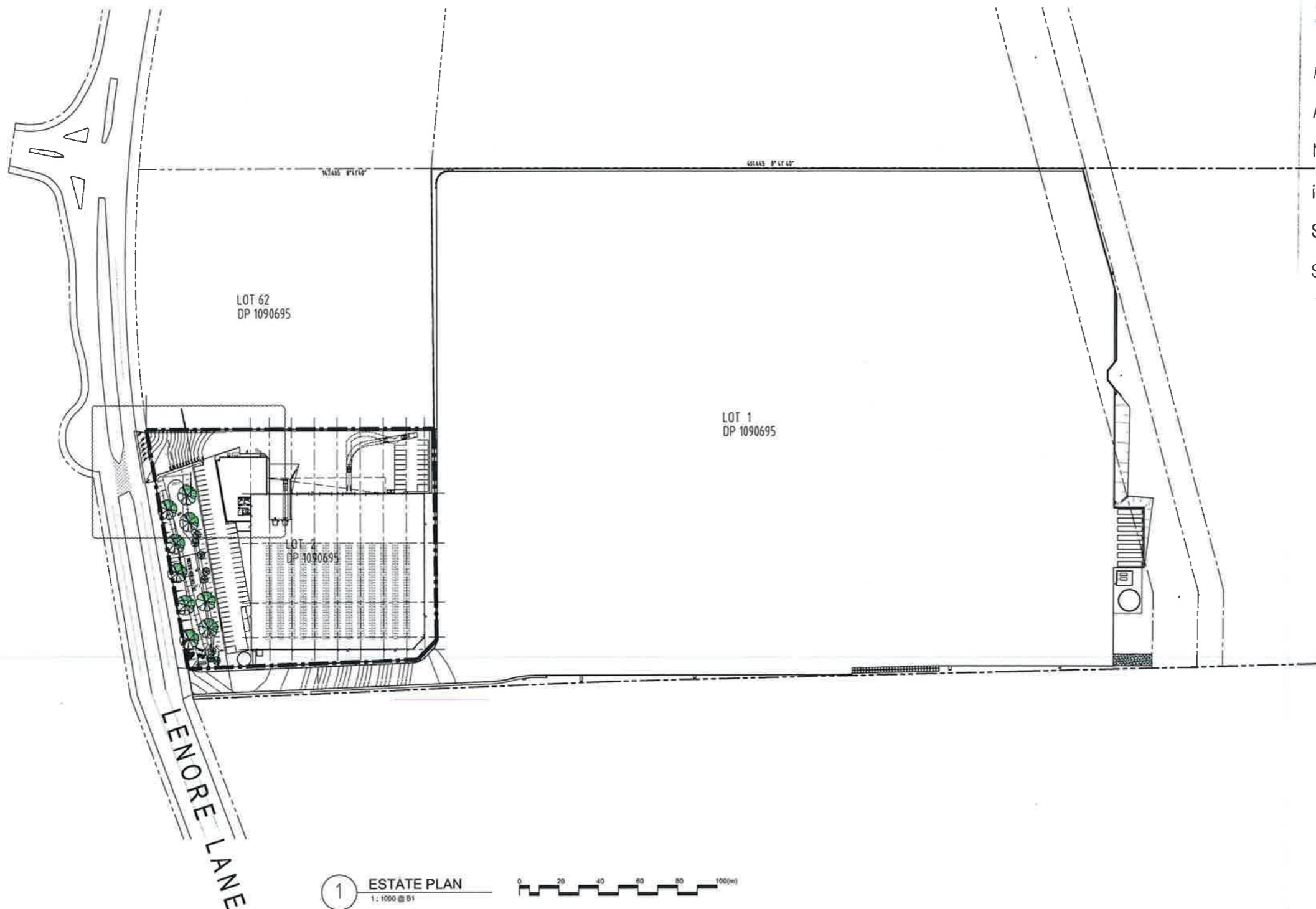



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Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 3 granted on the 16 May 2016

in respect to MP 08_0016

Signed RR

Sheet No. 1 of 19

Revisions

2	11.04.16	DA AMENDMENT
1	16.12.15	DA SUBMISSION

LOGOS
LOGOS PROPERTY GROUP
SUITE 2, L29, Aurora Place,
88 Philip Street, Sydney NSW 2000
t + 61 2 8197 6300

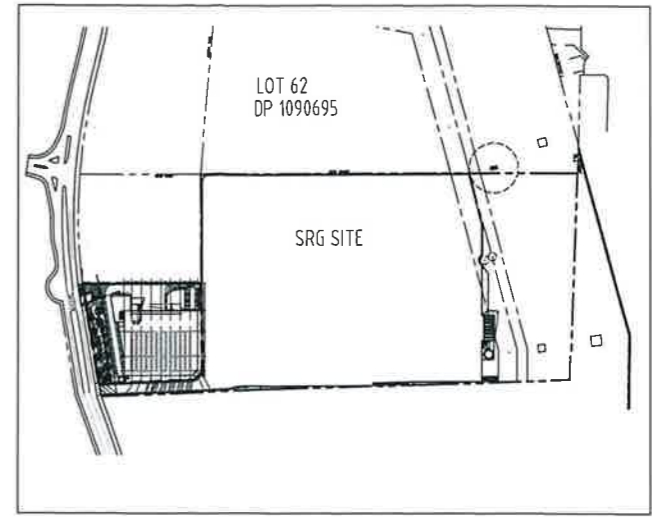
Project:
PROPOSED WAREHOUSE
LOT 62 / 133 - 145
LENORE LANE, ERSKINE PARK, NSW.



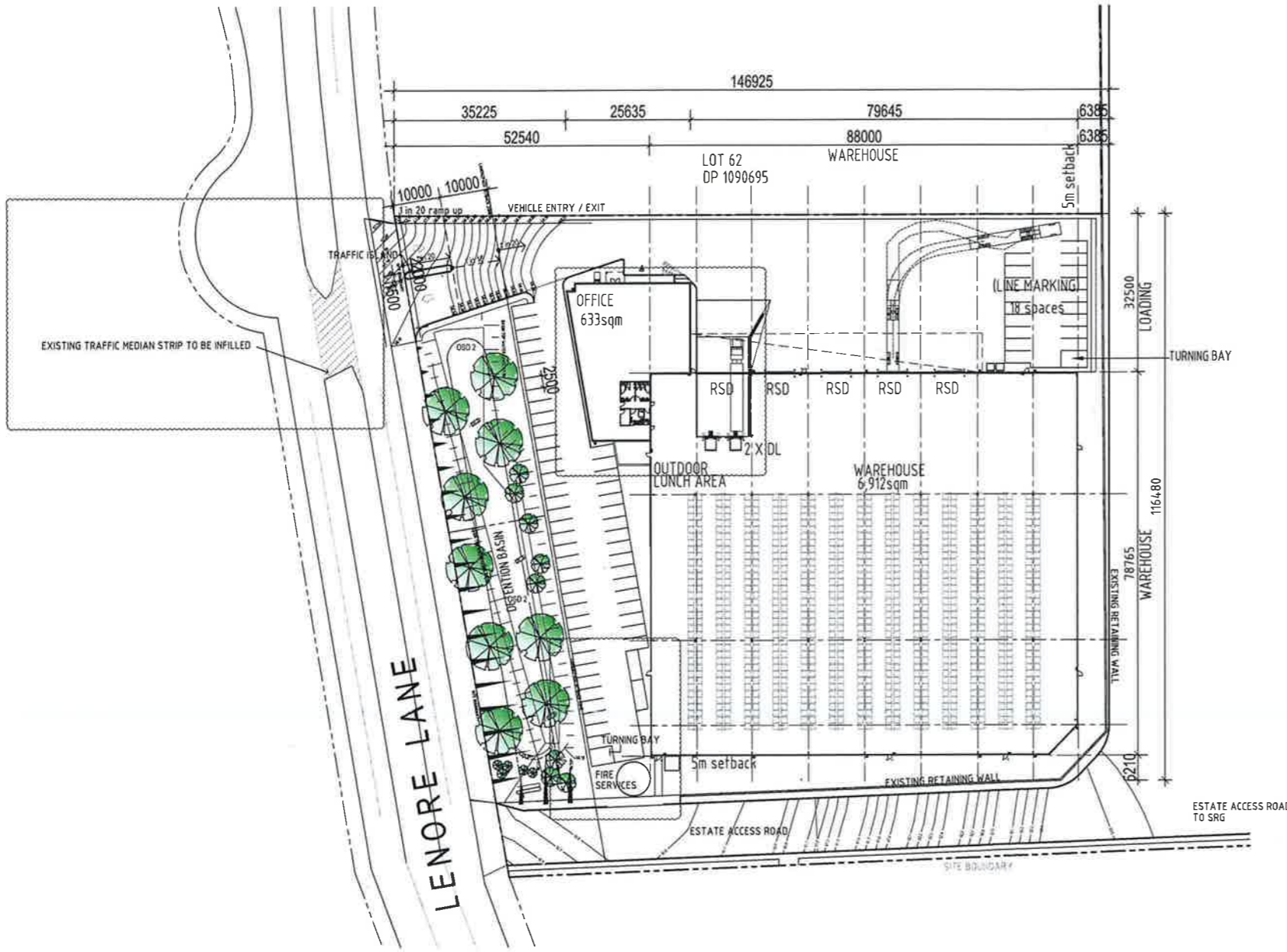
Drawing title: **ESTATE PLAN**

Disc:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
11/04/16	shown	AA	SPC	ERSK-DA-001	2

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1 LOCATION PLAN
 1:500 @ B1



1 LOT 2 SITE PLAN
 1:500 @ B1



SCHEDULE OF AREAS	
SITE AREA	15 895 sqm
DETECTION BASIN AREA (included in site area)	2 156 sqm
developable land	13 739 sqm
WAREHOUSE	6 912 sqm
OFFICE - (GF)	633 sqm
TOTAL BUILDING AREA	7 545 sqm
AWNING 1 - 8m wide - doors on grade (with 2 sunken docks)	544 sqm
PAVEMENT AREAS	
LIGHT DUTY PAVEMENT (includes carpark / driveways) (75 cars provided including 1 disabled space)	1 315 sqm
HEAVY DUTY PAVEMENT (includes driveways / hardstand / truck turning areas)	3 555 sqm

NSW GOVERNMENT
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Approved Section 88 Modification Application

No. 3 granted on the 16 May 2016

in respect to MP. 08-0016

Signed IK

Sheet No. 2 of 19

LOGOS
 LOGOS PROPERTY GROUP
 SUITE 2.129, Aurora Place,
 88 Phillip Street, Sydney NSW 2000

Project:
PROPOSED WAREHOUSE
 LOT 62 / 133 - 145
 LENORE LANE, ERSKINE PARK, NSW.



Drawing title:
LOT 2 SITE PLAN

Date	Scale	Drawn	Project number	Drawing number	Issue
11/04/16	shown	AA	SPC	ERSK-DA-002	2

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 Approved Section 75W Modification Application
 No. 3 granted on the 16 May 2016
 in respect to MP 08_0016
 Signed HK
 Sheet No. 3 of 19



1 WAREHOUSE PLAN
 1:200 @ B1
 0 40 80 120 160 200(m)

Revisions	
2	04.04.16 DA AMENDMENT
1	16.12.15 DA SUBMISSION

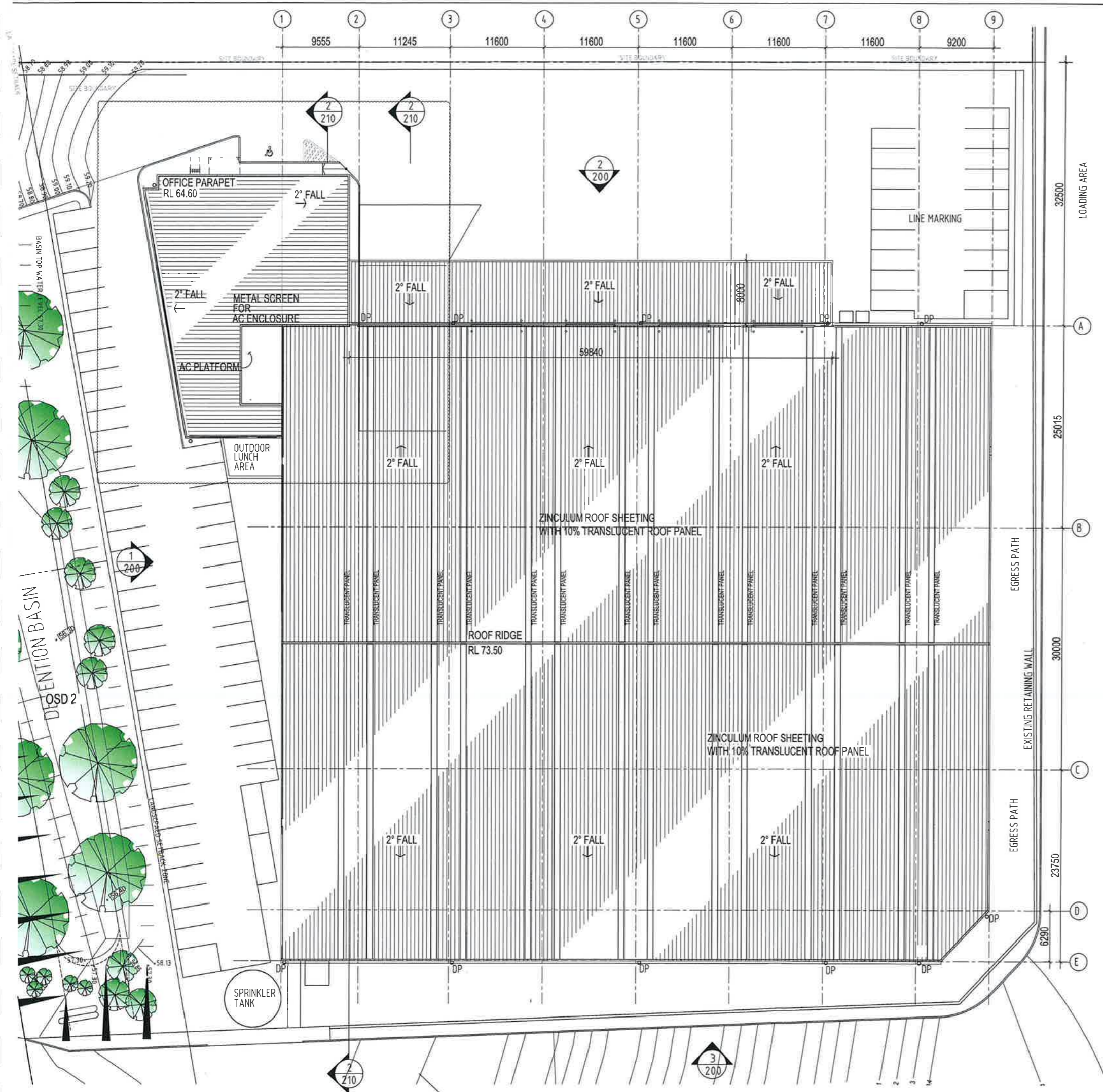
LOGOS
 LOGOS PROPERTY GROUP
 SUITE 2, L29, Aurora Place,
 88 Philip Street, Sydney NSW 2000
 t +61 2 8197 6300

Project:
PROPOSED WAREHOUSE
 LOT 62 / 133 - 145
 LENORE LANE, ERSKINE PARK, NSW.

Date	Scale	Drawn	Project number	Drawing number	Issue
11/04/18	1:200	AA	SPC	ERSK-DA-100	2

NOTE
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 Approved Section 75W Modification Application
 No. 3 granted on the 16 May 2016
 in respect to MP 08-0016
 Signed ME
 Sheet No. 4 of 19



1 ROOF PLAN
 1:200 @ B1
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History		
3	11.04.16	DA AMENDMENT
1	16.12.15	DA SUBMISSION

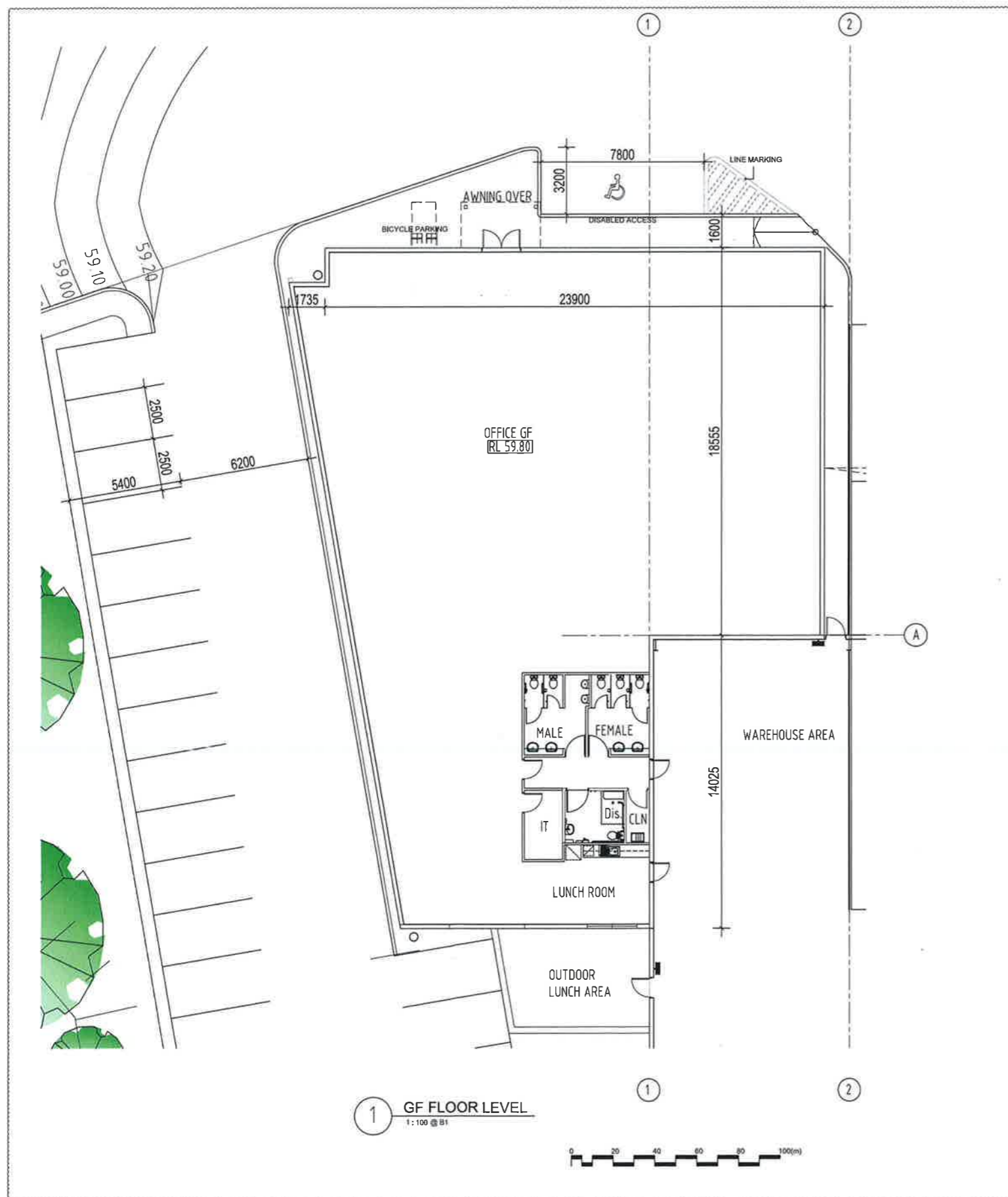
LOGOS
 LOGOS PROPERTY GROUP
 SUITE 2, 120 Aurora Place,
 RR Philip Street, Sydney NSW 2000
 t + 61 2 8197 6300


Project:
PROPOSED WAREHOUSE
 LOT 62 / 133 - 145
 LENORE LANE, ERSKINE PARK, NSW.

ROOF PLAN

Date	Scale	Drawn	Project number	Drawing number	Sheet
11/04/16	1:200	AA	SPC	ERSK-DA-120	2

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Approved Section 75W Modification Application

No. 3 granted on the 16 May 2016

in respect to MP. 08_0016

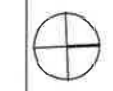
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Sheet No. 5 of 19

Revisions	Date	Description
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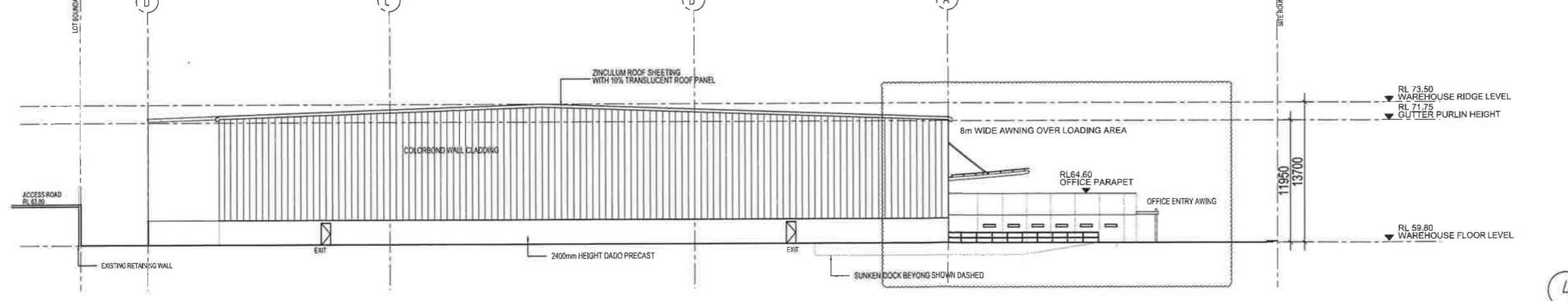
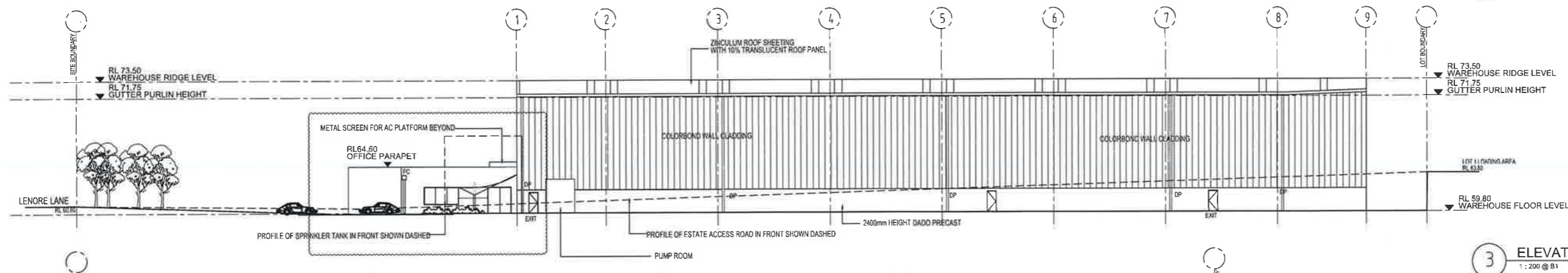
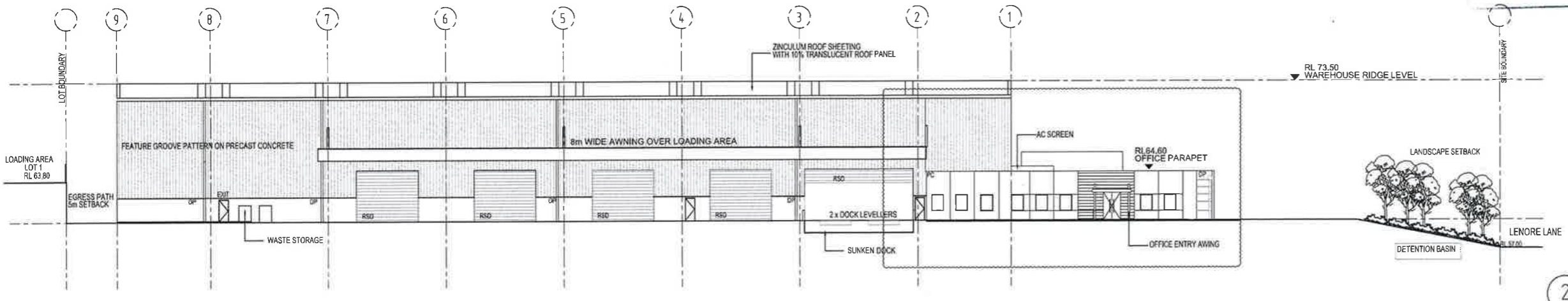
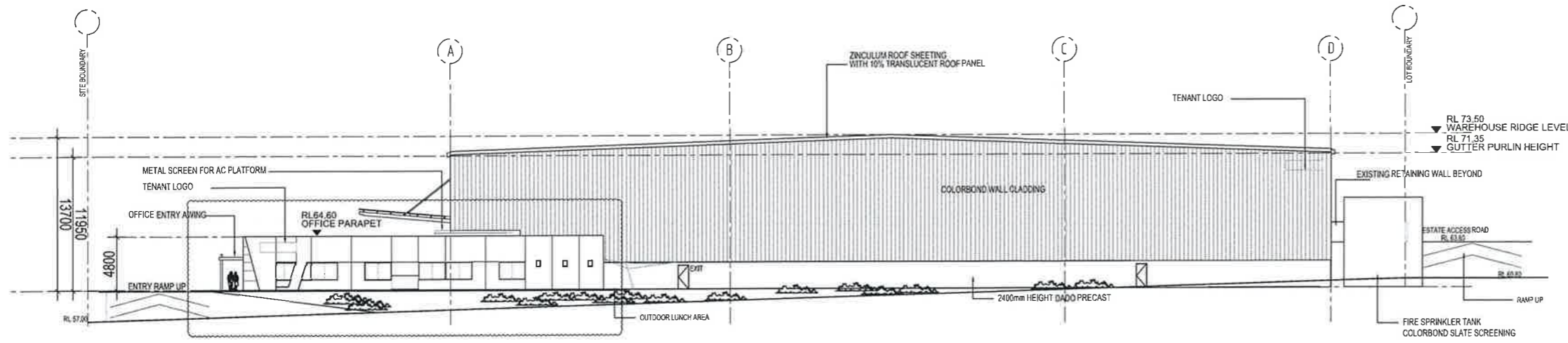
LOGOS
 LOGOS PROPERTY GROUP
 SUITE 2, L29, Aurora Place,
 88 Philip Street, Sydney NSW 2000
 t + 61 2 8197 5300

Project:
PROPOSED WAREHOUSE
 LOT 62 / 133 - 145
 LENORE LANE, ERSKINE PARK, NSW.



Drawing title:
OFFICE FLOOR PLAN

Date	Scale	Drawn	Project number	Drawing number	Issue
11/04/16	1:100	AA	SPC	ERSK-DA-150	2



NSW GOVERNMENT Planning
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 Approved Section 75W Modification Application
 No. **3** granted on the **16 May 2016**
 in respect to MP **08-0016**
 Signed **1** ELEVATION 1
 Sheet No. **6** of **19**

2 ELEVATION 2
1:200 @ B1

3 ELEVATION 3
1:200 @ B1

4 ELEVATION 4
1:200 @ B1



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NO.	DATE	DESCRIPTION
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1	16.12.15	DA SUBMISSION

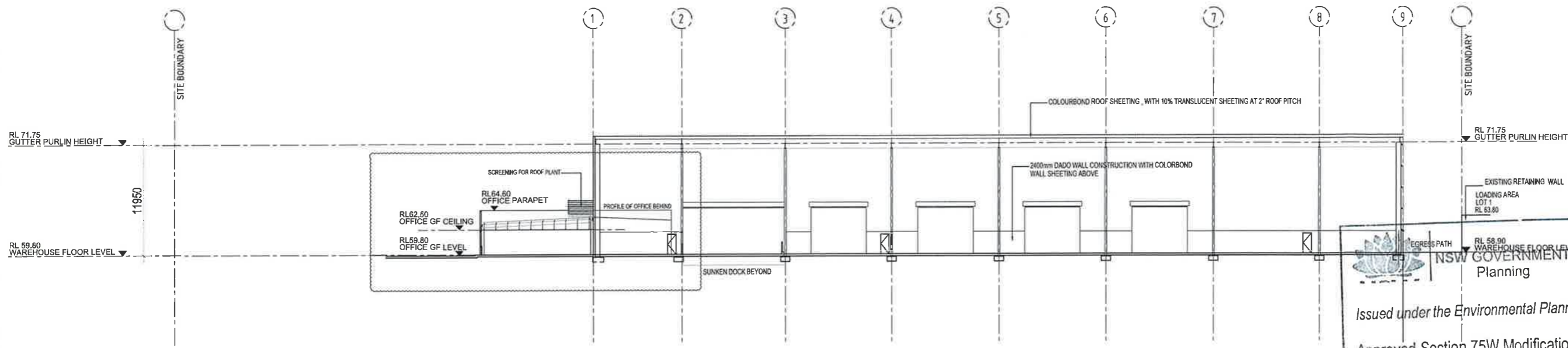
LOGOS
 LOGOS PROPERTY GROUP
 SUITE 2, L29, Aurora Place,
 88 Philip Street, Sydney NSW 2000
 t + 61 2 8197 6200

Project: **PROPOSED WAREHOUSE**
 LOT 62 / 133 - 145
 LENORE LANE, ERSKINE PARK, NSW.

Drawing title: **BUILDING ELEVATIONS**

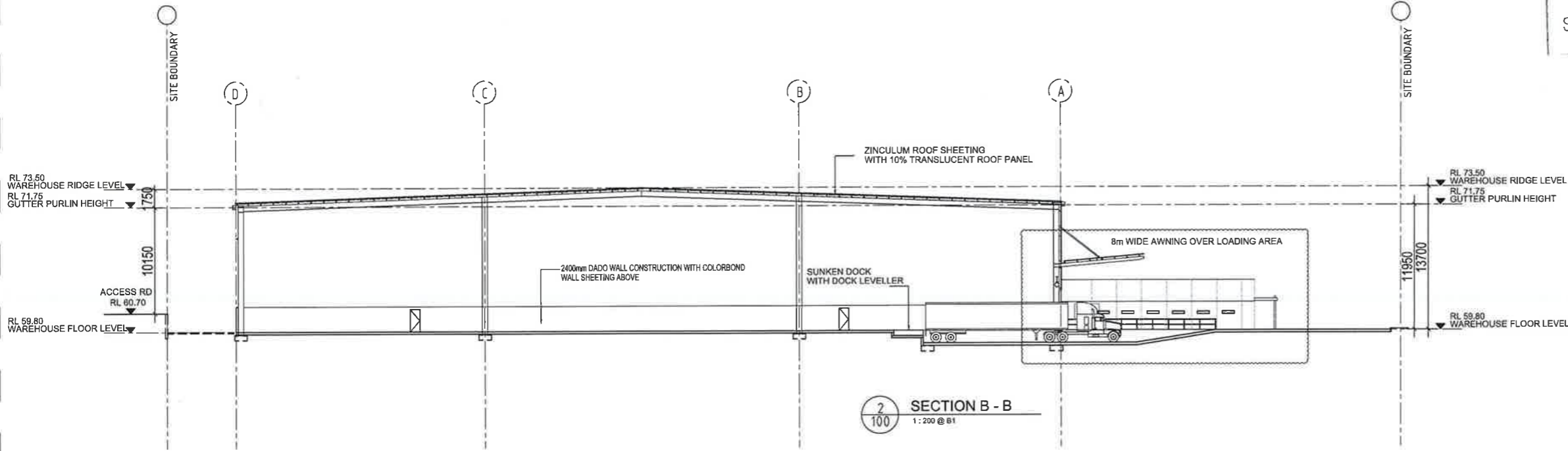
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1 SECTION A - A
 100 1:200 @ B1

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 Approved Section 75W Modification Application
 No. 3 granted on the 16 May 2016
 in respect to MP 08-0016
 Signed HR
 Sheet No. 7 of 19



2 SECTION B - B
 100 1:200 @ B1



Revisions	
2	11.04.16 DA AMENDMENT
1	18.12.15 DA SUBMISSION

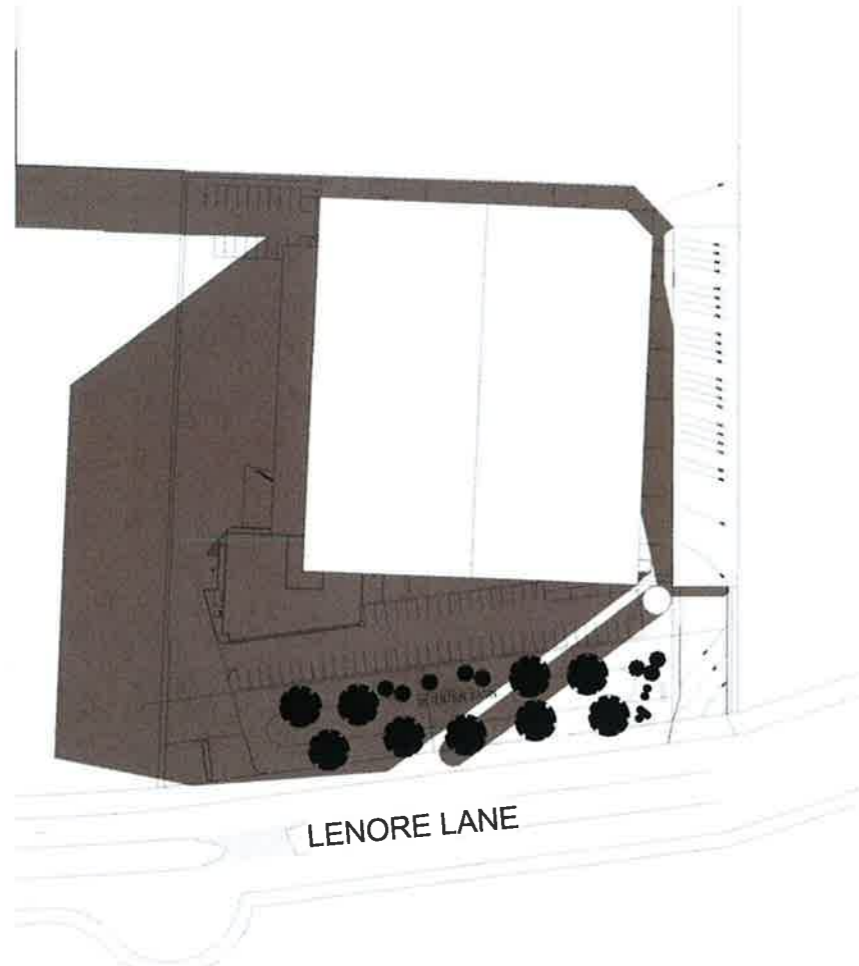
LOGOS
 LOGOS PROPERTY GROUP
 SUITE 2, L29, Aurora Place,
 88 Philip Street, Sydney NSW 2000
 t + 61 2 8197 6300

Project
PROPOSED WAREHOUSE
 LOT 82 / 133 - 145
 LENORE LANE, ERSKINE PARK, NSW.

Drawing title
BUILDING SECTIONS

Date:	Scale:	Drawn:	Project number:	Drawing number:	Issue:
11/04/16	1:200	AA	SPC	ERSK-DA-210	2

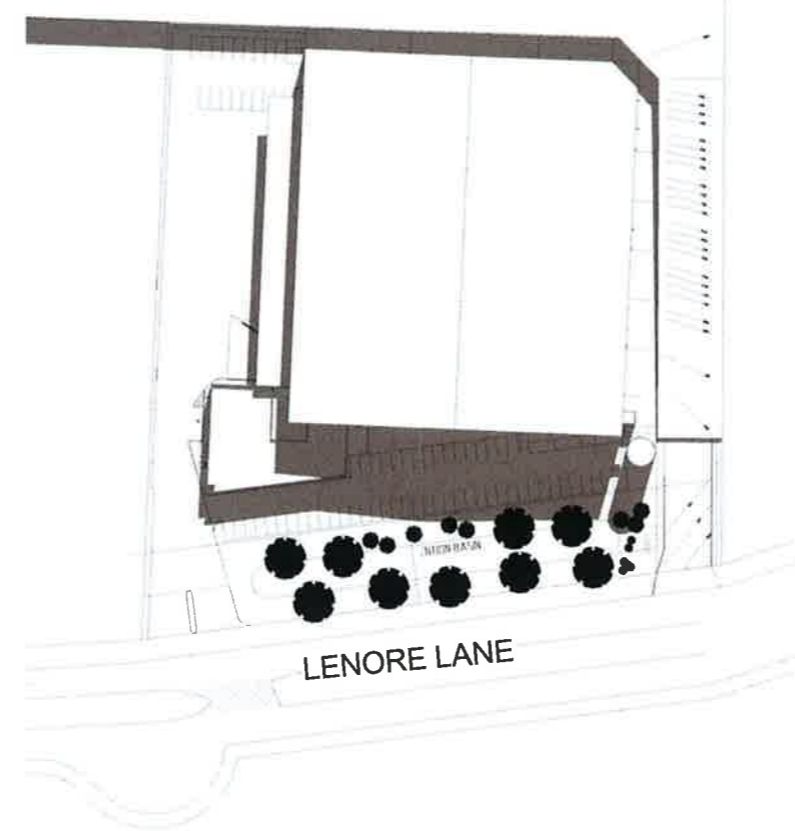
Notes
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WINTER SOLSTICE (21 JUNE)



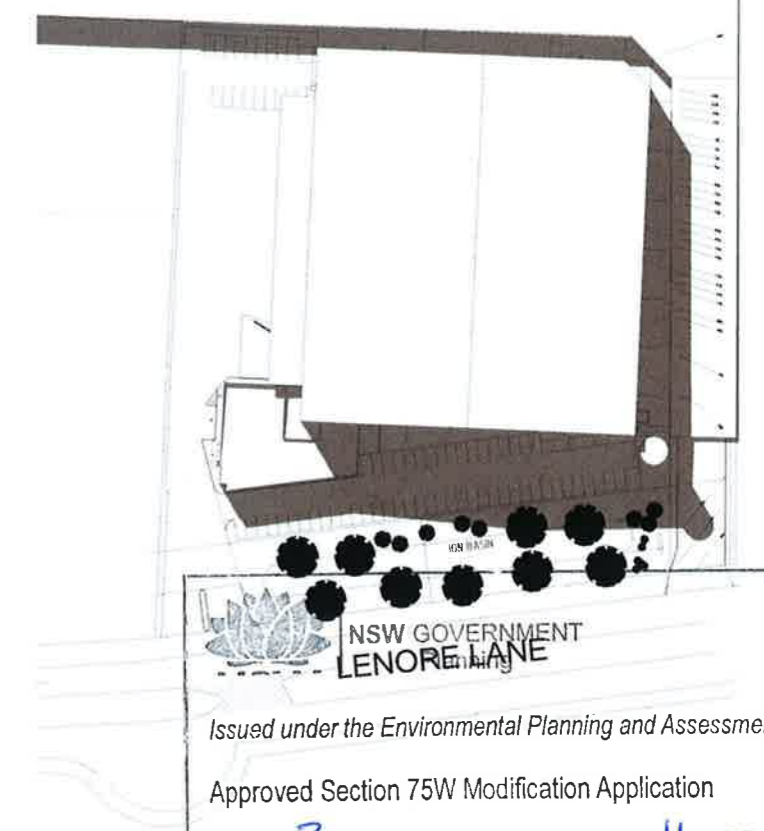
① Shadow Diagram - 9am
 1 : 750



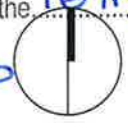
WINTER SOLSTICE (21 JUNE)



② Shadow Diagram 12pm
 1 : 750



WINTER SOLSTICE (21 JUNE)



③ Shadow Diagram 3pm
 1 : 750

NSW GOVERNMENT
 LENORE LANE

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 No. 3 granted on the 16 May 2016
 in respect to MP 08-0016

Signed M.R.

Sheet No. 8 of 19

LOGOS
 LOGOS PROPERTY GROUP
 SUITE 2, L20, Aurora Place,
 88 Philip Street, Sydney NSW 2000

Project
PROPOSED WAREHOUSE
 LOT 62 / 133 - 145
 LENORE LANE, ERSKINE PARK, NSW.

Drawing title
 SHADOW DIAGRAM

Date	Scale	Drawn	Project number	Drawing number	Issue
11/04/16	shown	AA	SPC	ERSK-DA-S01	2

MATERIAL FINISHES SPECIFICATION

PRECAST CONCRETE - PAINT COLOUR

Wayward Grey



Tranquil Retreat

06/14

NSW GOVERNMENT
 Planning
ELEVATION 1
 1:200 @ B1
 Approved Section 75W Modification Application
 No. 3 granted on the 16 May 2016
 in respect to MP 08-0016
 Signed IK
 Sheet No. 10 of 19

CORRUGATED METAL WALL / ROOF CLADDING



SURFMIST®

MONUMENT®



SHALE GREY™

METALLIC CLADDING - OFFICE



M7776 Monotone Slate (G30)

OFFICE GLAZING

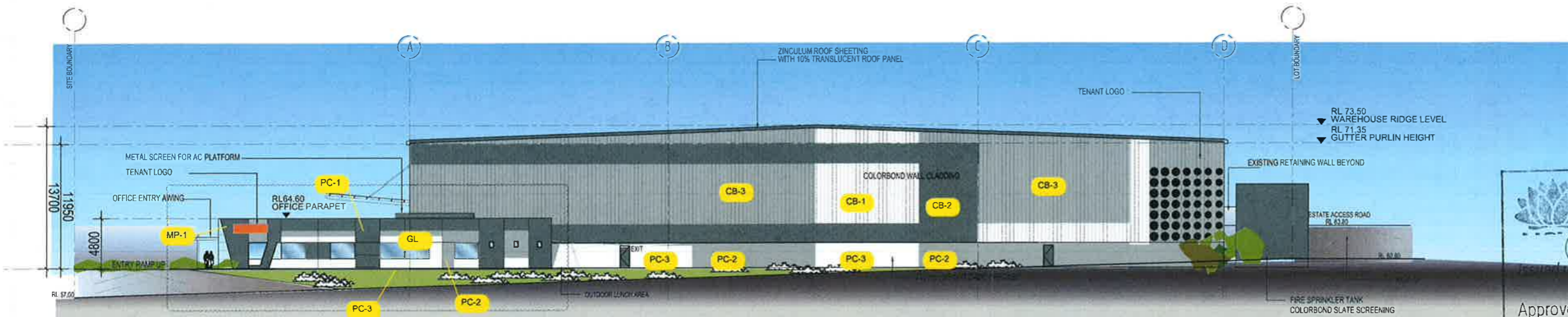


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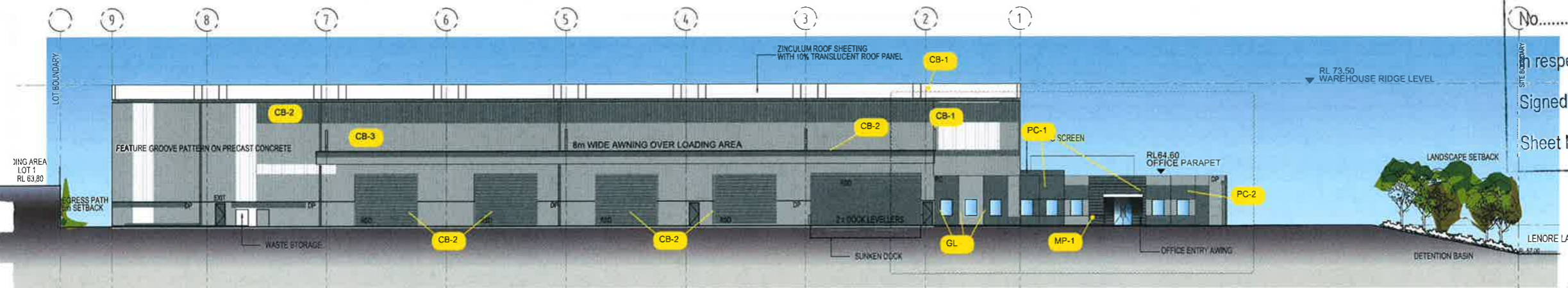
LOT 2, 133-145 LENORE DRV, ERSKINE PARK

REV C

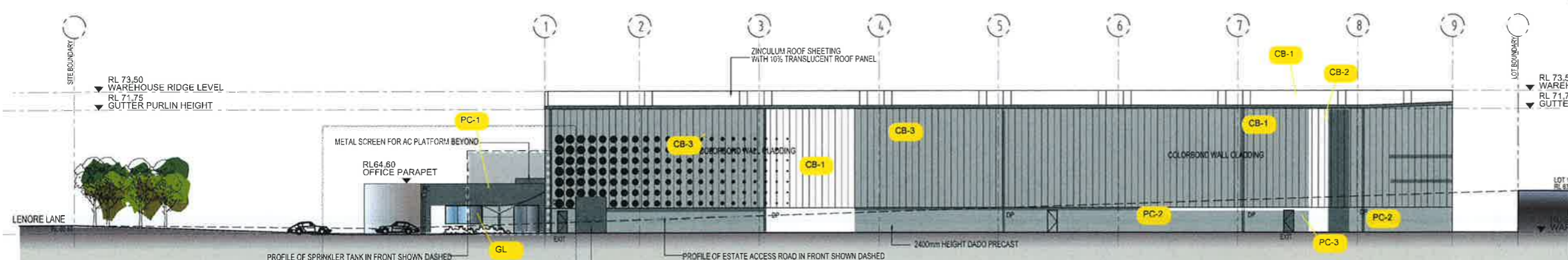
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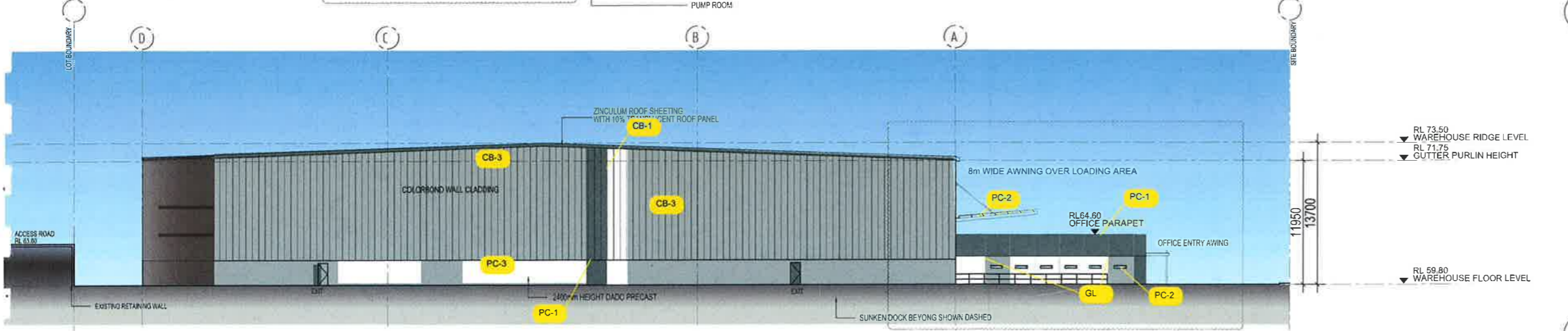
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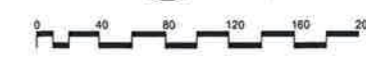
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1:200 @ B1



3 ELEVATION 3
1:200 @ B1



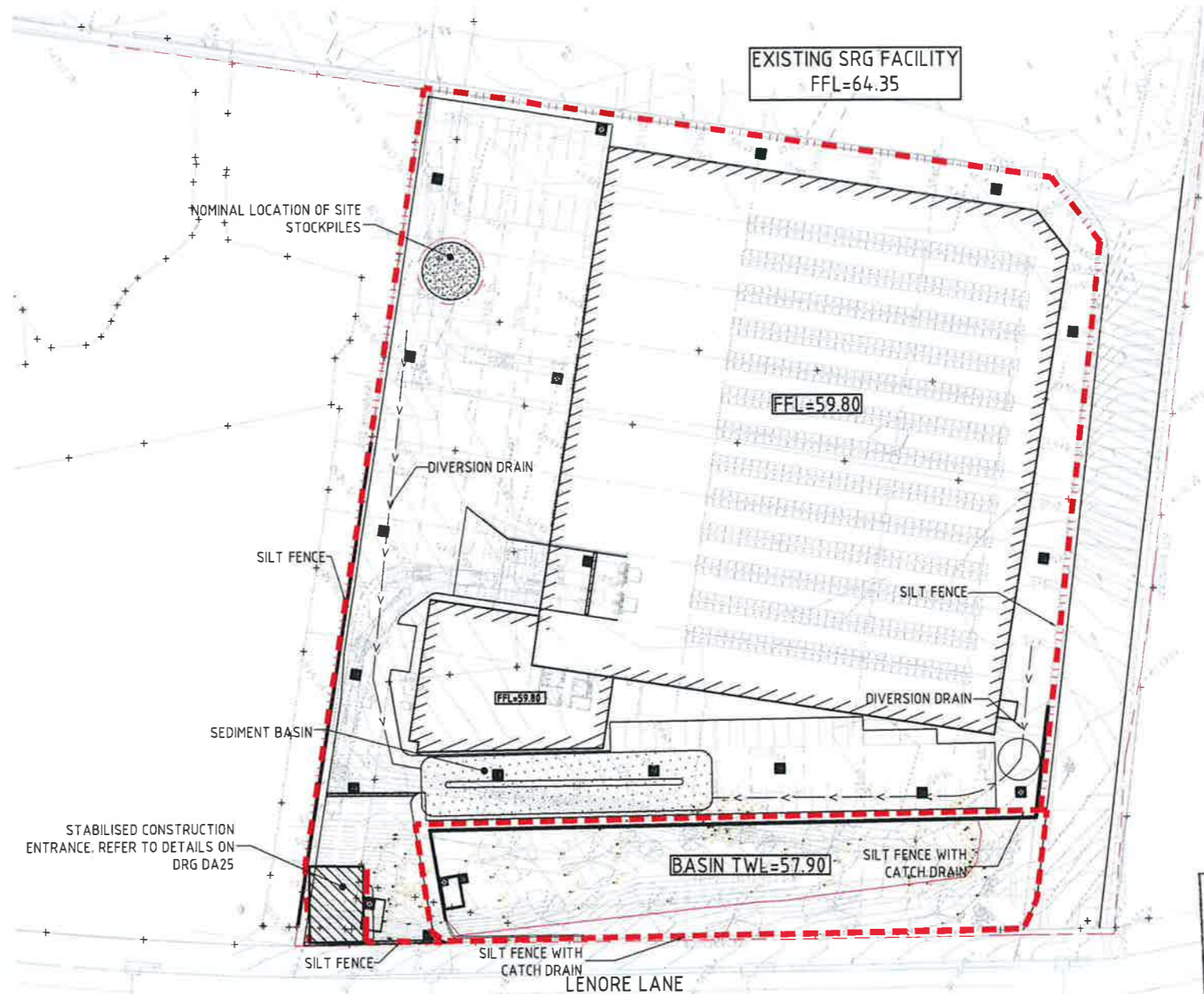
4 ELEVATION 4
1:200 @ B1



EROSION CONTROL NOTES

ALL CONTROL WORK INCLUDING DIVERSION BANKS AND CATCH DRAINS, V-DRAINS AND SILT FENCES SHALL BE COMPLETED DIRECTLY FOLLOWING THE COMPLETION OF THE EARTHWORKS.

- SILT FENCES AND SILT FENCE RETURNS SHALL BE ERECTED CONVEX TO THE CONTOUR TO POND WATER.
- HAY BALE BARRIERS AND GEOTEXTILE FENCES ARE TO BE CONSTRUCTED TO TOE OF BATTER, PRIOR TO COMMENCEMENT OF EARTHWORKS, IMMEDIATELY AFTER CLEARING OF VEGETATION AND BEFORE REMOVAL OF TOP SOIL.
- ALL TEMPORARY EARTH BERMS, DIVERSION AND SILT DAM EMBANKMENTS ARE TO BE MACHINE COMPACTED, SEEDED AND MULCHED FOR TEMPORARY VEGETATION COVER AS SOON AS THEY HAVE BEEN FORMED.
- CLEAR WATER IS TO BE DIVERTED AWAY FROM DISTURBED GROUND AND INTO THE DRAINAGE SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROVIDING ON GOING ADJUSTMENT TO EROSION CONTROL MEASURES AS REQUIRED DURING CONSTRUCTION.
- ALL SEDIMENT TRAPPING STRUCTURES AND DEVICES ARE TO BE INSPECTED AFTER STORMS FOR STRUCTURAL DAMAGE OR CLOGGING, TRAPPED MATERIAL IS TO BE REMOVED TO A SAFE, APPROVED LOCATION.
- ALL FINAL EROSION PREVENTION MEASURES INCLUDING THE ESTABLISHMENT OF GRASSING ARE TO BE MAINTAINED UNTIL THE END OF THE DEFECTS LIABILITY PERIOD.
- ALL EARTHWORKS AREAS SHALL BE ROLLED ON A REGULAR BASIS TO SEAL THE EARTHWORKS.
- ALL FILL AREAS ARE TO BE LEFT WITH A BUND AT THE TOP OF THE SLOPE AT THE END OF EACH DAYS EARTHWORKS. THE HEIGHT OF THE BUND SHALL BE A MINIMUM OF 200MM.
- ALL CUT AND FILL SLOPES ARE TO BE SEEDED AND HYDROMULCHED WITHIN 10 DAYS OF COMPLETION OF FORMATION.
- AFTER REVEGETATION OF THE SITE IS COMPLETE AND THE SITE IS STABLE IN THE OPINION OF A SUITABLY QUALIFIED PERSON ALL TEMPORARY WORK SUCH AS SILT FENCE, DIVERSION DRAINS ETC SHALL BE REMOVED.
- ALL TOPSOIL STOCKPILES ARE TO BE SUITABLY COVERED TO THE SATISFACTION OF THE SITE MANAGER TO PREVENT WIND AND WATER EROSION.
- ANY AREA THAT IS NOT APPROVED BY THE CONTRACT ADMINISTRATOR FOR CLEARING OR DISTURBANCE BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEARLY MARKED AND SIGN POSTED, FENCED OFF OR OTHERWISE APPROPRIATELY PROTECTED AGAINST ANY SUCH DISTURBANCE.
- ALL STOCKPILE SITES SHALL BE SITUATED IN AREAS APPROVED FOR SUCH USE BY THE SITE MANAGER. A 6m BUFFER ZONE SHALL EXIST BETWEEN STOCKPILE SITES AND ANY STREAM OR FLOW PATH. ALL STOCKPILES SHALL BE ADEQUATELY PROTECTED FROM EROSION AND CONTAMINATION OF THE SURROUNDING AREA BY USE OF THE MEASURES APPROVED IN THE EROSION AND SEDIMENTATION CONTROL PLAN.
- ACCESS AND EXIT AREAS SHALL INCLUDE SHAKE-DOWN OR OTHER METHODS APPROVED BY THE SITE MANAGER FOR THE REMOVAL OF SOIL MATERIALS FROM MOTOR VEHICLES.
- THE CONTRACTOR IS TO ENSURE RUNOFF FROM ALL AREAS WHERE THE NATURAL SURFACE IS DISTURBED BY CONSTRUCTION, INCLUDING ACCESS ROADS, DEPOT AND STOCKPILE SITES, SHALL BE FREE OF POLLUTANTS BEFORE IT IS EITHER DISPERSED TO STABLE AREAS OR DIRECTED TO NATURAL WATERCOURSES.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SLOPES, CROWNS AND DRAINS ON ALL EXCAVATIONS AND EMBANKMENTS TO ENSURE SATISFACTORY DRAINAGE AT ALL TIMES WATER SHALL NOT BE ALLOWED TO POND ON THE WORKS UNLESS SUCH PONDING IS PART OF AN APPROVED ESCP / SWMP.



LEGEND:
 PROVIDE 1m RETURNS TO SILT FENCE AT 30m MAX. INTERVALS. TYPICAL (N.S.O.P.)

- - - - - SILT FENCE WITH CATCH DRAIN
- - - - - SILT FENCE ONLY
- - - - - DIVERSION DRAIN

SEDIMENTATION BASIN NOTE:

FOR SEDIMENT & EROSION CONTROL DETAILS REFER TO DRAWING C011888.04-DA25 & DA26.

SEDIMENTATION BASIN SIZING BASED ON RECOMMENDATIONS OF 'SOILS AND CONSTRUCTION, MANAGING URBAN STORMWATER-THE BLUE BOOK', CAPACITY BASED UPON 5 DAY RAINFALL DEPTH AT 85th PERCENTILE INTENSITY (32.2mm).

APPROXIMATE AREA OF DISTURBED SITE = 1.38Ha

SEDIMENTATION BASINS TO COLLECT RUN-OFF IN EXTREME RAINFALL EVENTS. COLLECTED RUN-OFF TO BE ASSESSED BY A QUALIFIED LABORATORY FOR DOUSING RATES OF ALUM OR GYPSUM TO ENSURE COAGULATION OF SEDIMENTS PRIOR TO WATER BEING DISCHARGED TO COUNCIL STORMWATER SYSTEM.

EACH BASIN IS TO HAVE A MARKER PLACED AS PER THE DETAIL TO INDICATE WHEN SEDIMENT IS TO BE REMOVED. REMOVED SEDIMENT IS TO BE CLASSED AND DEWATERED PRIOR TO REMOVAL FROM SITE.

ALLOWANCE TO BE MADE DURING BENCHING OF SITE TO ENSURE RUN-OFF IS DIRECTED TO SEDIMENTATION BASINS.

- NOTES:**
- ASSUME TYPE D SOIL (CLAY/SILTY CLAY)
 - ASSUME GROUP D SOIL (HIGH PLASTICITY AND SHRINK/SWELL PROPERTIES)
- SOIL TYPE ASSESSED FROM GEOTECHNICAL REPORT.

SEDIMENT BASIN 1:

CATCHMENT AREA	= 1.38ha
REQUIRED BASIN VOLUME	= 333m ³
BASE DIMENSION (LxB)	= 40.0m x 1m
TOP DIMENSION (LxB)	= 49.0m x 10.0m
MAX SIDE SLOPE	= 1V:3H
DEPTH	= 1.5m
PROVIDED BASIN VOLUME	= 335m ³

EROSION AND SEDIMENT CONTROL PLAN
 SCALE 1:500

NSW GOVERNMENT
 Planning

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application

No. 3 granted on the 16 May 2016

in respect to MP 08/0016

Signed HR

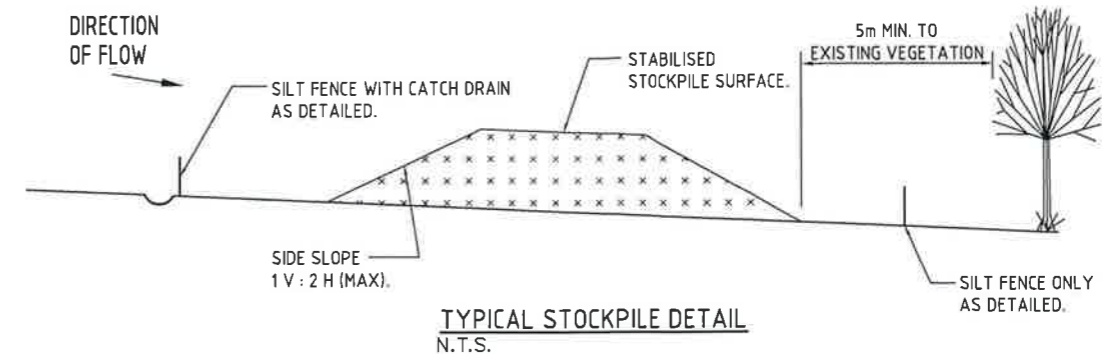
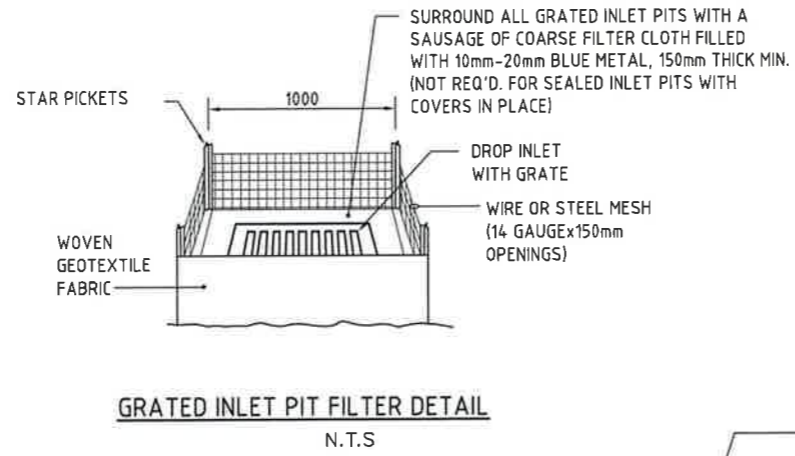
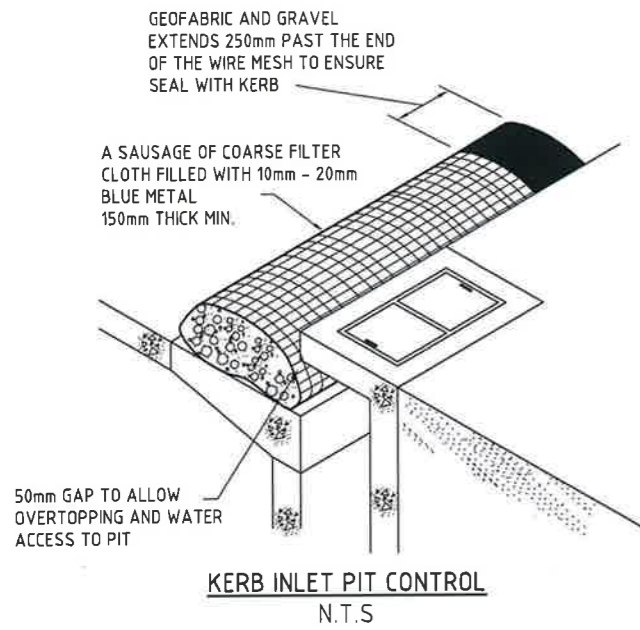
Sheet No. 12 of 19

NOTE: ALL LEVELS ARE INDICATIVE (±500mm) & MAY BE SUBJECT TO MINOR VARIATION TO SUIT DETAILED DESIGN.

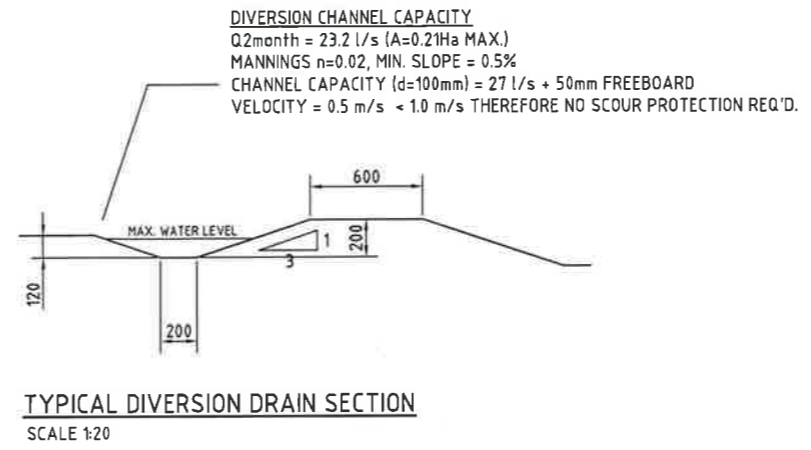
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 SCALE 1:500 AT A1 SIZE SHEET

FOR S75W APPROVAL

ARCHITECT ISSUED FOR S75W APPROVAL 08.04.16 C ISSUED FOR REVIEW 16.12.15 B ISSUED FOR REVIEW 15.12.15 A AMENDMENTS DATE ISSUE		CLIENT LOGOS PROPERTY SUITE 02, LEVEL 12 167 MACQUARIE STREET SYDNEY NSW		PROJECT PROPOSED DEVELOPMENT LOT 62/133-145 LENORE LANE, ERSKINE PARK NSW		Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Windmill Street Walsh Bay, Sydney NSW 2000 Tel: (02) 9251-7899 Fax: (02) 9241-9781 email: mail@costinroe.com.au ©		DRAWING TITLE EROSION AND SEDIMENT CONTROL PLAN DRAWING No. C011888.04-DA20	
Value in Engineering and Management				CostinRoe Consulting		ISSUE C		C	

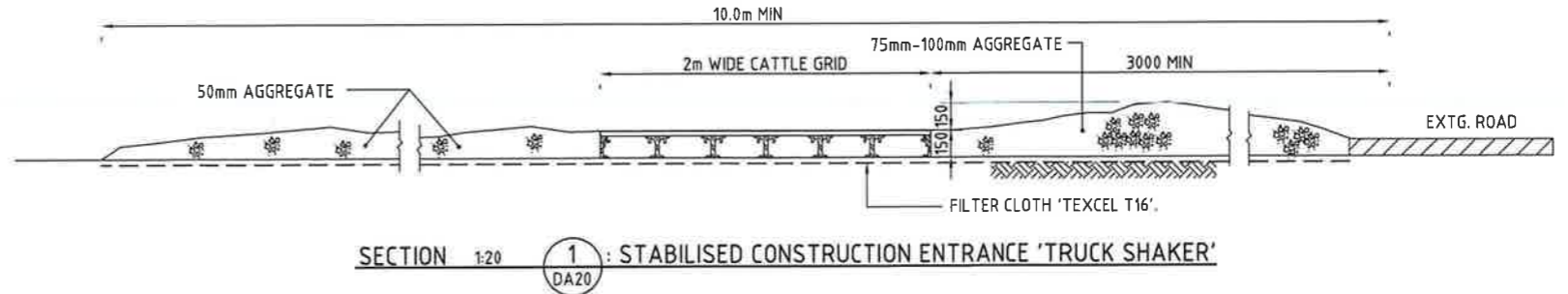
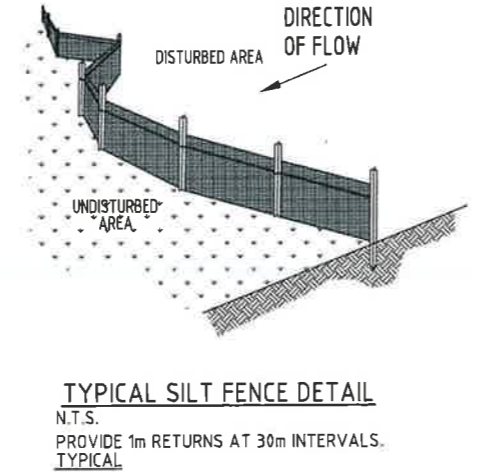
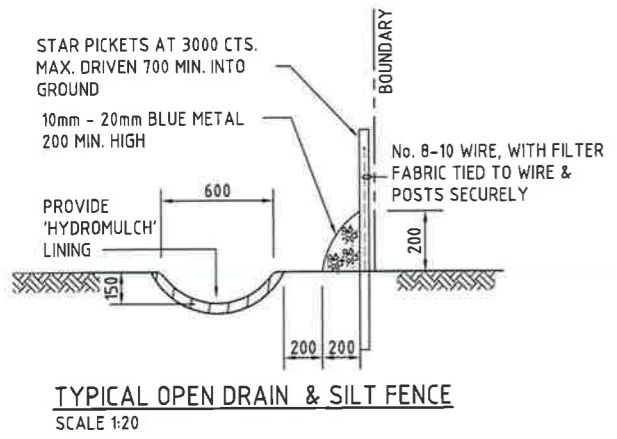


NOTE: ADOPT ABOVE DETAILS AROUND ALL PITS WITHIN AREA ENCOMPASSED BY SILT FENCE & TO PITS ON THE ROAD ADJACENT TO SITE BOUNDARY.



- STOCKPILE NOTES**
1. PLACE ALL STOCKPILES IN LOCATIONS MORE THAN 5m FROM EXISTING VEGETATION, ROADS & HAZARD AREAS.
 2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT ELONGATED MOUNDS. SIDE SLOPE TO BE 1 V: 2 H MAX.
 3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT.
 4. WHERE STOCKPILES ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE USING WOOD CHIP MULCH @ 10T/HA.
 5. CONSTRUCT SILT FENCE WITH CATCH DRAIN ON UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES & SILT FENCE ONLY 1 TO 2m DOWNSLOPE AS SHOWN

Approved Section 75W Modification Application
No. 3 granted on the 16 May 2016
in respect to MP 08-0016
Signed HR
Sheet No. 13 of 19



FOR S75W APPROVAL

AMENDMENTS	DATE	ISSUE
ISSUED FOR S75W APPROVAL	08.04.16	C
ISSUED FOR REVIEW	16.12.15	B
ISSUED FOR REVIEW	15.12.15	A

ARCHITECT

CLIENT
LOGOS PROPERTY
SUITE 02, LEVEL 12
167 MACQUARIE STREET
SYDNEY NSW

PROJECT
PROPOSED DEVELOPMENT
LOT 62/133-145 LENORE LANE,
ERSKINE PARK NSW



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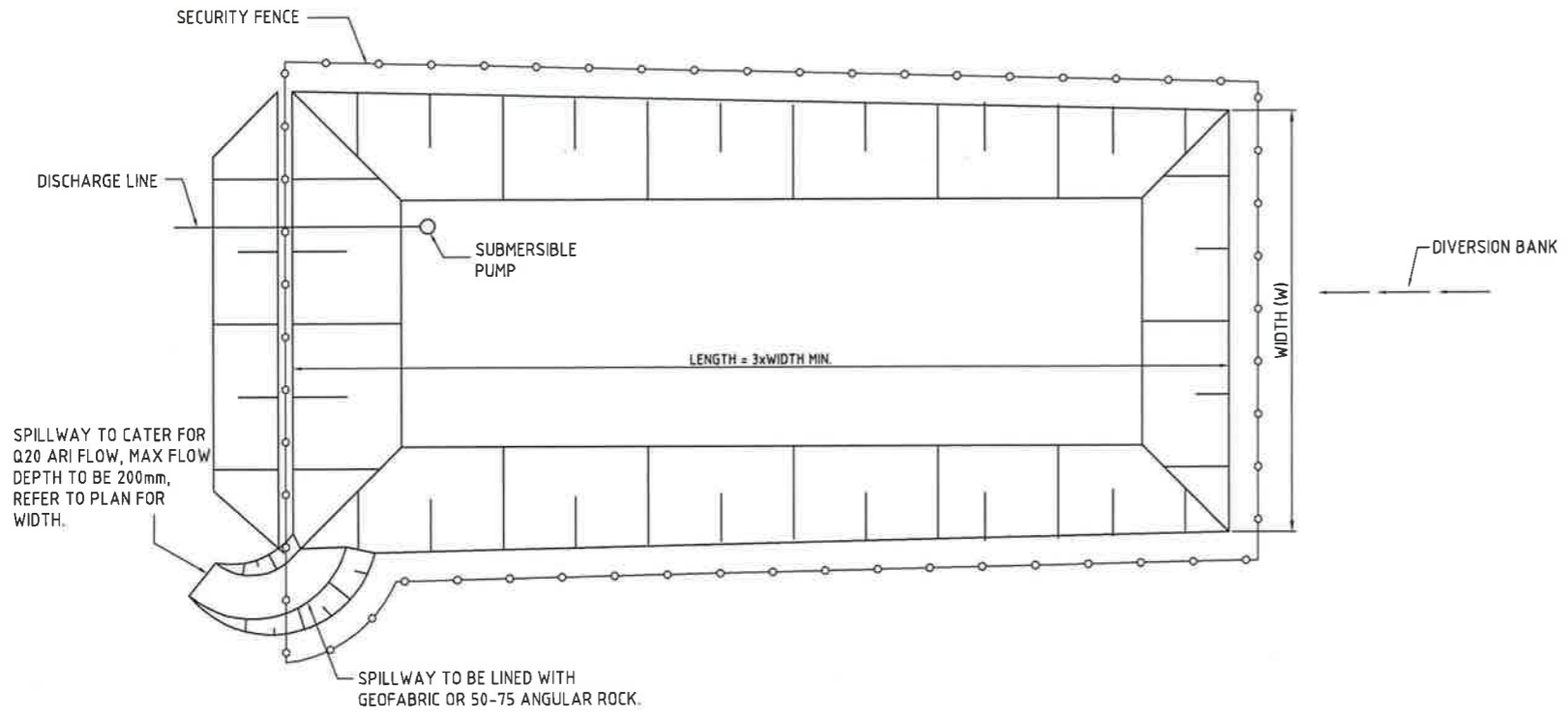
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DRAWING TITLE
EROSION AND SEDIMENT CONTROL DETAILS-SHEET 1

DRAWING No **C011888.04-DA25** ISSUE **C**

- SEDIMENT CONTROL POND NOTES:**
1. TYPE D BASIN IS REQUIRED.
 2. VOLUME OF TYPE D POND SHALL BE AS NOMINATED ON DRAWING DA20. NOMINAL POND LOCATIONS AND NOMINAL DIMENSIONS.
 3. SEDIMENT BUILD UP TO NOT EXCEED 33% TOTAL CAPACITY OF POND.
 4. WATER LEVEL TO BE MAINTAINED AT 20% CAPACITY DURING SETTLING PERIOD.
 5. LENGTH TO WIDTH RATIO TO BE 3:1 MIN. TYPICAL DEPTH TO BE 1.5m.
 6. PROVIDE SECURITY FENCE TO POND FOR SAFETY.
 7. DEWATERING OF POND TO BE PERFORMED TO THE BOTTOM OF THE SEDIMENT SETTLING ZONE FOLLOWING ACHIEVEMENT OF WQO's. MANAGEMENT OF DOSAGE AND DISCHARGE TO BE ACHIEVED IN A TIMELY MANNER BEFORE THE NEXT RAIN EVENT AND WITHIN 5 DAYS OF THE INITIAL RAINFALL EVENT.
 8. WATER TO BE DOSED WITH GYPSUM TO ACCELERATE SETTLEMENT OF SUSPENDED SOLIDS.
 9. GYPSUM DOSAGE RATE TO BE APPLIED AT APPROX. 32kg PER 100 CUBIC METRE OF COLLECTED RUNOFF.
 10. THE USE OF ALUM AS A FLOCCULANT IS NOT RECOMMENDED AND IS TO BE USED ONLY FOLLOWING CONSULTATION WITH AND ACCEPTANCE FROM GOLD COAST CITY COUNCIL ESC OFFICERS.
 11. DISCHARGE FROM POND IS PERMISSIBLE WHEN THE WATER PH IS 6.5-8.5 AND IS CLARIFIED TO AT OR BELOW A TSS OF 50mg/L (75 NTU). CLARIFICATION WOULD GENERALLY BE ACHIEVED IN 36-72 HOURS WITH THE USE OF GYPSUM.
 12. DEWATERING SHALL BE DONE IN SUCH A MANNER AS TO REMOVE THE RELATIVELY CLEAN WATER WITHOUT REMOVING OR DISTURBING THE SEDIMENT THAT HAS SETTLED. THE PUMP INTAKE PIPE IS NOT TO REST ON THE SETTLED SEDIMENT LAYER.
 13. IF WATER EXCEEDS TSS OF 50mg/L (75 NTU) DURING DEWATERING, PUMPING IS TO CEASE.
 14. RECORDS ARE TO BE KEPT (ON-SITE AT ALL TIMES) OF ALL MEASUREMENT PRIOR TO, DURING AND AFTER DISCHARGE. RECORDS TO BE MADE AVAILABLE TO COUNCIL OFFICERS UPON REQUEST.



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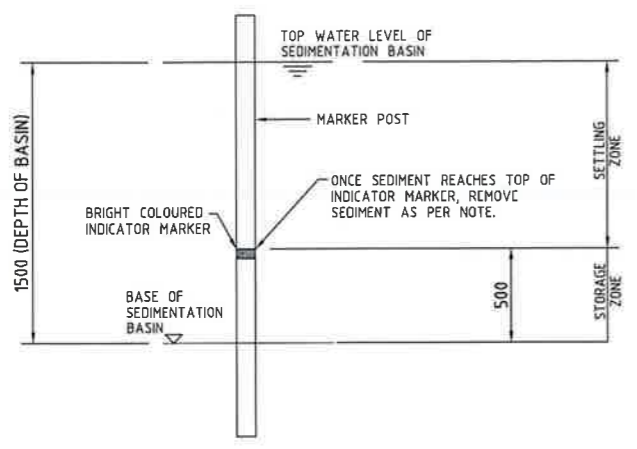
Approved Section 75W Modification Application

No. 3 granted on the 16 May 2016

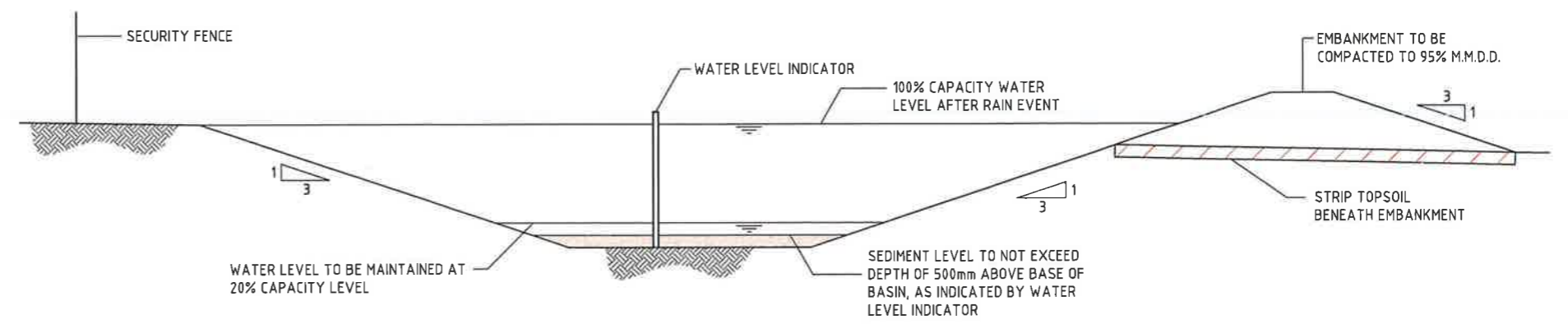
in respect to MP 08_0016

Signed MR

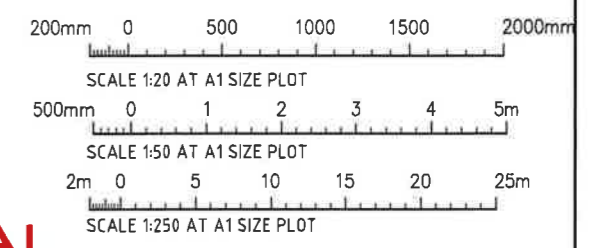
Sheet No. 14 of 19



SEDIMENT STORAGE MARKER
SCALE 1:20

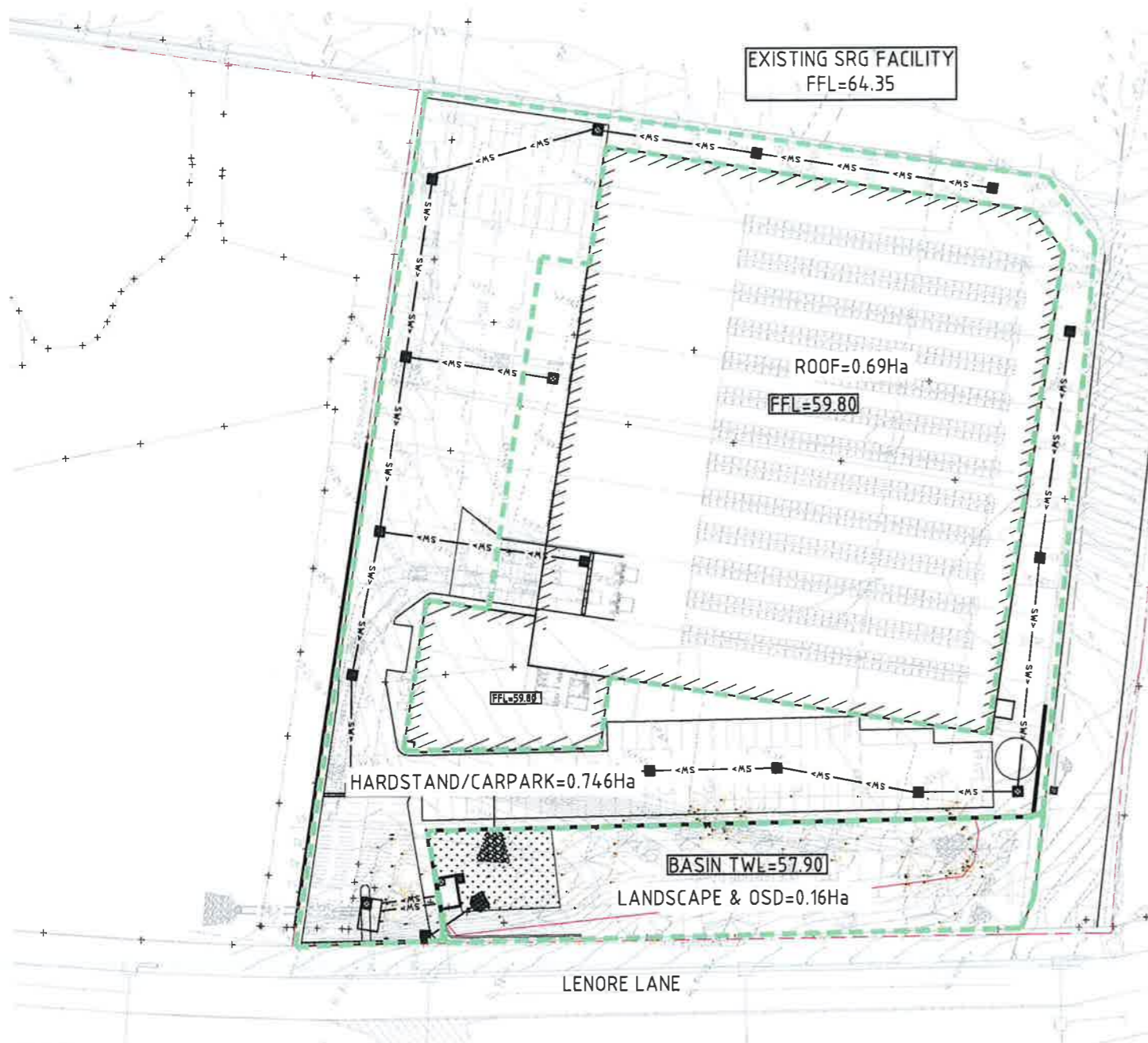


TYPICAL SEDIMENT CONTROL BASIN SECTION
SCALE 1:50



FOR S75W APPROVAL

ARCHITECT ISSUED FOR S75W APPROVAL 08.04.16 C ISSUED FOR REVIEW 16.12.15 B ISSUED FOR REVIEW 15.12.15 A AMENDMENTS DATE ISSUE		CLIENT LOGOS PROPERTY SUITE 02, LEVEL 12 167 MACQUARIE STREET SYDNEY NSW		PROJECT PROPOSED DEVELOPMENT LOT 62/133-145 LENDRE LANE, ERSKINE PARK NSW		CostinRoe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Windmill Street Walsh Bay, Sydney NSW 2000 Tel: (02) 9251-7899 Fax: (02) 9241-3751 email: mail@costinroe.com.au		DRAWING TITLE EROSION AND SEDIMENT CONTROL DETAILS-SHEET 2	
Value in Engineering and Management						DRAWING No. C011888.04-DA26		ISSUE C	



1. ALL STORMWATER WORKS TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS3500.3:2003 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE.
2. THE MINOR (PIPED) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 20 YEAR ARI STORM EVENT AND THE MAJOR (OVERLAND) SYSTEM HAS BEEN DESIGNED FOR THE 1 IN 100 YEAR ARI STORM EVENT.
3. ALL FINISHED PAVEMENT LEVELS SHALL BE AS INDICATED ON FINISHED LEVELS PLANS DA51 & DA52.
4. PIT SIZES SHALL BE AS INDICATED IN THE SCHEDULE WHILE PIPE SIZES AND DETAILS ARE PROVIDED ON PLAN.
5. EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED BY SURVEY PRIOR TO COMMENCING WORKS ON SITE.
6. ALL STORMWATER PIPES Ø375 OR GREATER SHALL BE CLASS 2 REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
7. ALL PIPES UP TO AND INCLUDING Ø300 TO BE uPVC GRADE SN8 UNO.
8. PIPE CLASS NOMINATED ARE FOR IN-SERVICE LOADING CONDITIONS ONLY. CONTRACTOR IS TO MAKE ANY NECESSARY ADJUSTMENTS REQUIRED FOR CONSTRUCTION CONDITIONS.
9. ALL CONCRETE PITS GREATER THAN 1000mm DEEP SHALL BE REINFORCED USING N12-200 EACH WAY CENTERED IN WALL AND BASE. LAP MINIMUM 300mm WHERE REQUIRED. ALL CONCRETE FOR PITS SHALL BE F'c 25 MPA. PRECAST PITS MAY BE USED WITH THE APPROVAL OF THE ENGINEER.
10. IN ADDITION TO ITEM 6 ABOVE, ALL CONCRETE PITS GREATER THAN 3000mm DEEP SHALL HAVE WALLS AND BASE THICKNESS INCREASED TO 200mm.
11. PIPES SHALL BE LAID AS PER PIPE LAYING DETAILS. PARTICULAR CARE SHALL BE TAKEN TO ENSURE THAT THE PIPE IS FULLY AND EVENLY SUPPORTED. RAM AND PACK FILLING AROUND AND UNDER BACK OF PIPES AND PIPE FAUCETS, WITH NARROW EDGED RAMPERS OR OTHER SUITABLE TAMPING DETAILS.
12. WHERE PIPE LINES ENTER PITS, PROVIDE 2m LENGTH OF STOCKING WRAPPED SLOTTED Ø100 uPVC TO EACH SIDE OF PIPE.
13. ALL SUBSOIL DRAINAGE LINES SHALL BE Ø100 SLOTTED uPVC WITH APPROVED FILTER WRAP LAID IN 300mm WIDE GRANULAR FILTER UNLESS NOTED OTHERWISE. LAY SUBSOIL LINES TO MATCH FALLS OF LAND AND/OR 1 IN 200 MINIMUM. PROVIDE CAPPED CLEANING EYE (RODDING POINT) AT UPSTREAM END OF LINE AND AT 30m MAX. CTS. PROVIDE SUBSOIL LINES TO ALL PAVEMENT/ LANDSCAPED INTERFACES, TO REAR OF RETAINING WALLS (AS NOMINATED BY STRUCTURAL ENGINEER) AND AS SHOWN ON PLAN.
14. ALL PIPE GRADES 1 IN 100 MINIMUM UNO.
15. PROVIDE STEP IRONS IN PITS DEEPER THAN 1000mm.
16. MIN. 600 COVER TO PIPE OBVERT BENEATH ROADS & MIN. 400 COVER BENEATH LANDSCAPED AND PEDESTRIAN AREAS.
17. PIT COVERS IN TRAFFICABLE PAVEMENT SHALL BE CLASS D 'HEAVY DUTY', THOSE LOCATED IN NON-TRAFFICABLE AREAS SHALL BE CLASS B 'MEDIUM DUTY' U.N.O.
18. PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.
19. DOWN PIPES (DP) TO BE AS PER HYDRAULIC ENGINEERS DETAILS WITH CONNECTOR TO MATCH DP SIZE U.N.O. ON PLAN. PROVIDE CLEANING EYE AT GROUND LEVEL.
20. PIPE LENGTHS NOMINATED ON PLAN OR LONGSECTIONS ARE MEASURED FROM CENTER OF PITS TO THE NEAREST 0.5m AND DO NOT REPRESENT ACTUAL LENGTH. THE CONTRACTOR IS TO ALLOW FOR THIS.

PIT SCHEDULE

PIT No.	GRATE RL	TYPE	SIZE	COMMENT
PIT A01	59.50	SGGP	600x600	⊕
PIT A02	59.50	SGGP	900x900	⊕
PIT A03	58.70	SJP	900x900	
PIT A04	59.40	SGGP	900x900	⊕
PIT A05	59.40	SGGP	900x900	⊕
PIT A06	59.40	SGGP	900x900	⊕
PIT A07	59.45	SGGP	900x900	⊕
PIT A08	59.30	SGGP	900x900	⊕
PIT A09	59.43	SGGP	900x900	⊕
PIT A10	59.80	SJP	900x900	
PIT A11	58.45	SGGP	600x600	⊕
PIT A12	59.50	SGGP	600x600	⊕
PIT A13	59.50	SGGP	900x900	⊕
PIT A14	59.70	SJP	900x900	
PIT A15	59.50	SGGP	900x900	⊕
PIT A16	59.45	SGGP	900x900	⊕
PIT A17	59.45	SGGP	900x900	⊕
PIT A18		DCP		REFER DA46
PIT A19	57.40	SJP		
PIT A20	57.60	SGGP	900x900	⊕

⊕ DENOTES PIT TO BE FITTED WITH STORMWATER 360 ENVIROPOD 200 INSERT.

 **DRAINAGE/MUSIC CATCHMENT PLAN**
SCALE 1:500

NSW GOVERNMENT
Planning
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Approved Section 75W Modification Application
No. 3 granted on the 16 May 2016
in respect to MP 08_0016
Signed IK
Sheet No. 15 of 19

NOTE: ALL LEVELS ARE INDICATIVE (±500mm) & MAY BE SUBJECT TO MINOR VARIATION TO SUIT DETAILED DESIGN.
5m 0 10 20 30 40 50m
SCALE 1:500 AT A1 SIZE SHEET

FOR S75W APPROVAL

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ARCHITECT
LOGOS PROPERTY
SUITE 02, LEVEL 12
167 MACQUARIE STREET
SYDNEY NSW

CLIENT
LOGOS PROPERTY
SUITE 02, LEVEL 12
167 MACQUARIE STREET
SYDNEY NSW

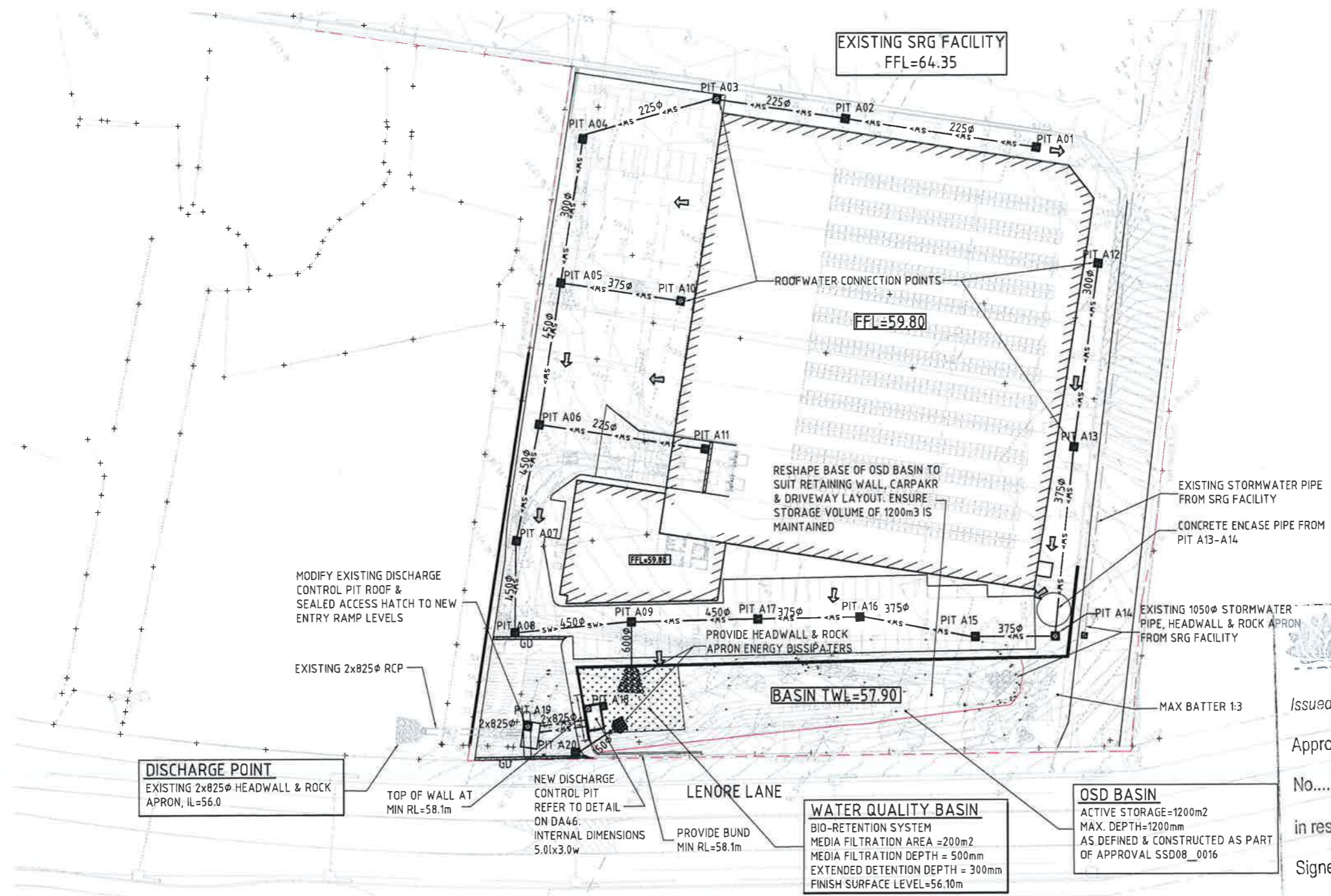
PROJECT
PROPOSED DEVELOPMENT
LOT 62/133-145 LENORE LANE,
ERSKINE PARK NSW



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DRAWING TITLE
DRAINAGE/MUSIC CATCHMENT PLAN
DRAWING NO. C011888.04-DA40
ISSUE C



- LEGEND:**
LEVELS DATUM IS AHD.
- EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED.
- SGGP, SINGLE GRATED GULLY PIT
 - SJP, SEALED JUNCTION PIT
 - KIP, KERB INLET PIT
 - DRAINAGE LINE
 - EXISTING DRAINAGE LINE
 - SUBSOIL LINE
 - ROOFWATER LINE
 - SIPHONIC LINE
 - OVERLAND FLOW DIRECTION
 - FINISHED PAVEMENT CONTOUR (MAJOR) 0.5m INTERVALS
 - FINISHED PAVEMENT CONTOUR (MINOR) 0.1m INTERVALS

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No. 3 granted on the 16 May 2016

in respect to MP 08_0016

Signed MR

Sheet No. 16 of 19

STORMWATER DRAINAGE PLAN
SCALE 1:500

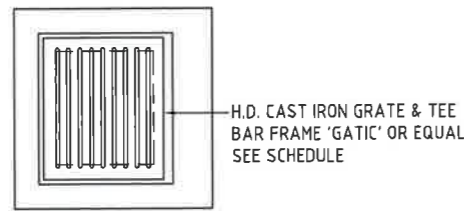
NOTE:
REFER TO DRAWING DA40 FOR DRAINAGE NOTES & PIT SCHEDULE

NOTE: ALL LEVELS ARE INDICATIVE (± 500 mm) & MAY BE SUBJECT TO MINOR VARIATION TO SUIT DETAILED DESIGN.

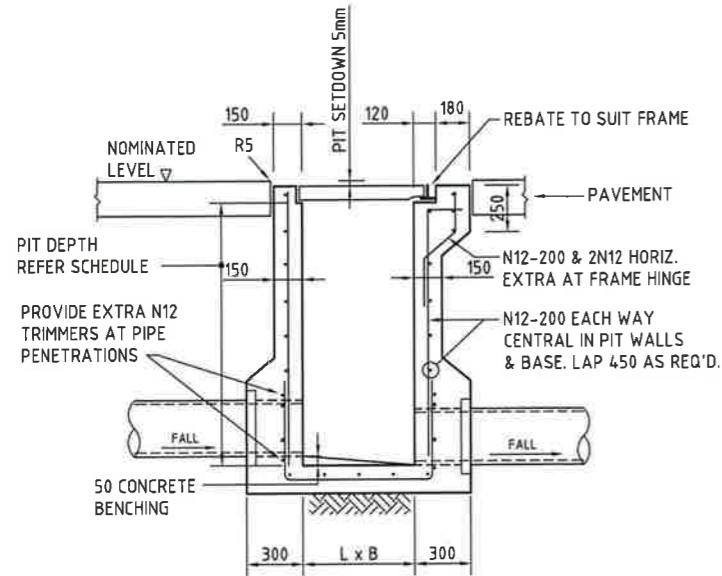
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SCALE 1:500 AT A1 SIZE SHEET

FOR S75W APPROVAL

ARCHITECT ISSUED FOR S75W APPROVAL 08.04.16 C ISSUED FOR REVIEW 16.12.15 B ISSUED FOR REVIEW 15.12.15 A AMENDMENTS DATE ISSUE			CLIENT LOGOS PROPERTY SUITE 02, LEVEL 12 167 MACQUARIE STREET SYDNEY NSW			PROJECT PROPOSED DEVELOPMENT LOT 62/133-145 LENORE LANE, ERSKINE PARK NSW			Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Windmill Street Walsh Bay, Sydney NSW 2000 Tel: (02) 9261-7899 Fax: (02) 9241-3781 email: mail@costinroe.com.au			DRAWING TITLE STORMWATER DRAINAGE PLAN		
			DESIGNED HW DRAWN SD DATE CHECKED SIZE A1 SCALE AS SHOWN CAD REF: 11888.04-DA41			CostinRoe Consulting Value in Engineering and Management			DRAWING NO C011888.04-DA41					



PLAN
SCALE 1:20



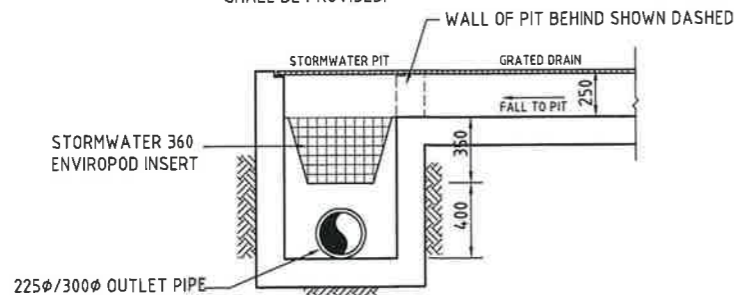
SEE SCHEDULE
L DIMENSION IN DIRECTION OF DOWNSTREAM PIPE

SECTION
SCALE 1:20

SINGLE GRATED GULLY PIT - SGGP

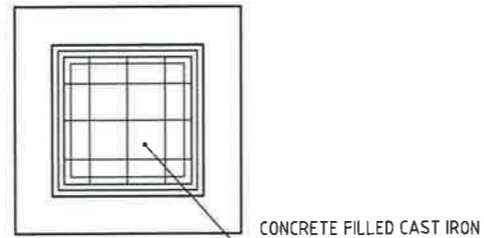
NOTES:

- WHERE GULLY PIT IS LOCATED ON KERB RETURNS OR BULB OF CUL-DE-SACS PROVIDE CURVED PRECAST CONCRETE LINTELS.
- SAG PITS SHALL HAVE LINTEL PLACED CENTRALLY ABOUT THE GRATE.
- ALL REINFORCING TO HAVE 30 MIN. CLAER CONCRETE COVER.
- FOR PITS DEEPER THAN 1200mm CLIMB RAILS SHALL BE PROVIDED.

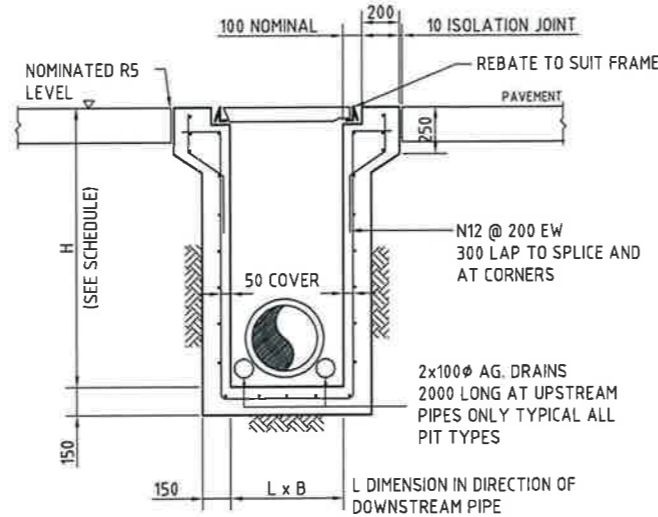


GRATED DRAIN/STORMWATER PIT WITH ENVIROPOD CONFIGURATION

SCALE 1:20

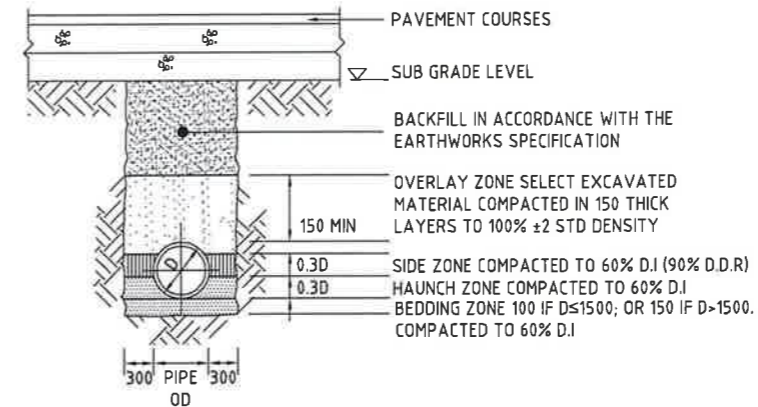


PLAN
SCALE 1:20



SECTION
SCALE 1:20

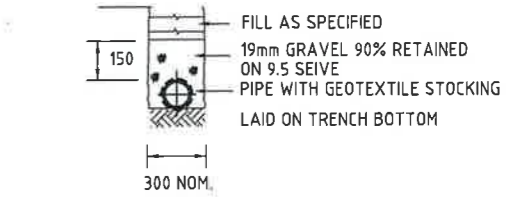
SEALED JUNCTION PIT - SJP



TYPE HS2 SUPPORT TO CONCRETE PIPES UNDER PAVEMENT

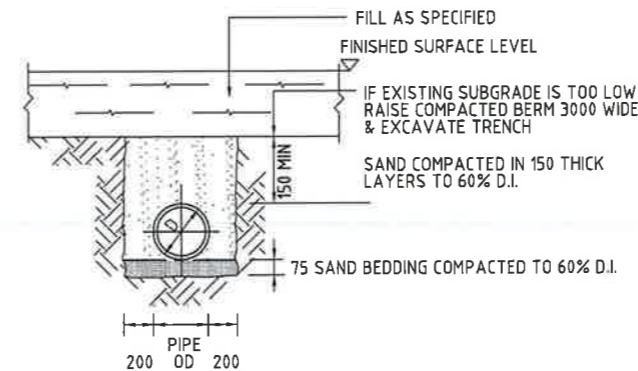
SIDE ZONE MATERIAL GRADING	
SIEVE SIZE	WEIGHT PASSING(%)
75	100
9.5	100 TO 50
2.36	100 TO 30
0.60	50 TO 15
0.075	25 TO 0

SELECT FILL MATERIAL IN ACCORDANCE WITH TABLE 1 AS 3725

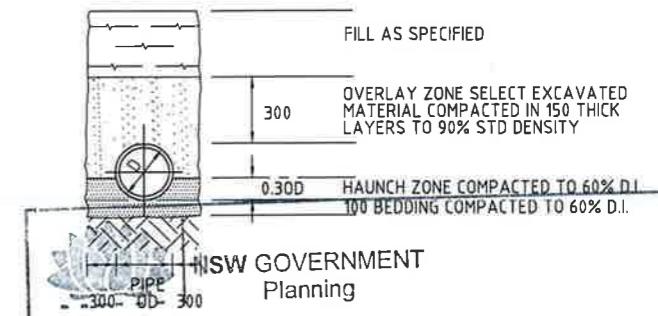


SUPPORT TO AG. DRAIN

BEDDING & HAUNCH MATERIAL GRADING	
SIEVE SIZE	WEIGHT PASSING(%)
19	100
2.36	100 TO 50
0.60	90 TO 20
0.30	60 TO 10
0.15	25 TO 0
0.075	10 TO 0



SUPPORT TO uPVC PIPES



TYPE H1 SUPPORT TO CONCRETE PIPES AT LANDSCAPED AREAS

PIPE LAYING DETAILS
SCALE 1:20

Approved Section 75W Modification Application

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in respect to MP 08-0016

Signed: [Signature]

Sheet No. 17 of 19



SCALE 1:20 AT A1 SIZE SHEET

FOR S75W APPROVAL

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DRAWING TITLE
CONCEPT STORMWATER
DETAILS-SHEET 1

DRAWING No. C011888.04-DA45

ISSUED FOR	DATE	ISSUE
ISSUED FOR S75W APPROVAL	08.04.16	C
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AMENDMENTS	DATE	ISSUE

CLIENT
LOGOS PROPERTY SUITE 02, LEVEL 12 167 MACQUARIE STREET SYDNEY NSW

PROJECT
PROPOSED DEVELOPMENT LOT 62/133-145 LENDRE LANE, ERSKINE PARK NSW

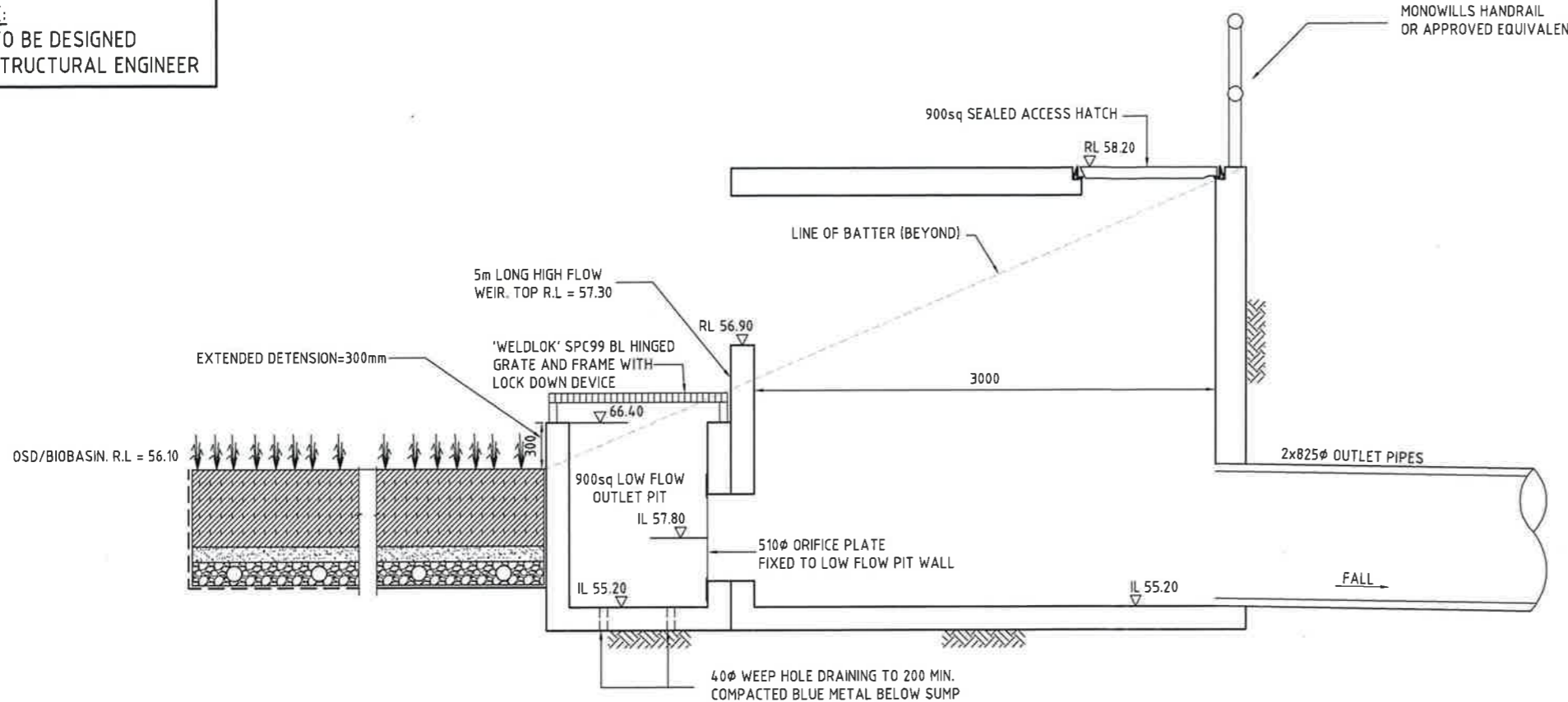
DESIGNED	DRAWN	DATE	CHECKED	SCALE	SCALE AS SHOWN	CAD REF.
MW	SD			A1	AS SHOWN	11888.04-DA45



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ISSUE
C

NOTE:
PIT TO BE DESIGNED
BY STRUCTURAL ENGINEER



OSD/BIO-RETENTION BASIN DISCHARGE CONTROL PIT TYPICAL DETAIL
SCALE 1:20

BIO-RETENTION NOTES:
FILTER MEDIA TO BE LOAMY SAND WITH A PERMEABILITY NOT LESS THAN 200mm/hr. FILTER MEDIA TO BE FREE OF RUBBISH, DELETERIOUS MATERIAL, TOXICANTS, DECLARED PLANTS AND LOCAL WEEDS, AND IS TO NOT BE HYDROPHOBIC.

FILTER MEDIA TO HAVE THE FOLLOWING COMPOSITION RANGE:
CLAY & SILT (<0.05mm) <3%
VERY FINE SAND (0.05-0.15mm) 5-30%
FINE SAND (0.15-0.25mm) 10-30%
MEDIUM TO COARSE SAND (0.25-1.00mm) 40-60%
COARSE SAND (1.0-2.0mm) 7-10%
FINE GRAVEL (2.0-3.4mm) <3%

FILTER MEDIA THAT DOES NOT MEET THE FOLLOWING CRITERIA SHALL BE REJECTED:
a. ORGANIC MATTER CONTENT TO BE IDEALLY WITHIN 1% TO 3% (W/W) AND TO BE NO GREATER THAN 5%(W/W).
b. PH TO BE BETWEEN 5.5 AND 7.5
c. PHOSPHOROUS CONTENT TO BE NO GREATER THAN 35mg/kg

FILTER MEDIA TO BE ASSESSED BY QUALIFIED HORTICULTURALIST TO ENSURE CAPABILITY OF SUPPORTING PLANT LIFE.

DRAINAGE LAYER TO BE CLEAN GRAVEL 5-7mm.

PLANTS TO BE IN ACCORDANCE WITH PENRITH COUNCIL WSUD HANDBOOK PART 5 - VEGETATION SELECTION GUIDE, WITH A MINIMUM OF SIX DIFFERENT SPECIES.

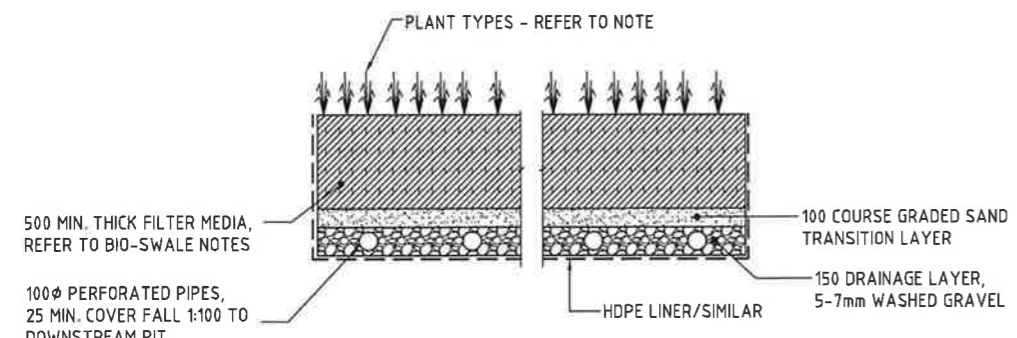
PROVIDE 100mm TOPSOIL AND TEMPORARY EROSION PROTECTION (JUTEMASTER OR EQUIV) TO SWALE BATTER SLOPES AND ADJACENT LANDSCAPED AREAS. NOTE THAT NO TOPSOIL IS TO BE PLACED OVER FILTRATION MEDIA. PROVIDE SILT FENCE TO TOP OF BANK UNTIL SUCH TIME AS THIS STABILISING AND VEGETATION HAS BEEN COMPLETED.

BIO-RETENTION TO BE PARTIALLY INSTALLED, FOLLOWING COMPLETION OF THE ROAD, WITH THE TOP 75-100mm OF FILTER MEDIA REPLACED WITH A FINE TO COARSE SAND UNDERLAIN WITH A GEOTEXTILE LAYER (REFER TO DETAIL). FOLLOWING COMPLETION OF THE UPSTREAM DEVELOPMENT AND SITE STABILISATION, THE SAND IS TO BE REMOVED, REPLACED WITH FILTER MATERIAL AND PLANTED OUT. REFER TO TEMPORARY BIO-BASIN DETAIL

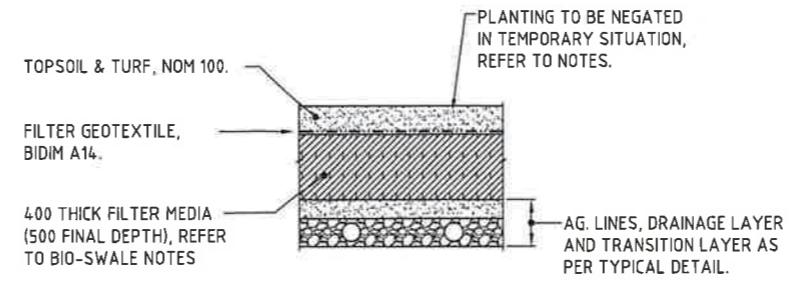
PRIOR TO PLANTING, THE TOP 100mm OF THE BIORETENTION FILTER MEDIA IS TO BE AMELIORATED WITH APPROPRIATE ORGANIC MATTER, FERTILISER AND TRACE ELEMENTS TO AID PLANT ESTABLISHMENT AS PER THE TABLE BELOW:

TABLE: RECIPE FOR AMELIORATING TOP 100mm OF BIORETENTION FILTER MEDIA

CONSTITUENT	QUANTITY (kg/m ² OF FILTER AREA)
GRANULATED POULTRY MANURE FINES	50
SUPERPHOSPHATE	2
MAGNESIUM SULPHATE	3
POTASSIUM SULPHATE	2
TRACE ELEMENT MIX	1
FERTILISER NPK (16:4:14)	4
LIME	20



TYPICAL BIO-RETENTION DETAIL
SCALE 1:20



TEMPORARY BIO-RETENTION PROTECTION DETAIL
SCALE 1:20
TEMPORARY CONSTRUCTION REQUIREMENT DETAIL - REFER TO NOTES FOR IMPLEMENTATION PERIODS.
BIO-RETENTION BASIN DETAILS
SCALE 1:20

CONCRETE SURROUND 30mm MIN. FALL TO BASIN F.S.L. - PVC CAP

CLEANOUT PIPE 100mm UPVC (NOT SCOTTED) - 45° UPVC ELBOW 100 ID

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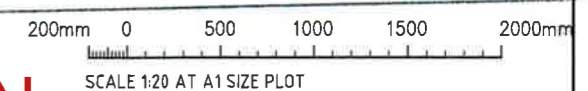
No. 3 granted on the 16 May 2016

BIORETENTION CLEANOUT EYE ELEVATION

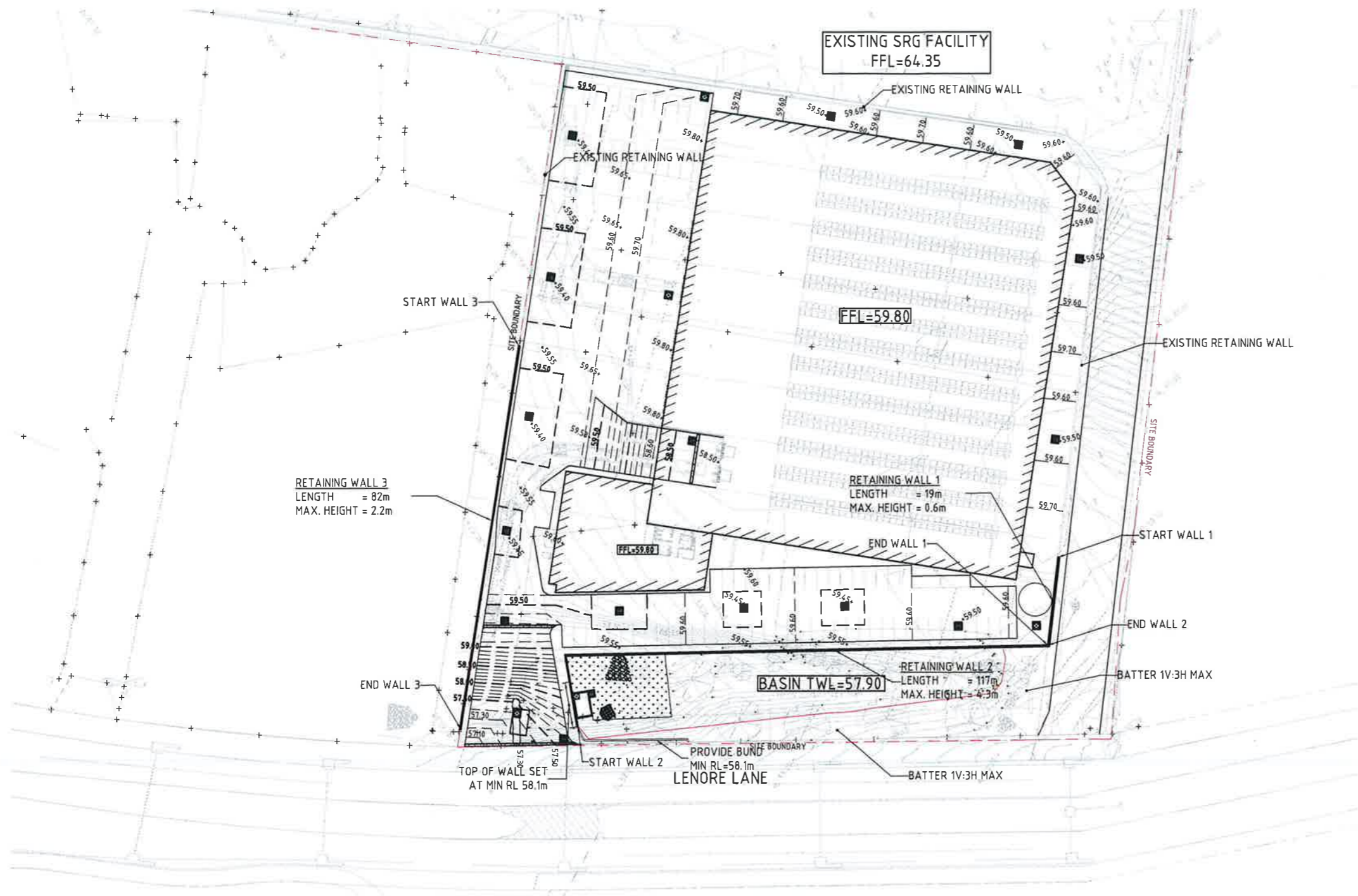
in respect to M... ..

Signed: [Signature]

Sheet No. 18 of 19



FOR S75W APPROVAL



LEGEND:
 LEVELS DATUM IS AHD.
 EXISTING SITE LEVELS AND DETAILS BASED ON SURVEY INFORMATION PROVIDED.

- SGGP, SINGLE GRATED GULLY PIT
- SJP, SEALED JUNCTION PIT
- FINISHED PAVEMENT CONTOUR (MAJOR) 0.5m INTERVALS
- FINISHED PAVEMENT CONTOUR (MINOR) 0.1m INTERVALS

- FINISHED LEVELS PLAN NOTES:**
- LEVELS DATUM IS A.H.D.
 - ALL CONTOUR LINES & SPOT LEVELS INDICATE FINISHED PAVEMENT LEVELS U.N.O. ON PLAN.
 - THE MAJOR CONTOUR INTERVAL IS 0.5m
 - THE MINOR CONTOUR INTERVAL IS 0.1m.
 - MINIMUM PAVEMENT GRADE IS TO BE 1:100 (1%).
 - MAXIMUM PAVEMENT GRADE IS TO BE 1:20 (5%) IN CARPARKING AREAS AND 1:25 (4%) ELSEWHERE.
 - MAXIMUM RAMP GRADES ARE TO BE 1:12 (8.3%) U.N.O. ON PLAN
 - PROVIDE MINIMUM 3.0m LONG TRANSITION WHERE CHANGES GRADE EXCEED 1:20 (5%).
 - PERMANENT BATTER SLOPES ARE TO HAVE A MAXIMUM GRADE OF 1V:3H.
 - ALL BATTER SLOPE WITH GRADES AT OR EXCEEDING 1V:6H ARE TO BE TURFED IMMEDIATELY OR APPROPRIATE EROSION CONTROL IS TO BE PROVIDED TO THE SATISFACTION OF THE ENGINEER.
 - THE ACCESS ROAD TO THE HARDSTAND AREA IS TO HAVE A CROSSFALL OF 2% AS INDICATED ON PLAN.
 - ALL FOOTPATHS ARE TO FALL AWAY FROM THE BUILDING AT 2.5% NOMINAL GRADING.
 - ALL PAVEMENTS ARE TO BE SET AT 50mm BELOW THE FINISHED FLOOR LEVEL OF THE WAREHOUSE AND OFFICE AREAS.

Issued under the Environmental Planning and Assessment Act 1979

Approved Section 75W Modification Application
 No. 3 granted on the 16 May 2016
 in respect to MP 08-0016
 Signed MR
 Sheet No. 19 of 19

FINISHED LEVELS PLAN
 SCALE 1:500

NOTE: ALL LEVELS ARE INDICATIVE (±500mm) & MAY BE SUBJECT TO MINOR VARIATION TO SUIT DETAILED DESIGN.

5m 0 10 20 30 40 50m
 SCALE 1:500 AT A1 SIZE SHEET

FOR S75W APPROVAL

ISSUED FOR S75W APPROVAL 08.04.16 C ISSUED FOR REVIEW 16.12.15 B ISSUED FOR REVIEW 15.12.15 A AMENDMENTS DATE ISSUE		ARCHITECT	CLIENT LOGOS PROPERTY SUITE 02, LEVEL 12 167 MACQUARIE STREET SYDNEY NSW	PROJECT PROPOSED DEVELOPMENT LOT 62/133-145 LENORE LANE, ERSKINE PARK NSW	Costin Roe Consulting Pty Ltd. Consulting Engineers Level 1, 8 Windrill Street Walsh Bay, Sydney NSW 2000 Tel: (02) 9261-7899 Fax: (02) 9241-5711 email: mail@costinroe.com.au ©	CostinRoe Consulting	DRAWING TITLE FINISHED LEVELS PLAN	DRAWING No C011888.04-DA50	ISSUE C
Value in Engineering and Management									