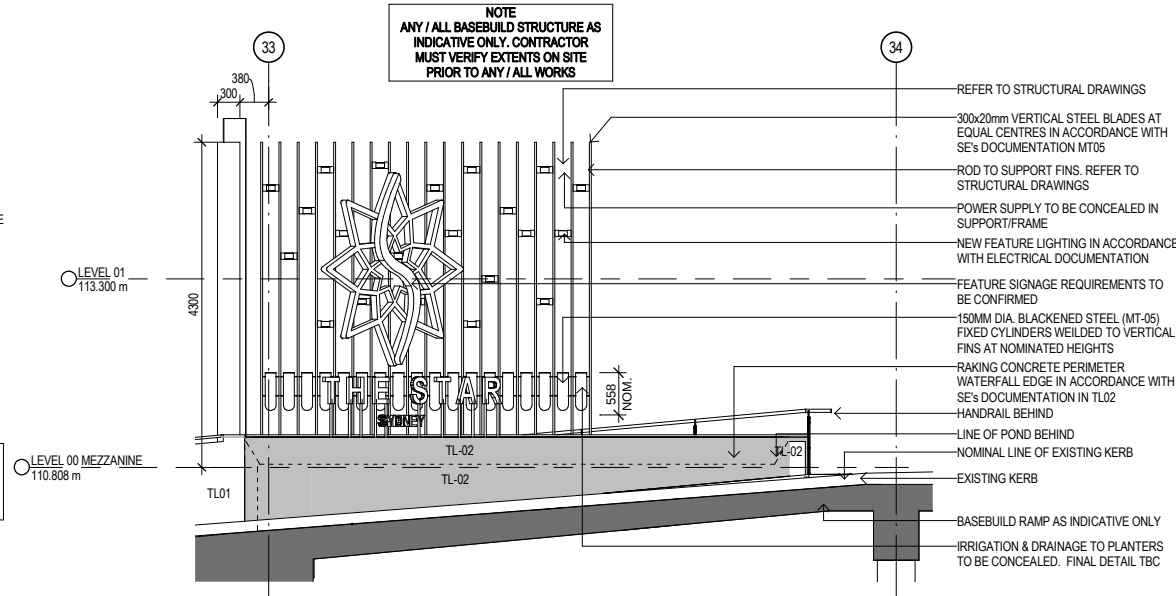
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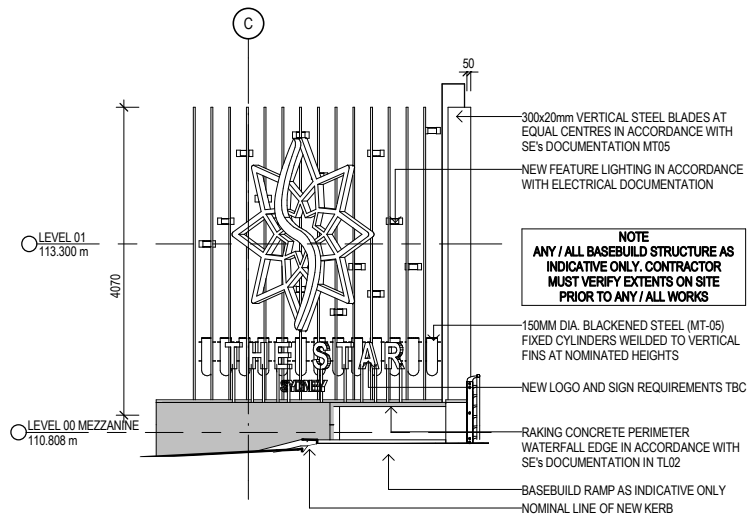




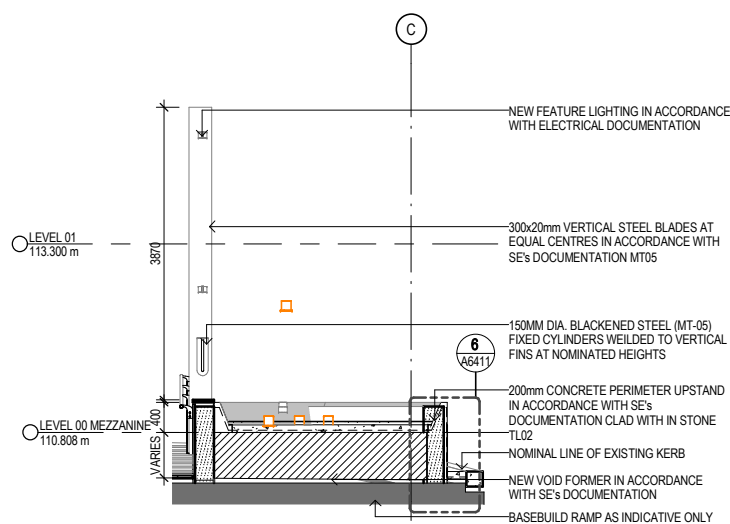
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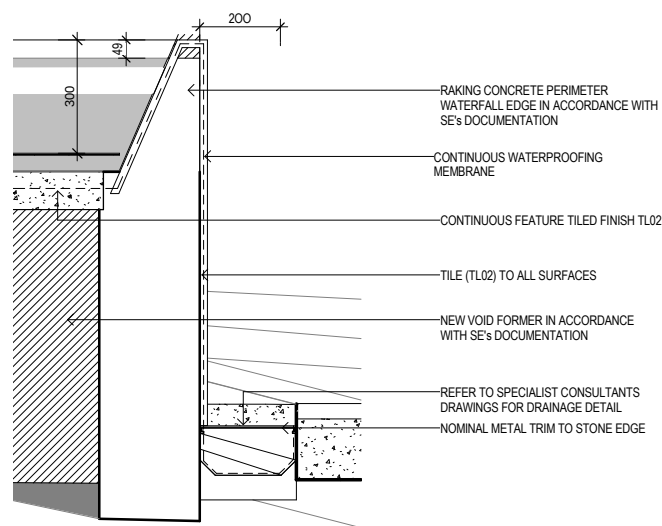
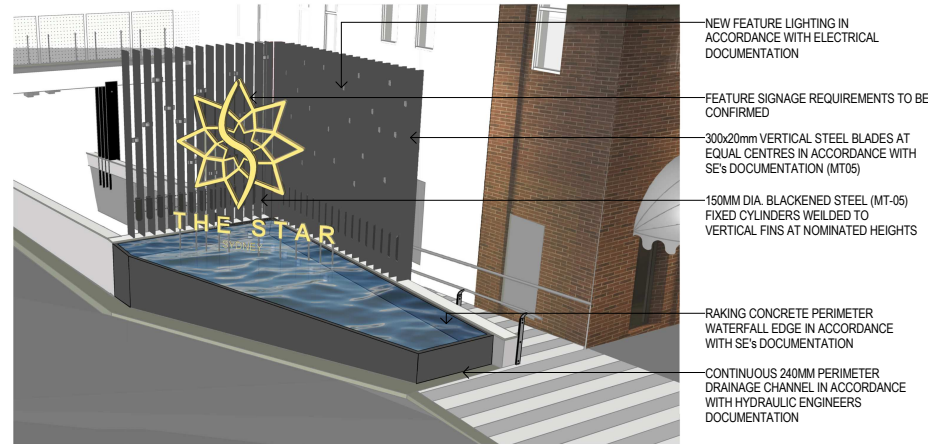
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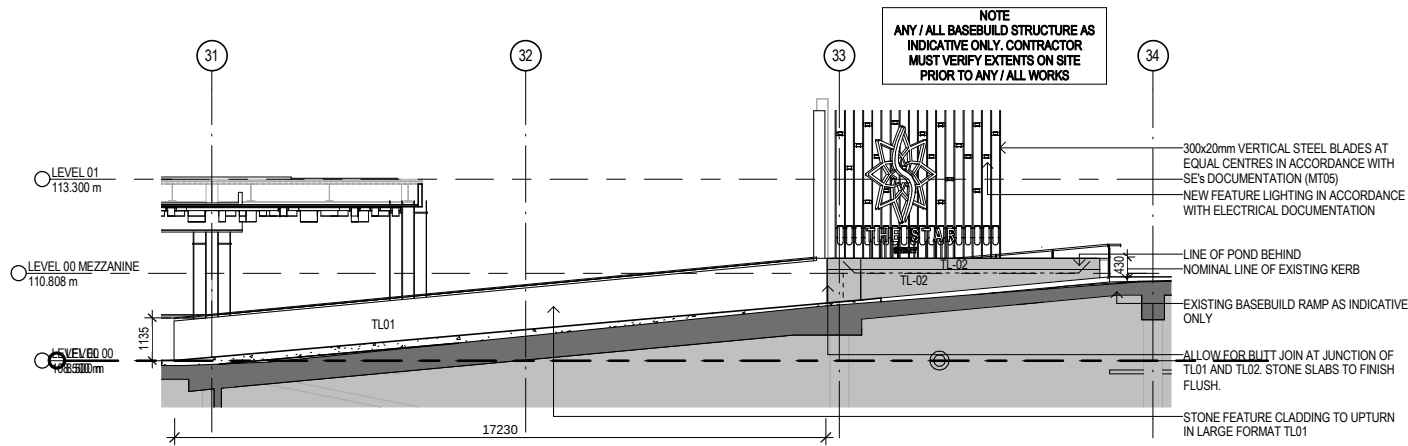
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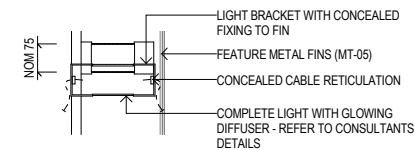
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6 WATER FEATURE-WATERFALL EDGE DETAIL  
A6411/ 1:10



7 WATER FEATURE-ELEVATION-3  
A6411/ 1:100



8 ASL WATER FEATURE LIGHT FIXTURE DETAIL  
1:10

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**WSP**  
**Elect, Comm & Hyd. Engineer**  
UMOW LAI  
**BCA Consultant**  
McKenzie Group  
**mckenzie group**

**GENERAL NOTES**  
DETAILS AS PER SPECIALIST CONSULTANTS DOCUMENTATION

North

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FOR USE DURING CONSTRUCTION

|                   |                      |                              |     |       |
|-------------------|----------------------|------------------------------|-----|-------|
| 3                 | REVISED CONSTRUCTION | 01.02.17                     | CV  | AM    |
| 2                 | FOR CONSTRUCTION     | 28.10.16                     | AM  | SD    |
| 1                 | FOR TENDER           | 04.08.16                     | AM  | SD    |
| Architect         |                      | Date                         | CHK | Auth  |
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| Project           |                      | THE STAR REDEVELOPMENT       |     |       |
| Location          |                      | ASTRAL LOBBY UPGRADE         |     |       |
| 80 PYRMONT STREET |                      |                              |     |       |
| PYRMONT NSW 2009  |                      |                              |     |       |
| Client            |                      | THE STAR ENTERTAINMENT GROUP |     |       |
| Drawing           |                      | WATER FEATURE DETAILS        |     |       |
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