

Appendix H

Visual and Landscape

Our Ref: 71887/GMP/20070108_Response to Fraser Drive Residential Subdivision – Briefing Memo.doc

08/01/2008

Pradesh Ramiah
Suite 412, 15 Lime Street
GPO Box 4401
Sydney NSW 2001

ATT: PRADESH RAMIAH

Dear Pradesh

RE: RESPONSE TO FRASER DRIVE RESIDENTIAL SUBDIVISION – BRIEFING MEMO

Further to the Landscape Concept Plan and Report regarding the above project, please note the following items relating to additional requests for clarification of information.

Council Comments Item 73

The applicant is requested to provide a cross section of the Fraser Drive frontage depicting the levels of dwellings, fence, mounding I landscaping, proposed height of fill and the ground level in the adjoining road reserve.

It is difficult at this stage to provide sections without further civil, structural and acoustic information not yet developed due to the status of the project. There is a large amount of detailed (construction) information required in order to illustrate how sections would look based on proposed 'cut and fill' levels and building pad heights.

Required acoustic information which details appropriate setbacks for homes from the noise wall and how high those dwellings can be to still be acoustically appropriate for residential use is not yet available.

This information is not yet available to correctly show how the section would look, however typically, a landscape treatment would be proposed to soften the visual impact of the noise wall from inside the lot. Otherwise, the proposed noise wall concept details and character images on sheet 71887_D_CP_06 (01) details the noise wall (fence) treatment, the mounding and indicative landscape treatment.

Information Request Item 7

The Visual Impact Assessment does not make any assessment of the proposed acoustic barrier that will be constructed between Fraser Drive and the eastern boundary of the proposed subdivision. An assessment of this structure should be undertaken.

Please note that the assessment of the acoustic barrier has been addressed within the Landscape Concept Plan Report on sheet 71887_D_CP_06 (01).

The assessment and proposed design solution complies with 'Cardno – Proposed Development Fraser Drive - South Tweed 'Acoustic Assessment (20 December 2006- Job No. 7214/29)'.
'

Further to this, the proposal was developed under the guideline document '*RTA - Noise Wall Design Guideline - Design Guidelines to Improve the appearance of noise walls in NSW*'.

Although not directly stated in the visual assessment report, the proposed vegetation along the acoustic barrier would provide (in addition to the existing vegetation) and increase the visual absorption capacity and therefore minimizing the acoustic barriers impact upon the development and the surrounding streetscape.

Please contact me should you require further clarification regarding the above.

Yours Faithfully,
VIVO design pty ltd

GLEN POWER

Associate Manager / Senior Landscape Architect

STATEMENT OF LANDSCAPE INTENT

The intent of this design is to enhance the existing character of the site by retaining significant landscape features and drawing on these for the streetscape and parkland designs.

The streetscape uses minimal hardscape while providing for a cycle and pedestrian network that links the residential subdivision to surrounding transit routes. Native and endemic species have been chosen to reinforce the local character. Native grasses and groundcovers along the road verge soften the hardscape of the bitumen. Shrubs and ground covers are planted to retaining walls and steep slopes to minimise the visual impact of these structures.

The open space designs draw its form from the rolling hills that surround the site. This simple form provides a robust space that can be utilized for passive and active recreation. The alignments of the trees allow for sweeping views though the park and streetscape.

An avenue of Araucaria heterophylla creates an inviting esplanade within the entry precinct from Fraser Drive. Feature threshold pavement banding break the width of the road surface while providing visual interest to the landscape. Shrubs and groundcovers are planted to the boundary fence providing screening to the neighbouring property and softening the visual impact of the structure. Alternate planting of groundcovers to the verge considering with the road banding create a simple and elegant feature representational of the style of the redevelopment.

Disclaimer

This plan was prepared for the sole purposes of CEO PROPERTY GROUP ("Client") for the specific purpose of DEVELOPMENT APPROVAL SUBMISSION ("Purpose"). This plan is strictly limited to the Purpose and does not apply directly or indirectly and will not be used for any other application, purpose, use or matter. The plan is presented without the assumption of a duty of care to any other person (other than the Client) ("Third Party") and may not be relied on by Third Party.

CONICS will not be liable (in negligence or otherwise) for any direct or indirect loss, damage, liability or claim arising out of or incidental to:

- a. a Third Party publishing, using or relying on the plan;
- b. CONICS relying on base and services information provided to it by the Client or a Third Party where the base and services information is incorrect, incomplete, inaccurate, out-of-date or unreasonable;
- c. any inaccuracies or other faults with information or data sourced from a Third Party;
- d. CONICS relying on surface indicators that are incorrect or inaccurate;
- e. the Client or any Third Party not verifying information in this plan where recommended by CONICS;
- f. lodgement of this plan with any local authority against the recommendation of CONICS;
- g. the accuracy, reliability, suitability or completeness of any approximations or estimates made or referred to by CONICS in this plan.

Without limiting paragraph 1 or 2 above, this plan may not be copied, distributed, or reproduced by any process unless this note is clearly displayed on the plan.

The dimensions, area, size and location of improvements and number of lots shown on this plan are approximate only and may vary. Scale shown is correct for the original plan and any copies of this plan should be verified by checking against the bar scale.

Cadastral boundaries are obtained by title dimensions and digitising from existing cadastral maps. These boundaries have not been verified and are approximate only.

CONICS will not be liable (in negligence or otherwise) for any direct or indirect loss, damage, liability or claim arising out of or incidental to CONICS relying on base information provided to it by Thomson Adsett Architects where the base information is incorrect, incomplete, inaccurate, out-of-date or unreasonable.

CONICS will not be liable (in negligence or otherwise) for any direct or indirect loss, damage, liability or claim arising out of or incidental to CONICS relying on building information provided to it by Thomson Adsett Architects where the building information is incorrect, incomplete, inaccurate, out-of-date or unreasonable.

Refer to Civil Engineer's drawings for finished surface levels unless shown on Landscape drawings. Retain existing levels to buildings and adjacent surfaces except where instructed by the Landscape Architect. All new finished surfaces are to align flush with existing surface levels.

Refer to Civil Engineer's drawings for path and kerb crossover setting out.

Refer to Civil Engineer's drawings for service locations. All services are to be verified on site prior to any excavation / construction. Trees to be located minimum 1m from services. All services are indicative only.

Final set-out for all landscape treatments to be confirmed on site by the Landscape Architect.

Unless shown on the landscape drawings, refer to Structural Engineer's drawings for jointing, reinforcement, structural fixings etc for all walls and pavements.

All trees marked within / adjacent to vehicle sightlines are to be set out on site prior to installation and approved by the Landscape Architect and Traffic Engineer.

For Lighting requirements refer Electrical Engineers drawings.

The contractor shall review the plant schedule to ensure that drawings and schedules concur. Where insufficient detail or discrepancies may exist on either the plans or the schedule, it is the contractors responsibility to resolve immediately with the Landscape Architect and prior to providing tender pricing, signing work contracts or commencement of works.

feature lookout to be provided to high point of site to front of existing seaweview street lots (below their existing site lines). remaining open space to be vegetated without inhibiting views of existing residents.

laneway access lots to contain street trees randomly spread.

1) proposed landscape character of hillslope lots.

refer to civil engineers drawings for further retaining wall detail

minor entry statement to be provided to access from seaweview street

road thresholds and feature pavements to future detail. thresholds provide pedestrian pathway crossing points

minor entry precinct to entry road to south of part a consisting of scaled down elements from major entry precinct.

flood evacuation pathway extends from part 1 development to fraser drive (to front of acoustic mound) and enters into part b development via open space parkland.

boundary fence - refer to SD_2.07 - boundary fence concept details and character images

stormwater detention basin to be provided in open space parkland (approx. size -1,500m2) - refer to civil engineers drawings for further detail.

park b open space parkland (refer to SD_2.04 for further detail). park contain open turf areas and bbq shelter.

fraser drive

park a open space parkland (refer to SD_2.03 for further detail). park contains open turf areas and a playground for children as well as a bbq shelter (including bbq, furniture, etc.)

entry signage wall will mimic existing site characteristics and landforms.

major entry precinct - (refer to SD_2.02 for further detail) entry signage walls on either side of entry road to welcome residents and visitors.

boundary fence - refer to SD_2.07 - boundary fence concept details and character images

connection through to banora point and other adjoining developments.



5) existing approach to subdivision from south (banora point)



6) existing rural character of the site looking up the undulating landforms of Park B of the site from Fraser Drive



7) proposed open space parkland landscape character with emphasis of retaining rural character and theming.



8) example image of detention basin and its incorporation into open space parkland.



9) proposed streetscape character of laneway access lots.



10) example image of bbq shelter in rural open space parkland.



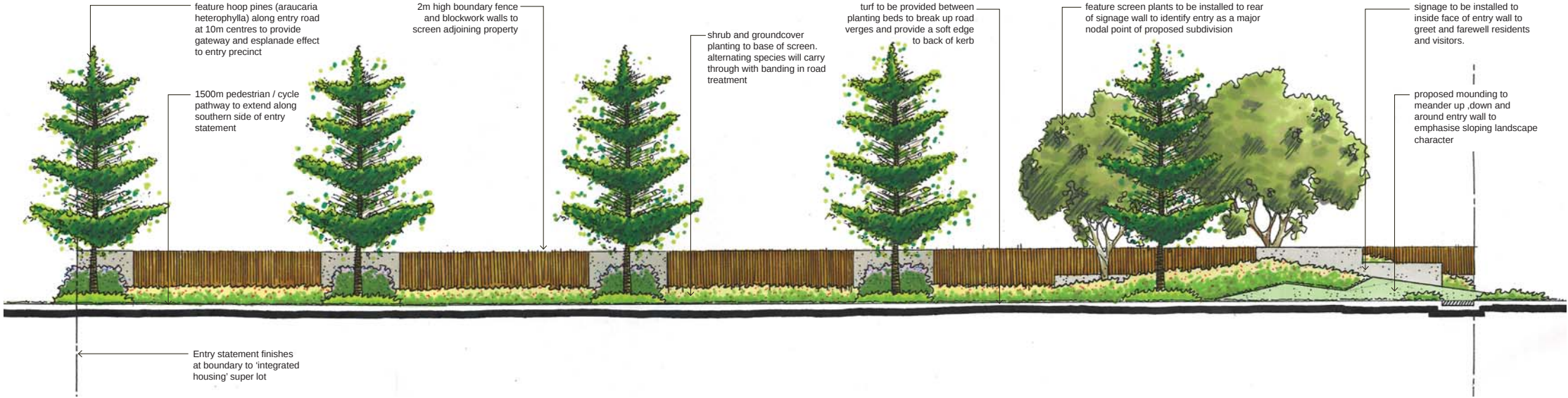
11) proposed entry statement character incorporating existing landscape theme.



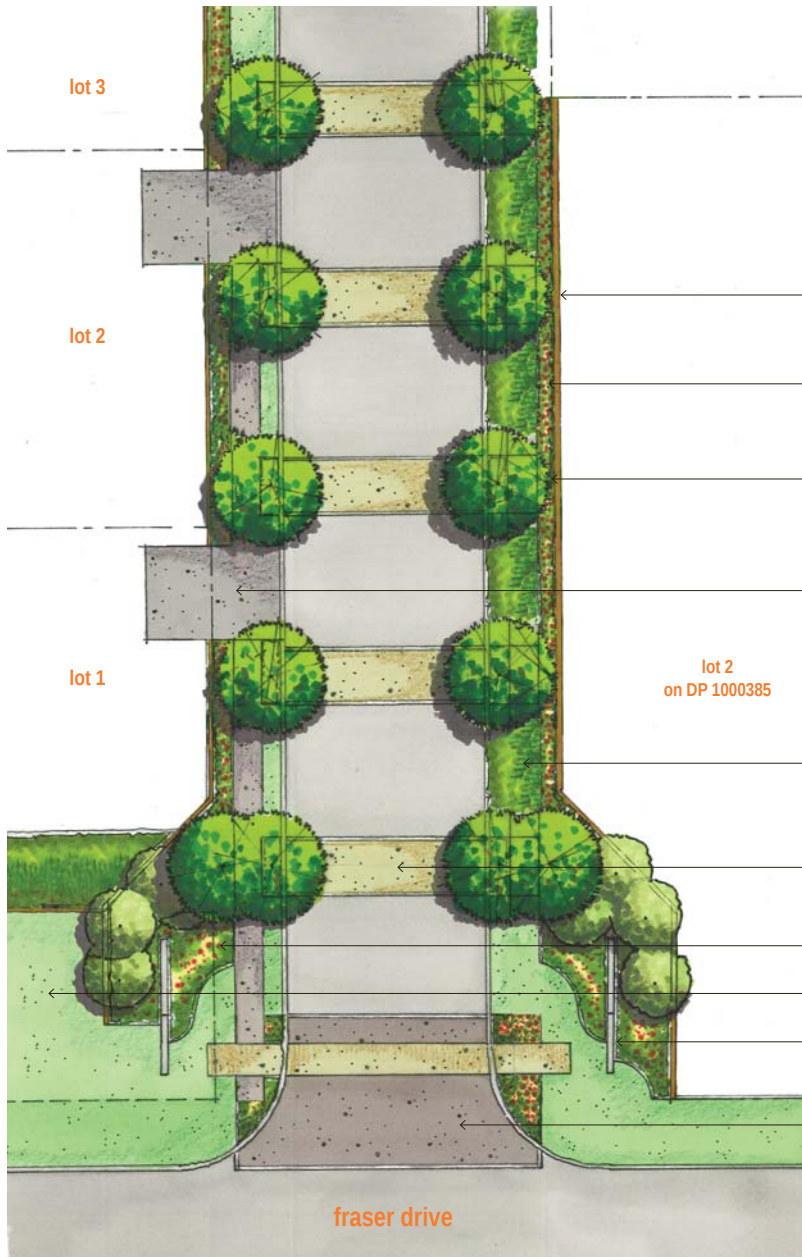
12) turf and planting beds will mound up and around the entry statement walls to mimic the existing landscape character of the site which is based on sloping landforms

13) timber battened screens to be placed to the property boundaries facing the adjoining property to the north and to the surrounds of the entry signage walls and statement facing fraser drive

entry statement - character images



entry statement elevation - looking north towards lot 2 on dp 1000385 scale 1:100 @ a1



entry statement plan scale 1:200 @ a1



14) entry signage wall to consist of blockwork (semi-retaining) walls extending out of earth mounding with a painted and rendered finish. lettering of subdivision name and possible logo to be pin fixed to wall to create shadows behind.



15) example of agathis robusta (kauri pines) used in a streetscape to create an entry statement that is both grand in scale yet maximises soft landscaping as opposed to hard

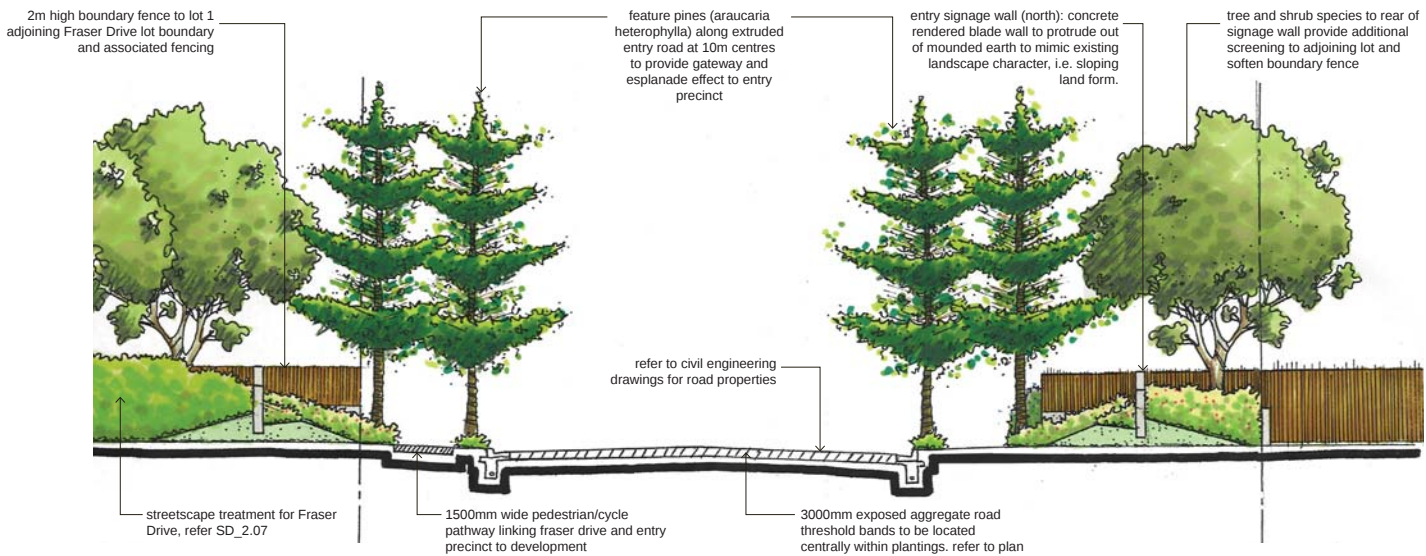


16) road threshold treatments using exposed aggregate pavements paired with planting beds and trees to emphasise sense of arrival



17) feature pines (araucaria heterophylla) paired with blue quandong (elaecarpus grandis) in an existing entry statement shows how an entry can influence the importance of a subdivision and the impact that it has on residents, visitors, the surrounding streetscape and suburban character

entry statement - character images



entry statement elevation - view from fraser drive looking into proposed development scale 1:100 @ a1



18) street tree planting to be located at 10m centres with a focus on aligning trees as closes as possible to allotment boundaries allowing for maximum options for driveway locations



19) bbq and picnic shelters will be positioned to maximise passive surveillance of surrounding open space without creating blind spots. shelter amenities such as benches, tables, rubbish bins and bbq's will be provided for resident use (type to be confirmed)

20) pedestrian / cycle pathways are positioned to maximise the use of the entire open space area that also provide links to the remainder of the development. pathways have been set at 1500mm to ensure both pedestrian and cycle use. bench seating will be provided in spaces that require rest spots surrounding recreation areas



21) timber bollards provided to laneways create interest in the landscape as well as providing a security measure. timber bollards are planned to have the development logo incorporated into the bollard design to create or enhance the character of the development and provide a sense of ownership for residents



creation of small private spaces to allow users a range of open space areas for reading, quiet reflection, etc. possible location for bench seating

mass groundcover planting to be installed to planting beds below tree cover to create a carpet effect that emphasises the bunds and mounds



22) mounding throughout open turf and planting beds areas to provide interest in open spaces and create informal separations allowing a sense of ownership for each user group



23) a pedestrian / cycle pathway flanked by canopy trees will provide a more interesting experience for users as they begin from one side of the open space area to the other moving through the shade provided by the trees whilst also providing view lines

24) 1500mm pathways will consist of broom finished coloured concrete with feature exposed aggregate sections to mimic road thresholds in the streetscape



25) a playground setting will be provided on the axis with the entering traffic and with the nearby picnic and bbq shelter allowing for passive surveillance and protection from the vehicular movement. bollards surrounding the streetscape frontage will further increase safety for children

property boundary fencing to be consistent with other allotments frontages within the development. design to be controlled via design guidelines in order to maintain a consistent look across the full extent of the park boundary





26) the parkland shelter is to be nestled into the landscape by providing planting beds and trees that maximise exposure to the open space yet provide some privacy from other users



27) example image of detention basin and its incorporation into open space parkland.



28) example of pedestrian/cycle pathways flanked by canopy trees (after installation)





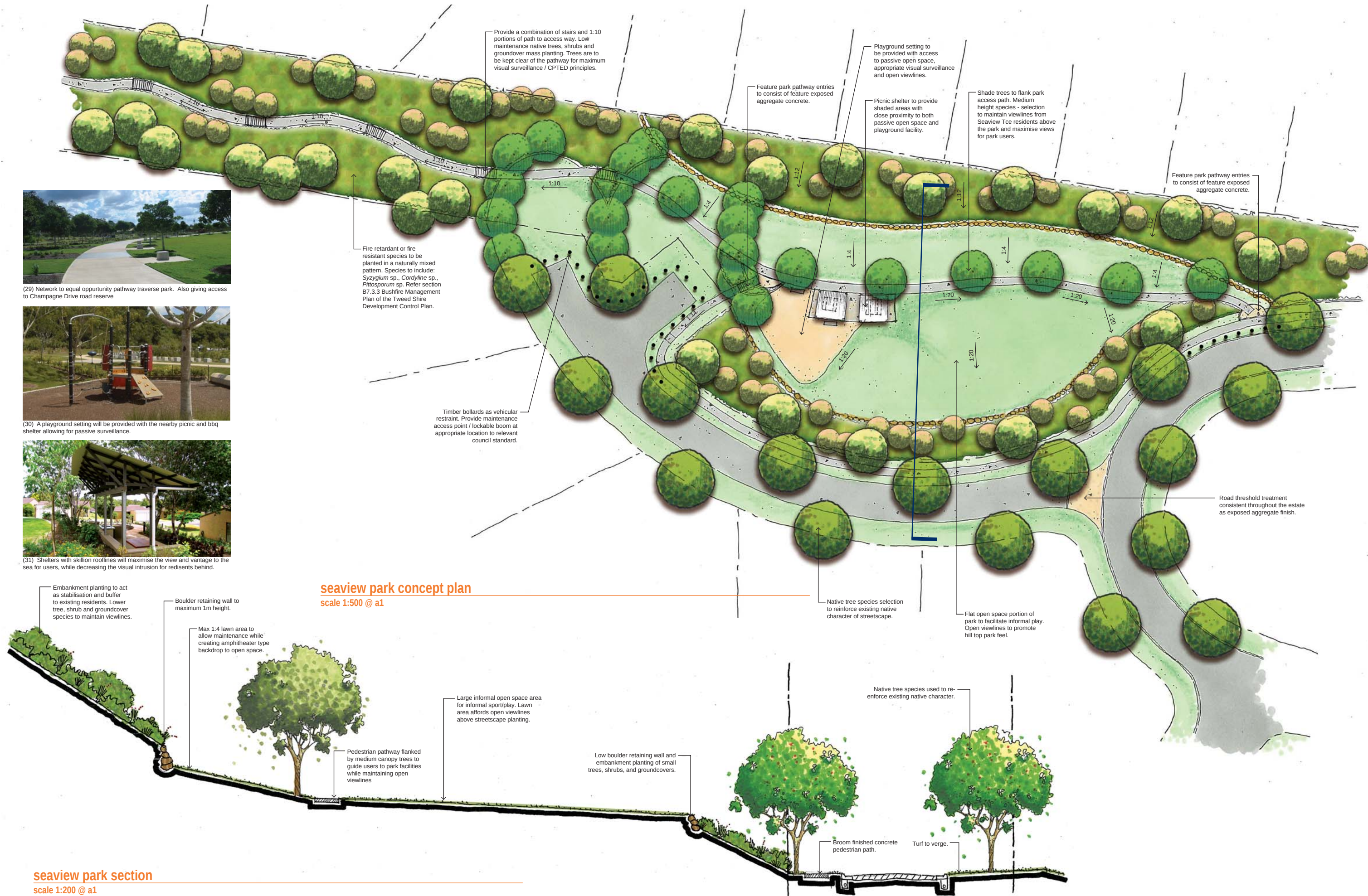
(29) Network to equal opportunity pathway traverse park. Also giving access to Champagne Drive road reserve



(30) A playground setting will be provided with the nearby picnic and bbq shelter allowing for passive surveillance.



(31) Shelters with skillion rooflines will maximise the view and vantage to the sea for users, while decreasing the visual intrusion for residents behind.



seaview park concept plan

scale 1:500 @ a1

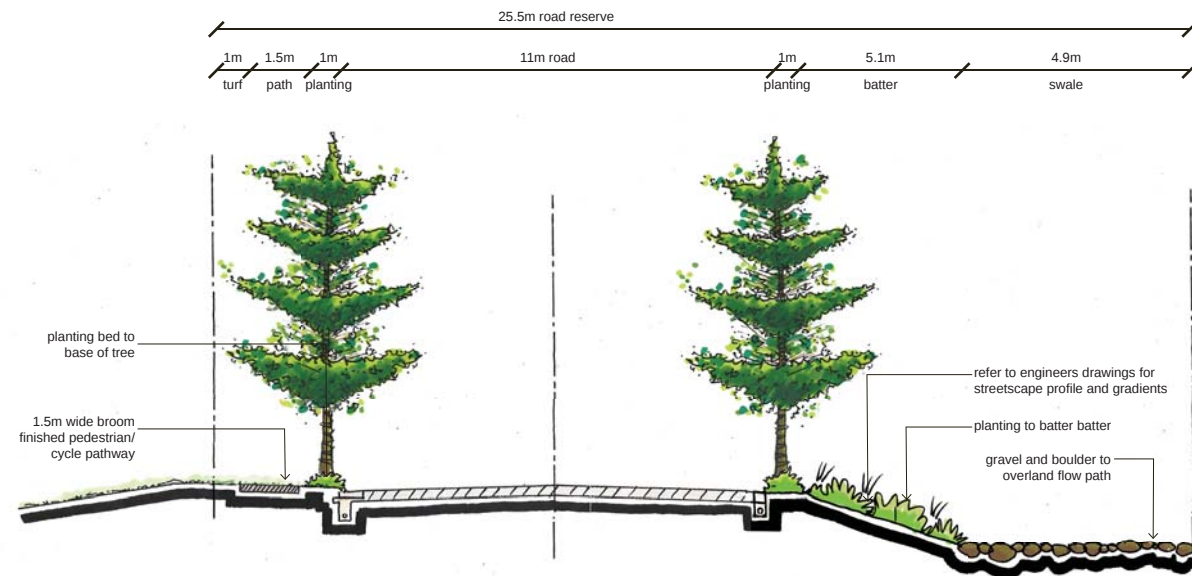
seaview park section

scale 1:200 @ a1



Fraser Drive, Tweed South
seaview park concept plan, section and character images





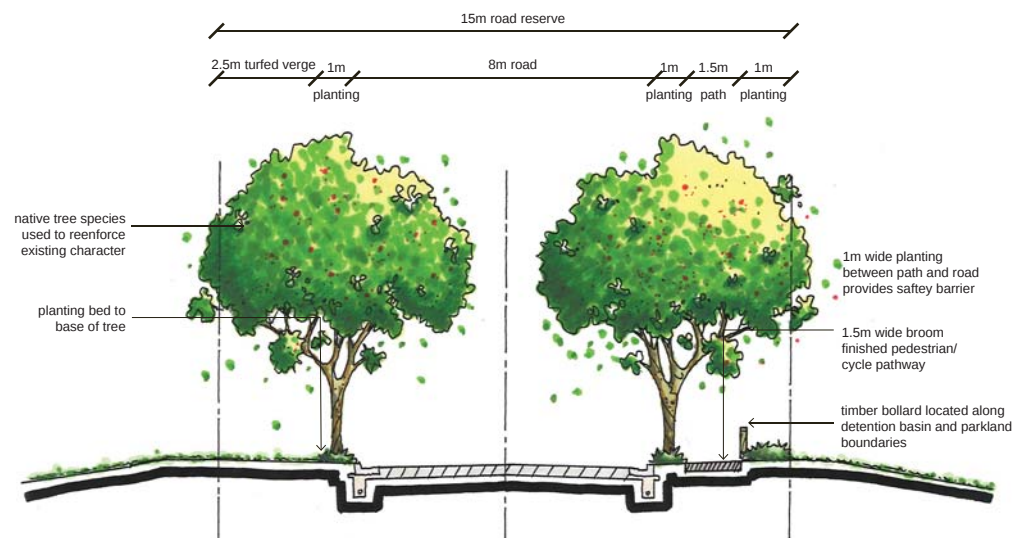
Road 01 entry precinct (R no. 1a)

scale 1:100 @ a1



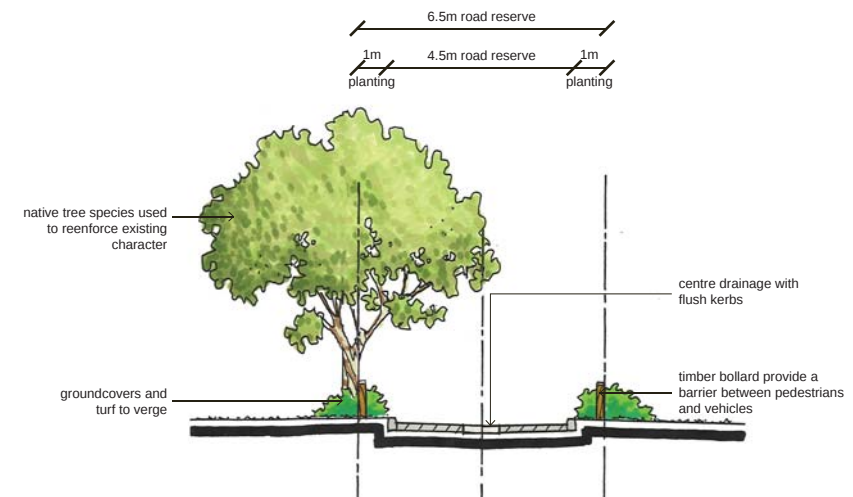
Road 03 and 04 (R no. 3 and R no. 4)

scale 1:100 @ a1



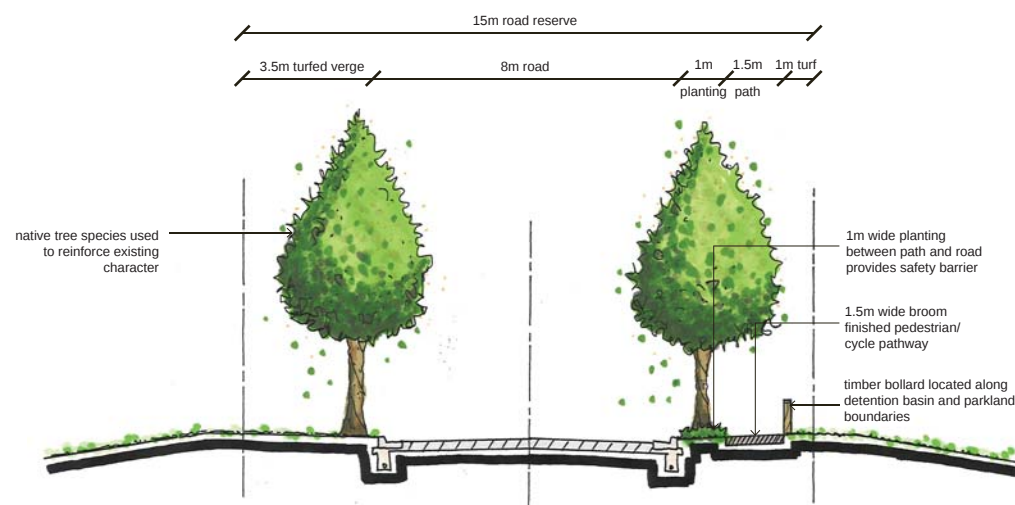
Road 01 (R no. 1)

scale 1:100 @ a1



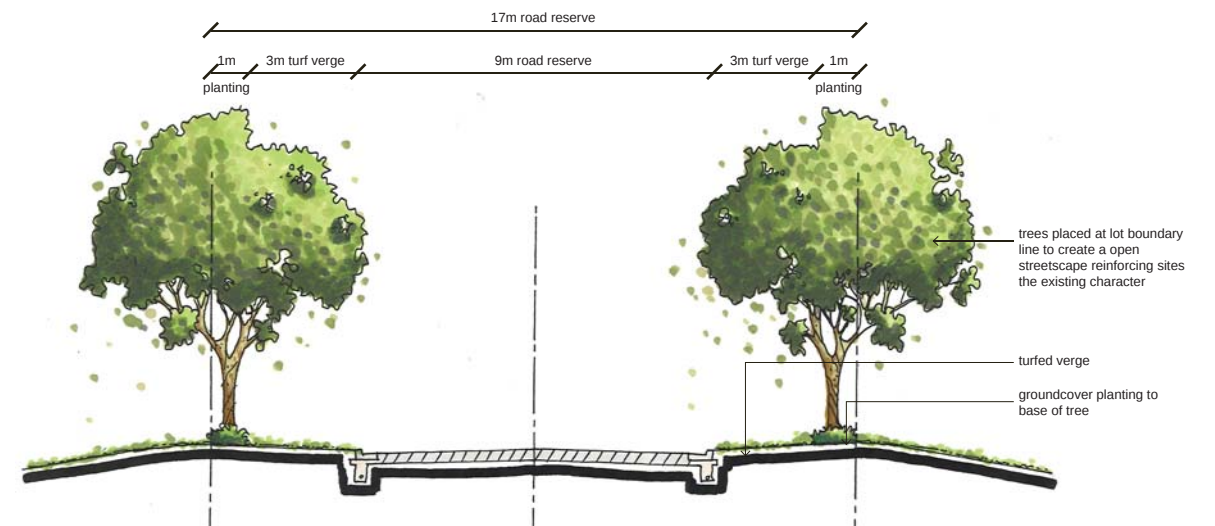
Laneways (R no. L)

scale 1:100 @ a1



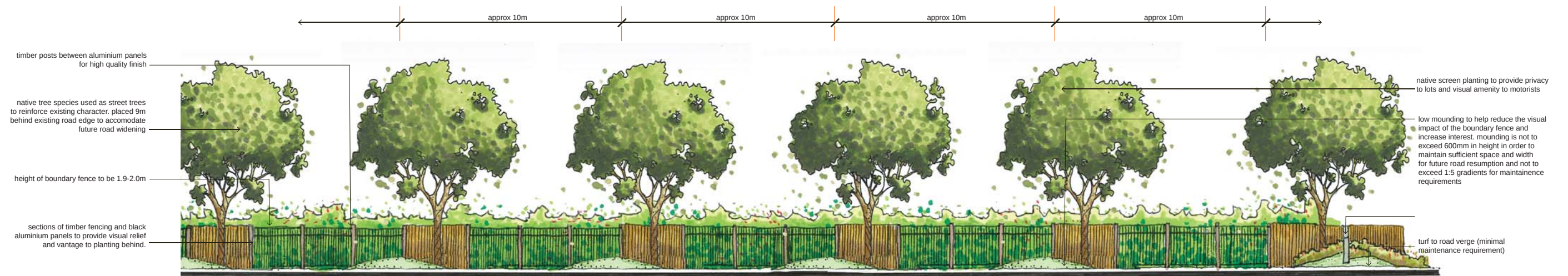
Road 02 (R no. 2)

scale 1:100 @ a1



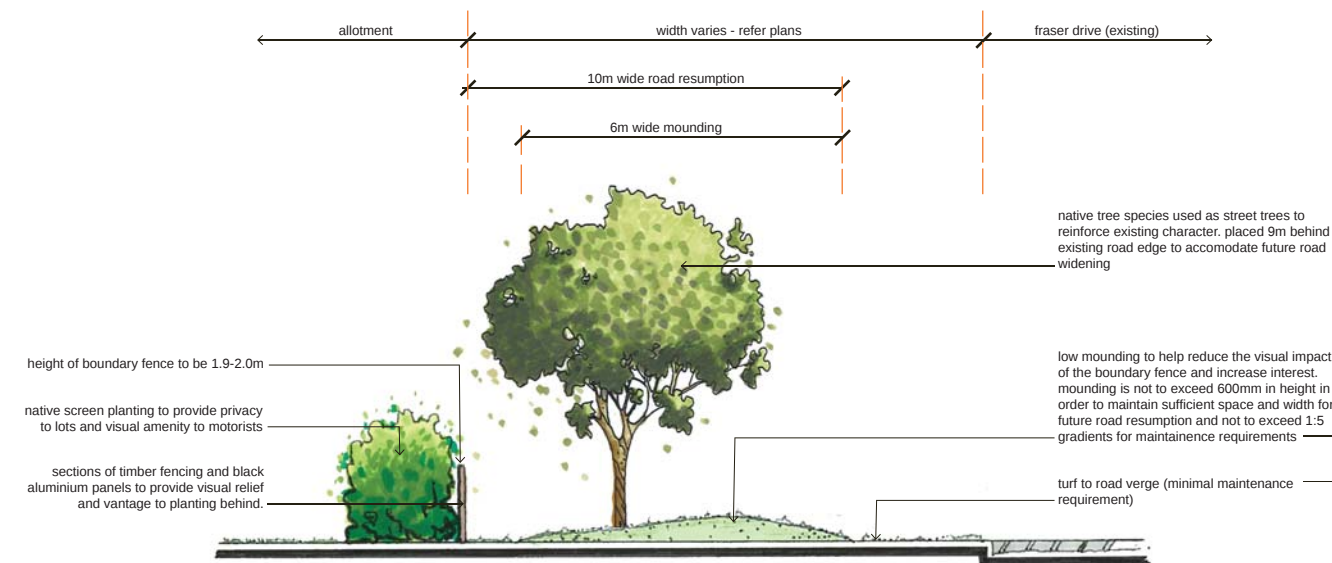
Merlot court (R no. m)

scale 1:100 @ a1



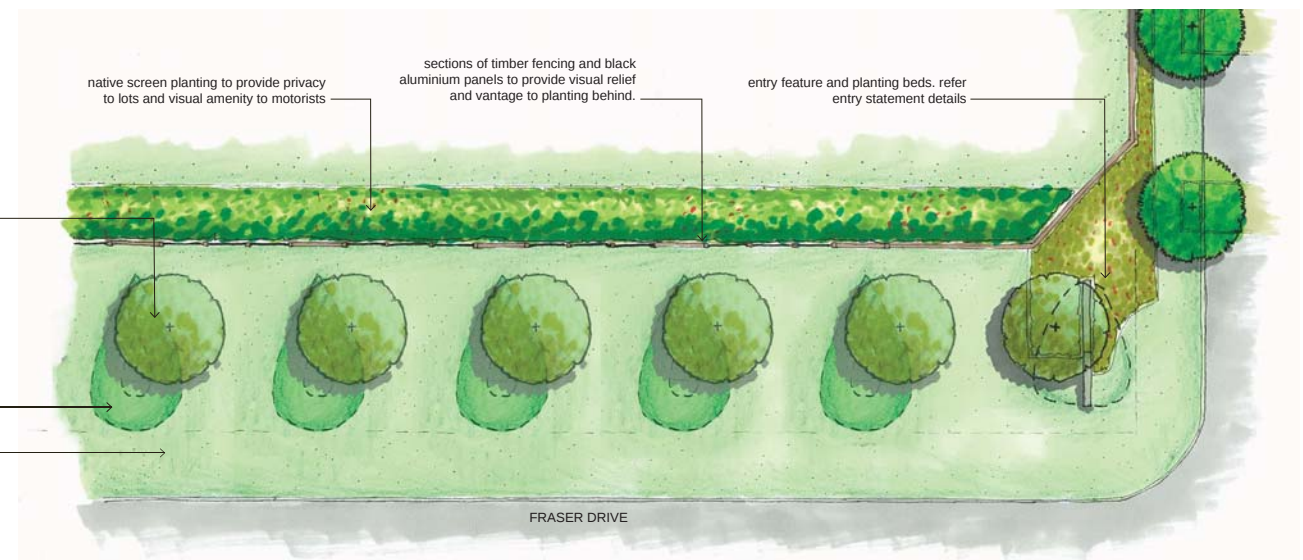
Fraser Drive Streetscape / Boundary Fence - Typical Elevation

scale 1:100 @ a1



Fraser Drive Streetscape - Typical Section

scale 1:100 @ a1



Fraser Drive Streetscape - Typical Plan

scale 1:200 @ a1



63) a visually permeable fence is used along the boundary to provide privacy for the lot owners and visual relief for the extent of the development. shrub / screen planting behind this softens the boundary line.



64) panels of timber fencing replicates the features in the entry to the site and breaks up long stretches of fencing



65) mounding increases the visual amenity by adding different levels, thereby creating a more interesting periphery to motorists travelling on Fraser Drive.

Boundary Fence - Character Images



Boundary Fence - Site Plan

nts



Fraser Drive, Tweed South
fraser drive streetscape and boundary fence details and characer images



street and park trees



33) elaeocarpus grandis (blue quandong)



34) agathis robusta



35) melaleuca quinquinervia



36) casuarina glauca



37) casuarina cunninghamiana



38) arucaria heterophylla



39) cupaniopsis anacardiodes



40) corymbia tessellaris



41) acmena smithii



42) flindersia australis



43) waterhousia florabunda



44) harpullia pendula

grass and groundcover species



45) baumea articulata



46) lomandra hystrix



47) lomandra longifolia 'Tanika'



48) lomandra filiformis



49) liriop muscari



50) convolvulus cneorum

preliminary plant schedule

SPECIES	COMMON NAME	POTSIZE	HTxSPRD
TREES			
Acmena smithii	Lily Pilly Tree	45 Litre	8x5metres
Agathis robusta	Kauri Pine	45 Litre	30x10m
Anacaria heterophylla	Norfolk Island Pine	45 Litre	30x10m
Casuarina cunninghamiana	River She Oak	45 Litre	20m H
Casuarina glauca	Grey She Oak	45 Litre	18m H
Corymbia tessellaris	Moreton Bay Ash	45 Litre	24m H
Cupaniopsis anacardiodes	Tuckeroo	45 Litre	8x4m
Elaeocarpus grandis	Blue Quandong	45 Litre	15x6m
Eucalyptus longifolia	Woollybutt	45 Litre	30m H
Flindersia australis	Crowns Ash	45 Litre	10x6m
Harpullia pendula	Tulipwood	45 Litre	8x4m
Melaleuca thymifolia	Paper Park	45 Litre	6m H
Melaleuca quinquenervia	Broad Leaved Paper Bark Tree	45 Litre	15m H
Waterhousia florabunda	Wirewong Lily Pilly	45 Litre	15m H
Xanthorrhoea johnsonii	Grass Tree	x-ground	2.5m H
SHRUBS			
Allocasuarina lehmanniana		200mm	3.5m H
Melaleuca linearifolia 'Claret Tops'	Claret Tops	200mm	1.5x2m
Philodendron xanadu	Xanadu	200mm	1x2m
Strelitzia reginae	Bird of Paradise	200mm	1x1.5m
Westringia sp.	Native Rosemary	200mm	1.5x1.25m
GROUNDCOVERS			
Baumea articulata	Jointed twig rush	140mm	1.5x1m
Convolvulus cneorum	Silver Bush	140mm	0.6x0.75m
Grevillea linifolia		140mm	1x2m
Grevillea prostrata		140mm	1x2m
Lomandra filiformis	Wattle Mat-rush	140mm	0.5x0.5m
Lomandra hystrix	Nat. Rush	140mm	1x0.5m
Lomandra longifolia 'Tanika'	Tanika	140mm	1x0.5m
Liriop muscari	Lily Turf	140mm	1.5x0.75m

feature plants and shrub species



51) xanthorrhoea johnsonii



52) doryanthes excelsa



53) Philodendron xanadu



54) cordyline Sp



55) strelitzia regina



56) Westringier Sp.



57) codiaeum Sp.



58) hymenocallis littoralis



59) syzygium Sp.



60) melaleuca 'claret tops'



61) callistemon Sp.



62) grevillea Sp.