



GENERAL NOTES
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legend

BASIX Commitments	
Element	Material / Parameter
Construction and Insulation Details	
Floors	Concrete suspended slab Slab floors above open and/or non-conditioned space. R1.0 added insulation to soffit or within cavity
Exposed floors	Aluminium composite panel cladding MEDUM wall colour R2.0 added insulation
External walls	Aluminium composite panel cladding MEDUM wall colour R2.0 added insulation
Party walls	Cast concrete, plasterboard lined
Internal partition walls	Lightweight cavity stud, plasterboard lining
Ceilings/Roof	Any exposed roof sections: MEDUM roof colour R3.0 added insulation
Floor coverings	-Kitchen - tile floors -Entry/Living/Dining - carpet -Bedrooms, Study, Hall - carpet -Wet areas - tiles
Window coverings	Holland blinds (by occupant)
Shading	All shade louvers, eaves, balconies, balustrades, wall extensions/wing walls and window reveals as shown on plans and elevations.
Exhaust Fans	Provision for exhaust fans - 1 per kitchen, laundry, bathroom and ensuite. 150x150 opening, sealed. No operable lights.
Downlights	Downlights if fitted are to be sealed, with approved non-ventilated downlight covers, allowing for continuous installation of insulation over the fitting without resultant penetrations in the insulation or air transfer to ceiling cavity. An IC-rating fitting should be sought in accordance with AS/NZS 60598.2.2.
Glazing Details	Double glazed w/Argon, aluminium frame windows, low-e performance glass Whole of window system performance parameters: -Fixed external façade glazing: U=2.0, SHGC=0.31 -Operable external façade glazing: U=2.5, SHGC=0.25
All Dwellings, all façade glazing	
<p>Note on colours and solar absorbance (SA) - LIGHT: SA < 0.48, MEDIUM: SA 0.48 - 0.6, DARK: SA > 0.7 Any substitution of building construction materials needs to ensure required total R-value of the construction meets or exceeds that of the constructions and added insulation described above. Any substitution of glazing needs to ensure required U-value and SHGC of the glazing system matches that described above. Insulation must be installed in accordance with the thermal construction requirements of part 1.2 of the NCC. Downlights have not been modelled</p>	
BASIX Commitments	
Element	Parameter
Dwellings - Water	
Landscaping	No individual landscaping
Swimming pool / spa	No individual swimming pool / spa
Alternative water source	No alternative water source for any individual dwelling
Fixtures	All Showerheads 3 Star (<7.5 but <=8L/min) All toilet flushing systems 4 star All kitchen taps 5 star All bathroom taps 6 star No HW recirculation or diversion All clothes washers 3 star All dishwashers 3 star
Appliances	All clothes washers 3 star All dishwashers 3 star
Dwellings - Energy	
Hot Water	Central Hot Water system
Bathroom ventilation system	Each Bathroom - motorised damper into central duct + VSD Operational control - interlocked to light
Kitchen ventilation system	Each Kitchen - motorised damper into central duct + VSD Operational Control - manual switch on/off
Laundry ventilation system	Each Laundry - motorised damper into central duct + VSD Operational control - manual on / timer off
Cooling	Living areas and bedroom areas - central cooling system
Heating	Living areas and bedroom areas - central heating system
Common Area and Central Systems/Facilities - Water	
Fixtures and Appliances	All Showerheads 3 Star (<6 but <=7.5L/min) All toilet flushing systems 5 star All taps 6 star No common laundry facility
Common Area and Central Systems/Facilities - Energy	
Central Rainwater Tank	Central Rainwater Tank - size: 1000L - collects from run off from at least 600sqm of roof area of buildings in the development - connection to irrigation of 90sqm of common landscaped area
Pool	Pool - Volume 441kLs Fire sprinkler system - configuration so that test water is contained within the fire sprinkler system for re-use, rather than disposed
Common Area and Central Systems/Facilities - Energy	
Gym	- System type: air conditioning - Efficiency measure: time clock or BMS controlled Car stacker cabins and valet corridor - System type: ventilation (supply + exhaust) - Efficiency measure: carbon monoxide monitor + VSD Storage cages B3 B4 - System type: no mechanical ventilation Residence corridor, residential lift lobby, hallways - System type: air conditioning - Efficiency measure: time clock or BMS controlled
Common area ventilation system	Gym - Lighting system type: fluorescent - Lighting efficiency measure: time clocks Car stacker cabins and valet corridor - System type: ventilation (supply + exhaust) - Lighting system type: light-emitting diode - Lighting efficiency measure: motion sensors - Lighting control system: no Lift car - Lighting system type: light-emitting diode - Lighting efficiency measure: connect to lift call button - Lighting control system: no Storage cages B3 B4, residence corridor, residential lift lobby, hallways - Lighting system type: light-emitting diode - Lighting efficiency measure: motion sensors - Lighting control system: no
Common area lighting system	Lift car - Lighting system type: light-emitting diode - Lighting efficiency measure: connect to lift call button - Lighting control system: no Storage cages B3 B4, residence corridor, residential lift lobby, hallways - Lighting system type: light-emitting diode - Lighting efficiency measure: motion sensors - Lighting control system: no
Central energy systems	Central hot water system: gas fired boiler with piping internal to building with R0.45 (~20mm) insulation Central cooling system: chilled water fan coil units, electric driven compressor, cooling towers, COP > 4.5 Central heating system: fan coil + heated water, gas boiler Lift: gearless traction with VVVF motor Pool: gas heating source Alternative energy supply: 165kW peak photovoltaic system Other: Building management system to be installed, active power factor correction to be installed

DA Drawing List				DA Drawing List			
	Drawing Number	Drawing Name	Drawing Scales		Drawing Number	Drawing Name	Drawing Scales
AF0000 General	AF0000	Cover Sheet	1:1.0311	AF8000 ADG Compliance Diagrams	AF7000	External Finishes Board	
AF1000 General Arrangement Plans	AF100	B4 Car Stacker Floor Plan	1:300	AF8001	Bicycle Storage Diagram & Schedule		
	AF101	B3 Floor Plan	1:300	AF8002	Communal Open Space Area	1:150	
	AF102	B2 Hotel Entry Ground Floor Plan	1:300	AF8101	June 21st 9am		
	AF1000	Level 00 Residential Entry Ground Floor Plan	1:300	AF8102	June 21st 10am		
	AF1001	Level 01 + 02 Floor Plan	1:300	AF8103	June 21st 11am		
	AF1003	Level 03 Floor Plan	1:300	AF8104	June 21st 12pm		
	AF1004	Level 04 + 04 Mezz Floor Plan	1:300	AF8105	June 21st 1pm		
	AF1005	Level 05 Sky Terrace	1:300	AF8106	June 21st 2pm		
	AF1006	Level 06 + 07 Pool Terrace Floor Plan	1:300	AF8107	June 21st 3pm		
	AF1008	Level 08 Pool Terrace Roof Plan	1:300	AF8108	March 21st 9am (Equinox)		
AF2000 General Arrangement Plans	AF201	B5 Floor Plan	1:150	AF8109	March 21st 10am (Equinox)		
	AF202	B4 Floor Plan	1:150	AF8110	March 21st 11am (Equinox)		
	AF203	B3 Floor Plan	1:150	AF8111	March 21st 12pm (Equinox)		
	AF204	B2 Floor Plan	1:150	AF8112	March 21st 1pm (Equinox)		
	AF2000	Level 00 Residential Entry Ground Floor Plan	1:150	AF8113	March 21st 2pm (Equinox)		
	AF2001	Level 01 Floor Plan	1:150	AF8114	March 21st 3pm (Equinox)		
	AF2002	Level 02 Floor Plan	1:150	AF8115	December 21st 9am		
	AF2003	Level 03 Floor Plan	1:150	AF8116	December 21st 10am		
	AF2004	Level 04 Floor Plan	1:150	AF8117	December 21st 11am		
	AF2004	Level 04 Mezz Floor Plan	1:150	AF8118	December 21st 12pm		
	AF2005	Level 05 Sky Terrace	1:150	AF8119	December 21st 1pm		
	AF2006	Level 06 Floor Plan	1:150	AF8120	December 21st 2pm		
	AF2007	Level 07 Floor Plan	1:150	AF8121	December 21st 3pm		
	AF2008	Level 08 Floor Plan	1:150	AF8150	June 21st 9am		
	AF2009	Level 09 Floor Plan	1:150	AF8151	June 21st 10am		
	AF2010	Level 10 Floor Plan	1:150	AF8152	June 21st 11am		
	AF2011	Level 11 Floor Plan	1:150	AF8153	June 21st 12pm		
	AF2012	Level 12 Floor Plan	1:150	AF8154	June 21st 1pm		
	AF2014	Level 14 Floor Plan	1:150	AF8155	June 21st 2pm		
	AF2015	Level 15 Floor Plan	1:150	AF8156	June 21st 3pm		
	AF2016	Level 16 Floor Plan	1:150	AF8157	March 21st 9am (Equinox)		
	AF2017	Level 17 Floor Plan	1:150	AF8158	March 21st 10am (Equinox)		
	AF2018	Level 18 Floor Plan	1:150	AF8159	March 21st 11am (Equinox)		
	AF2019	Level 19 Floor Plan	1:150	AF8160	March 21st 12pm (Equinox)		
	AF2020	Level 20 Floor Plan	1:150	AF8161	March 21st 1pm (Equinox)		
	AF2021	Level 21 Floor Plan	1:150	AF8162	March 21st 2pm (Equinox)		
	AF2022	Level 22 Floor Plan	1:150	AF8163	March 21st 3pm (Equinox)		
	AF2023	Level 23 Floor Plan	1:150	AF8200	Ventilation Diagrams	1:150	
	AF2024	Level 24 Floor Plan	1:150	AF8201	Ventilation Diagrams	1:150	
	AF2025	Level 25 Floor Plan	1:150	AF8202	Ventilation Diagrams	1:150	
	AF2026	Level 26 Floor Plan	1:150	AF8203	Ventilation Diagrams	1:150	
	AF2027	Level 27 Floor Plan	1:150	AF8204	Ventilation Diagrams	1:150	
	AF2028	Level 28 Floor Plan	1:150	AF8205	Ventilation Diagrams	1:150	
	AF2029	Level 29 Floor Plan	1:150	AF8300	Typical Tower Facade Details	1:20	
	AF2030	Level 30 - 38 Floor Plan	1:150	AF8301	Typical Wintergarden Facade Details	1:20	
	AF2039	Level 39 Hotel Sky Lobby Floor Plan	1:150	AF8302	Western Seam Planter Details	1:50, 1:25	
	AF2040	Level 40 Hotel Sky Lobby Mezzanine Floor Plan	1:150				
	AF2041	Level 41 Mid Level Plant Floor Plan	1:150				
	AF2042	Level 42 Hotel BOH Floor Plan	1:150				
	AF2043	Level 43 - 45 Typical Hotel Floor Plan	1:150				
	AF2046	Level 46 - 57 Typical Hotel Floor Plan	1:150				
	AF2058	Level 58 Typical Hotel Floor Plan	1:150				
	AF2059	Level 59 Club Lounge + Terrace Floor Plan	1:150				
	AF2060	Level 60 Sky Villa Floor Plan	1:150				
	AF2061	Level 61 Sky Villa Floor Plan	1:150				
	AF2062	Level 62 Roof Plant Floor Plan	1:150				
	AF2063	Level 63 Roof Plant Floor Plan	1:150				
	AF2064	Level 64 Roof Plant Floor Plan	1:150				
	AF2065	Level 65 Roof Plan	1:150				
	AF2501	Adaptable Apartments Typical 1 Bed	1:50				
	AF2502	Adaptable Apartments Typical 2 Bed	1:50				
	AF2503	Adaptable Apartments Typical 3 Bed	1:50				
AF3000 Fit Out Plans	AF3000	B2 FFE Floor Plan	1:100				
	AF3001	Level 00 FFE Ground Floor Plan	1:100				
	AF3002	Level 03 FFE Expansion Sovereign Room Link	1:100				
	AF3003	Level 05 FFE Sky Terrace	1:100				
	AF3004	Level 05 FFE Sky Terrace	1:100				
	AF3005	Level 07 FFE Pool Deck	1:100				
	AF3006	Level 07 FFE Pool Deck	1:100				
AF3100 Neighbourhood Centre	AF3100	Level 00 Social Enterprise Cafe	1:100				
	AF3101	Level 01 Pirrama Reading Room	1:100				
	AF3102	Level 02 Darling Collaborative Hub	1:100				
	AF3103	Level 03 Pymont Forum	1:100				
	AF3104	Level 04 Pymont Forum Terrace	1:100				
AF4000 Overall Elevations	AF4001	Pirrama Road Elevation	1:500				
	AF4002	Northern Elevation	1:500				
	AF4003	Jones Bay Road Elevation	1:500				
	AF4004	Southern Elevation	1:500				
AF4100 Detail Elevations	AF4101	Pirrama Road Street Elevation	1:300				
	AF4102	Jones Bay Road Street Elevation	1:300				
	AF4103	North & East Residential Elevations	1:200				
	AF4104	South & West Residential Elevations	1:200				
AF4200 Signage Elevations	AF4201	Signage Eastern Elevation	1:500				
	AF4202	Signage Western Elevation	1:500				
	AF4203	Signage Detail Elevation - Tower East	1:50				
	AF4204	Signage Detail Elevation - Tower West	1:50				
	AF4205	Signage Detail Elevation - Podium East	1:50				
	AF4206	Signage Detail Elevation - Pirrama Road	1:50, 1:20				
	AF4207	Signage Detail Elevation - Jones Bay Road	1:50				
	AF4208	Signage Detail Elevation - Pirrama Rd Tenancies	1:50				
AF5000 Overall Sections	AF5001	Section 01, Section 02	1:500				
AF5100 Detail Sections	AF5101	Section D01	1:300				
	AF5102	Section D02	1:300				
AF6000 GFA Plans	AF6100	Podium GFA Plans	1:500				
	AF6101	Podium GFA Plans	1:500				
	AF6102	Podium GFA Plans	1:500				
	AF6200	Tower Residential GFA Plans	1:500				
	AF6300	Tower Hotel GFA Plans	1:500				
AF7000 Material Schedules							

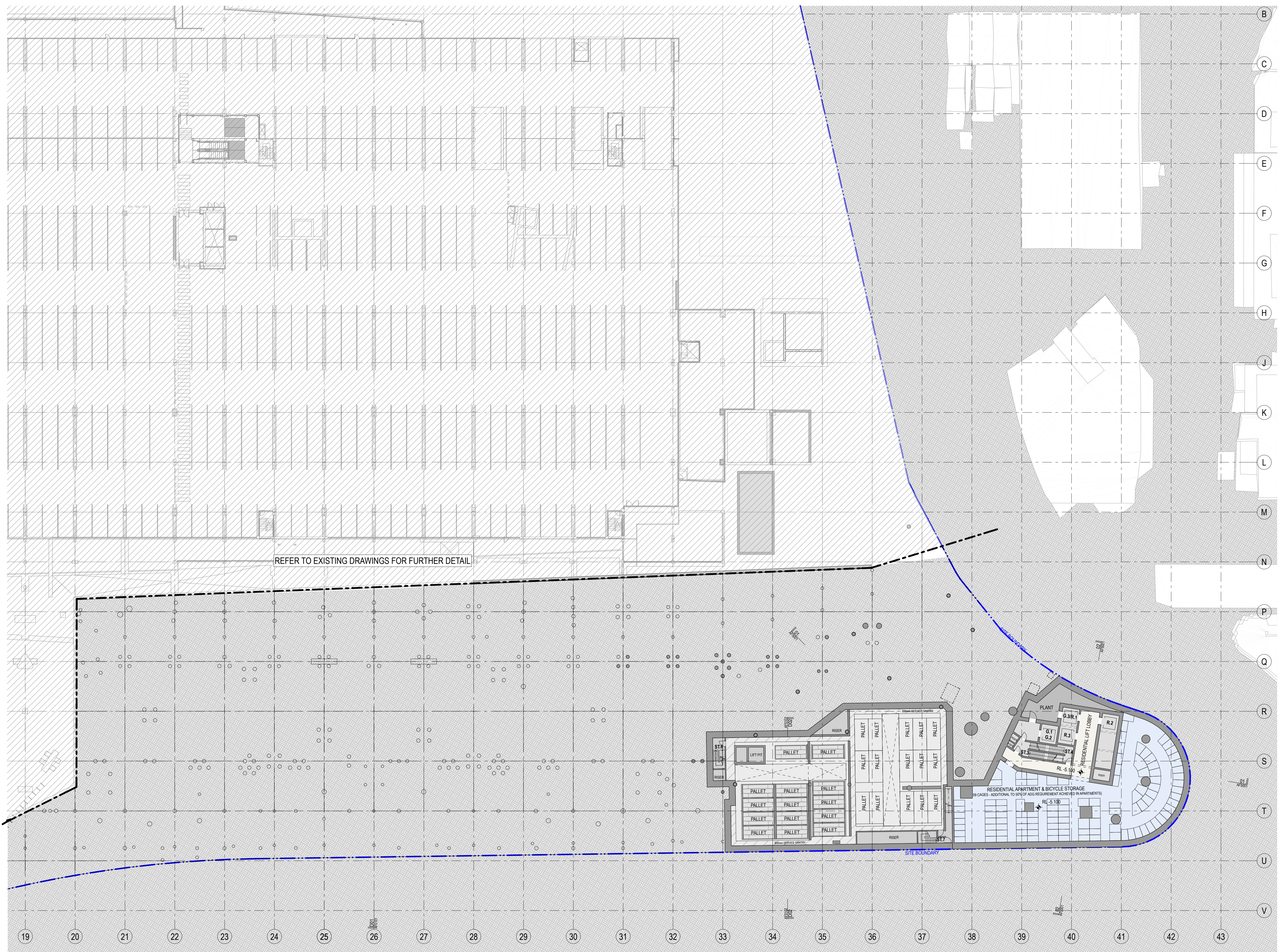
DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name	by	chk

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project
Modification 13
 80 PYRMONT STREET
 PYRMONT NSW 2009

title
General Cover Sheet

scale	first issued	1/9/17
project code	sheet no.	revision
SM13	AF0000	DA02



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Legend

BUILDING USE

- HOTEL
- HOTEL FACILITIES
- LOADING, PLANT
- LIFTS, FIRE STAIRS, SERVICES
- ANCILLARY, BOH
- CIRCULATION
- NEIGHBOURHOOD CENTRE
- RETAIL
- FOOD & BEVERAGE
- RESIDENTIAL
- RESIDENTIAL FACILITIES

--- SITE BOUNDARY

- - - EXISTING BUILT FORM

/// EXISTING BUILT FORM

--- EXTENT OF CAR STACKER BELOW

EXTEND OF MODIFICATION 13 WORK AS SHOWN ON EMT DOCUMENT REFER TO DWP DRAWING FOR FULL EXTEND & DEMARCATION OF MODIFICATION 13 WORK.

NOTE: SPATIAL PROVISION INCLUDED TO ACCOMMODATE AS1428.1. UPDATES AS REQUIRED AT DETAILED DESIGN

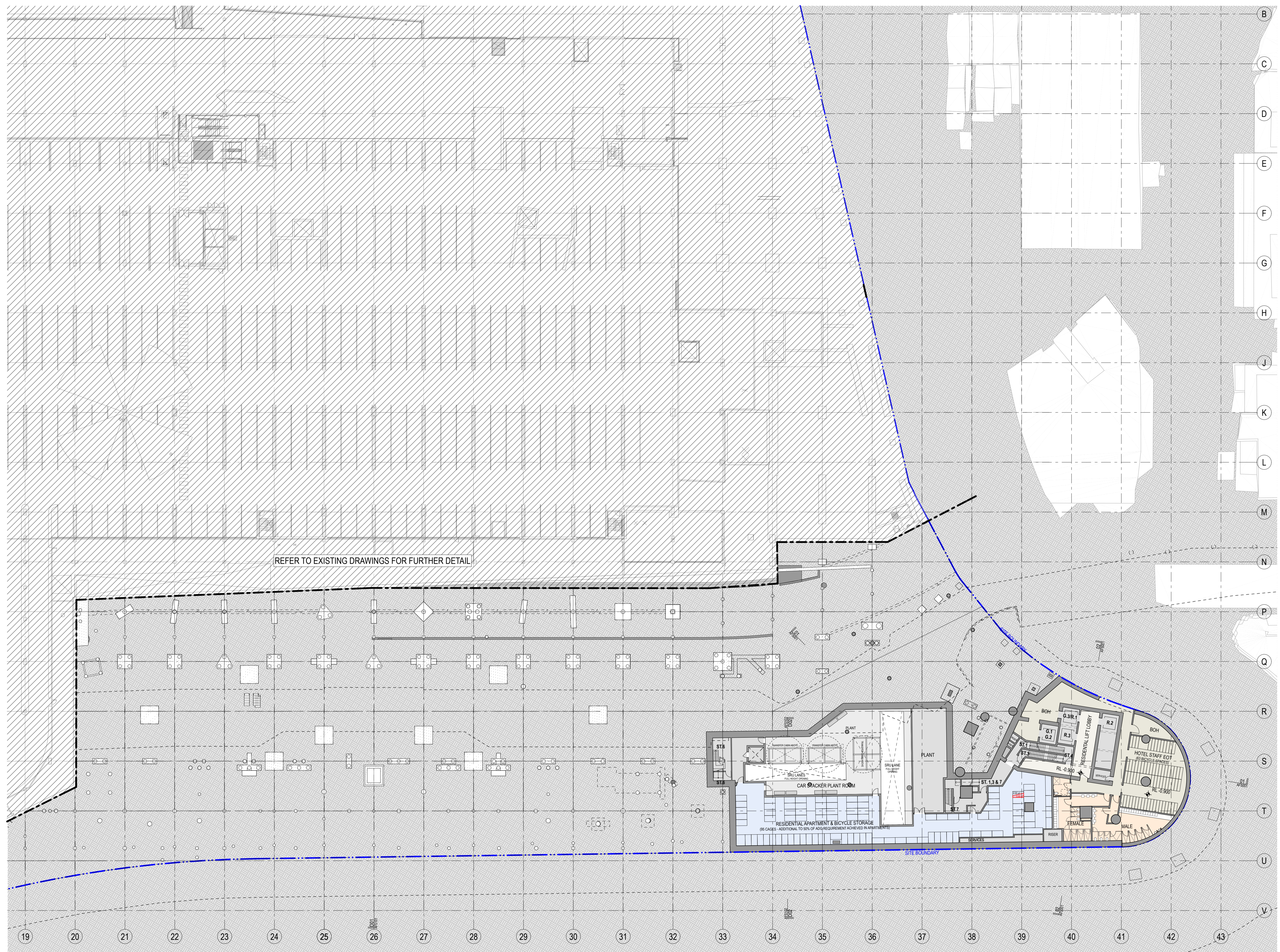
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project
Modification 13
 80 PYRMONT STREET
 PYRMONT NSW 2009

title
General Arrangement Plans
B4 Car Stackers Floor Plan

scale	1:300 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF100	DA02	



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DA02	2/11/18	Response to Submissions	JRS SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY SMP
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project
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 80 PYRMONT STREET
 PYRMONT NSW 2009

title
**General Arrangement Plans
 B3 Floor Plan**

scale 1:300 @ A1 first issued 1/9/17

project code sheet no. revision
SM13 AF101 DA02

CARSTACKER		SYSTEM 1			SYSTEM 2			SYSTEM 3 (ACCESSIBLE)		
Level	RL (AHD)	RESIDENTIAL	HOTEL VALET	TOTAL SPACES	RESIDENTIAL	HOTEL VALET	TOTAL SPACES	RESIDENTIAL	HOTEL VALET	TOTAL SPACES
1	B3 TRANSFER	-0.990								
2	SEDAN	-2.880	15	15	5		5	9		9
3	SEDAN	-4.610	10	5	15		5	9	9	9
4	SUV	-6.740	15		15	5	5	9		9
5	SEDAN	-8.720	10	5	15		5	9	9	9
6	SEDAN	-10.450	15		15	5	5	9		9
7	SUV	-12.580	10	5	15		5	9	9	9
8	SUV	-14.960	15		15	5	5	8	1	9
	SUV	-17.090	11		11	1	1	5		5
RESIDENTIAL			101		21		49			171
HOTEL VALET			15		15		19			49
TOTALS			SYSTEM 1	116	SYSTEM 2	36	SYSTEM 3 (ACCESSIBLE)	68		220



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LEGEND

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EXTEND OF MODIFICATION 13 WORK AS SHOWN ON FJMT DOCUMENT REFER TO DWP DRAWING FOR FULL EXTEND & DEMARCATION OF MODIFICATION 13 WORK.

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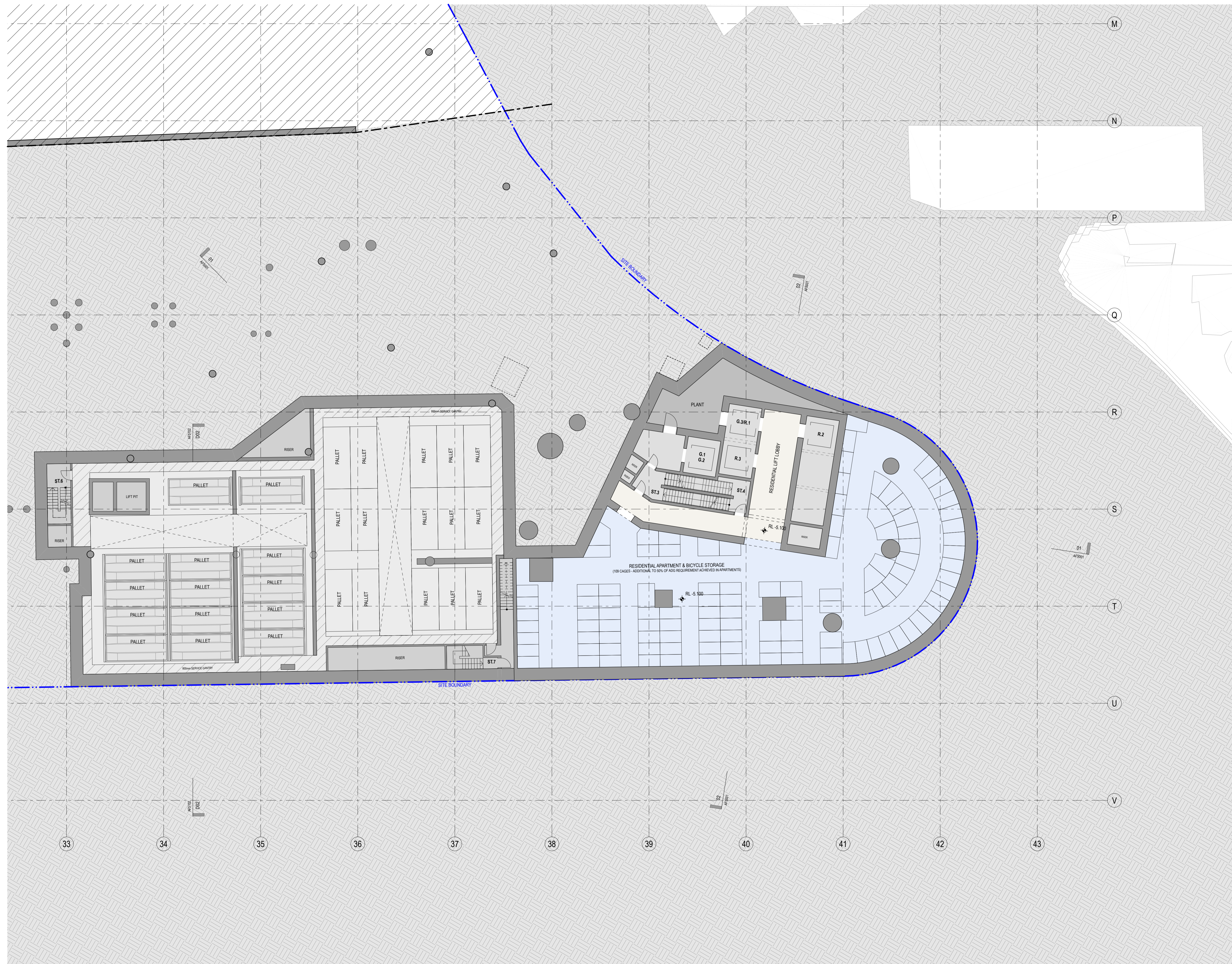
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DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP

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project
Modification 13
 80 PYRMONT STREET
 PYRMONT NSW 2009

title
**General Arrangement Plans
 B5 Floor Plan**

scale 1:150 @ A1 first issued 1/9/17
 project code sheet no. revision
SM13 AF201 DA02



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SITE BOUNDARY

EXISTING BUILT FORM

EXISTING BUILT FORM

EXTENT OF CAR STACKER BELOW

EXTEND OF MODIFICATION 13 WORK AS SHOWN ON E-PLAN DOCUMENT REFER TO DWP DRAWING FOR FULL EXTEND & DEMARCATION OF MODIFICATION 13 WORK.

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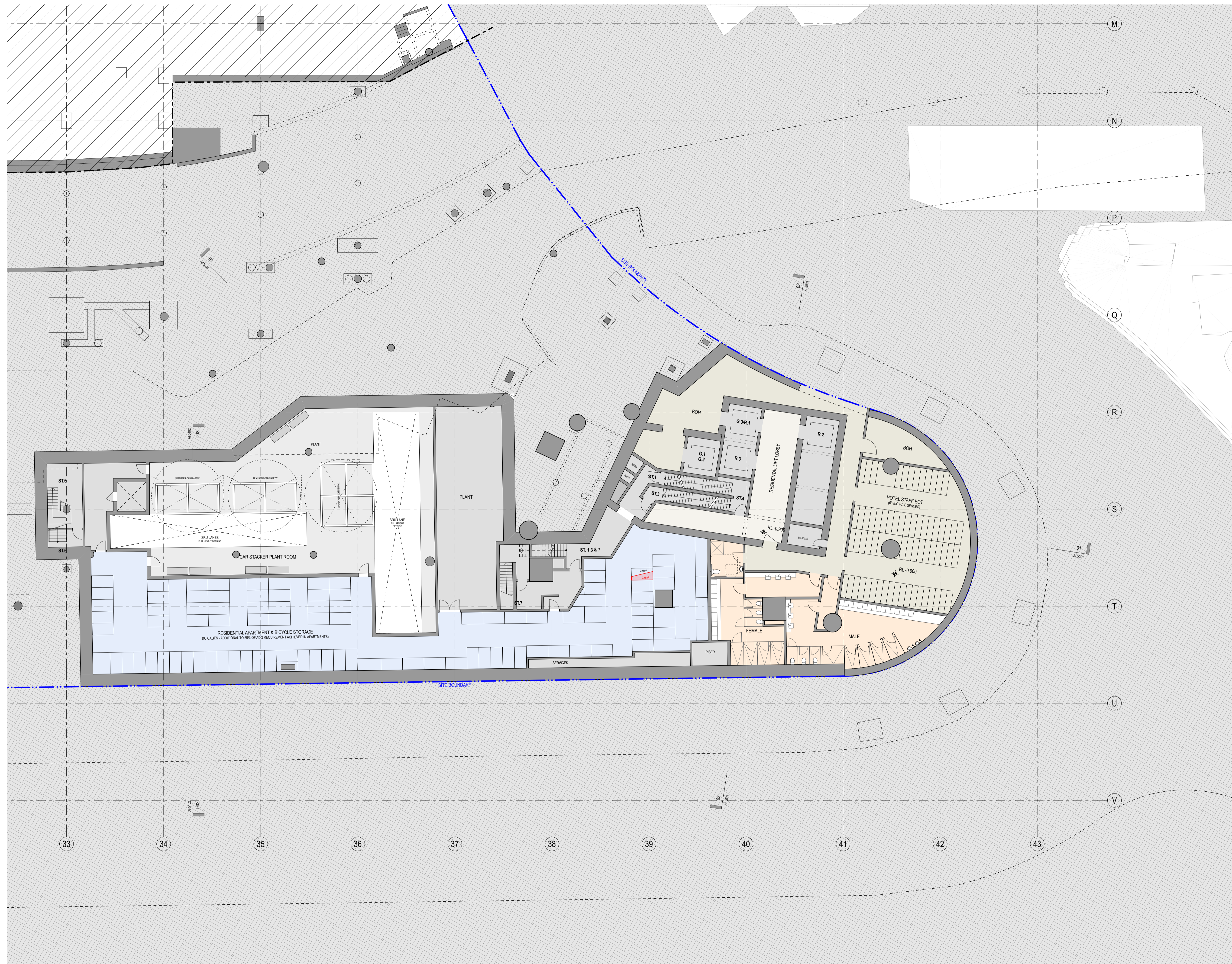
DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
rev	date	name		by

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project
Modification 13
 80 PYRMONT STREET
 PYRMONT NSW 2009

title
General Arrangement Plans
B4 Floor Plan

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF202	DA02	



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DA02	2/11/18	Response to Submissions	JRS	SMP
DA01	1/9/17	DEVELOPMENT APPLICATION	NY	SMP
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project
Modification 13
 80 PYRMONT STREET
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title
General Arrangement Plans
B3 Floor Plan

scale	1:150 @ A1	first issued	1/9/17
project code	sheet no.	revision	
SM13	AF203	DA02	