

Southlands Remediation & Development Project

Proposed Warehouse/ Industrial Park
 McPherson Street, Botany
 Part 3A Project Application

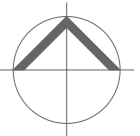


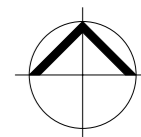
Consultants List

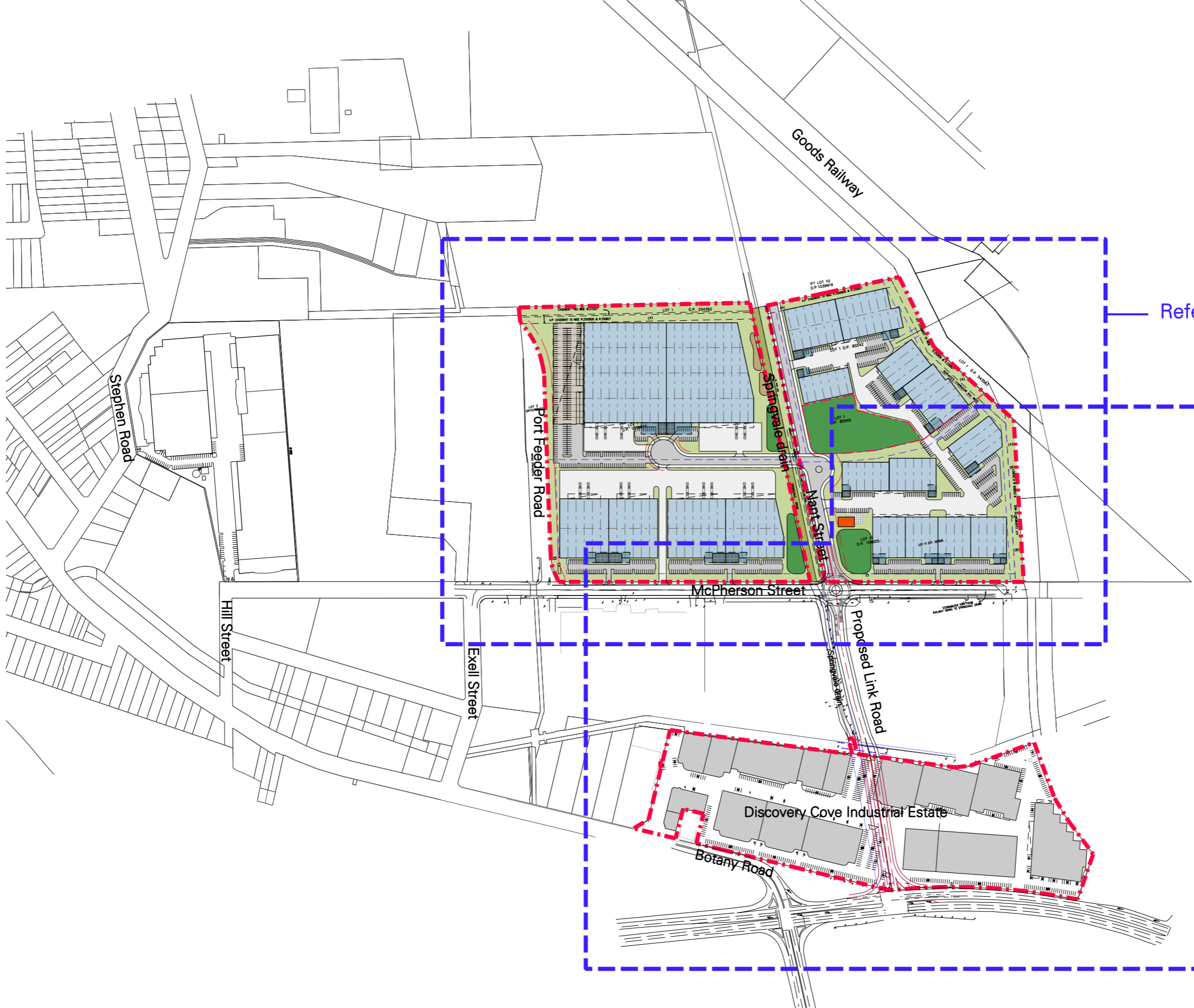
- Proponent
Orica/ Goodman
- Project Manager
DBL Property
- Architect
Goodman
- Landscape Architect
Habitation
- Planner
URS/ ISD
- BCA Consultants
Dix Gardener
- Surveyor
AAM Hatch
- Civil/ Hydraulics
Connell Wagner
- Remediation/ HHRA
URS
- Flora and Fauna
URS/ Biosphere Enviro Consultants
- Acoustic
Heggies
- Air Quality
Holmes Air Sciences
- Risk Assessment
Lloyds Register
- S.94 Review
Connell Wagner
- Water & Energy Efficiency
Connell Wagner

Drawing List

Architecture		A1	A3
SRD DA001	Cover & Location Plan	NTS	NTS
SRD DA002	Aerial Context Plan	1:2500	1:5000
SRD DA003	Context Plan	1:2500	1:5000
SRD DA004	Staging Plan	1:2500	1:5000
SRD DA005	Masterplan	1:1000	1:2000
SRD DA006	Stage 1 Site Plan	1:1000	1:2000
SRD DA007	Stage 1 Roof Plan	1:1000	1:2000
SRD DA008	Stage 1 Elevations	1:500	1:1000
SRD DA009	Stage 1 Elevations/ Sections	1:500	1:1000
SRD DA010	Stage 1 Detail Elevations	1:100	1:200
SRD DA011	Stage 2 Site Plan	1:1000	1:2000
SRD DA012	Stage 2 Roof Plan	1:1000	1:2000
SRD DA013	Stage 2 Elevations/ Sections	1:500	1:1000
SRD DA014	Stage 2 Road Link Site Plan	1:1000	1:2000
SRD DA015	Aerial Perspective	NTS	NTS
SRD DA016	Proposed Subdivision Plan	1:2500	1:5000
SRD DA017	Proposed Easements Plan	1:1000	1:2000
Survey			
12317A DA01	Existing Survey Plan		
12317A DA02	Existing Survey Plan		

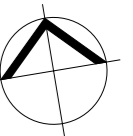


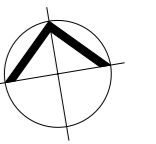




Refer Masterplan SRD DA005

Refer Stage 2 Plans
SRD DA011 & SRD DA015





Refer Plans SRD DA006 & SRD DA011

Subject to Future Project Approval



SOUTHLANDS AREA SCHEDULE	
Lot 1 DP 254392	0.285 Ha
Lot 1 DP 528680	9.530 Ha
Lot 1 DP 85542	6.130 Ha
Lot 11 DP 109505	2.343 Ha
TOTAL SITE AREA	18.288 Ha
Springvale Drain	0.289 Ha
Nant Street	0.347 Ha
LEGEND	
	Inground Detention Tank

MASTERPLAN DEVELOPMENT AREA SCHEDULE	
Total Site Area	18.288 Ha
less:	
Access Road	0.743 Ha
Detention Basins	1.049 Ha
TOTAL DEV. AREA	16.496 Ha
Total Warehouse	72,200 sqm
Total Office	6,750 sqm
Cafe/ Amenities	240 sqm
Total Floor Area	79,190 sqm
Total Awning	2,565 sqm
Possible Multi-deck Parking	4,655 sqm

FLOOR AREA	79,190 SQM
FOOTPRINT (incl. awning, parking deck)	83,355 SQM
FSR	0.48:1
SITE COVER	50.5%
LANDSCAPE AREA	41,360 SQM (25%)

Carparking Provided -on grade	820
Possible Future Carparking (2 lev)	300
Total Carparking	1120

STAGE 1	
TOTAL SITE AREA	98,150 sqm
DEV. SITE AREA	92,890 sqm
Total Warehouse	43,000 sqm
Total Office	4,000 sqm
Total Facility	47,000 sqm
Carparking Provided -on grade	440
Possible Future Carparking (2 lev)	300
Total Carparking	740

STAGE 2	
TOTAL SITE AREA	46,300 sqm
DEV. SITE AREA	40,310 sqm
Total Warehouse	14,850 sqm
Total Office	1,400 sqm
Cafe/ Amenities	240 sqm
Total Facility	16,490 sqm
Carparking Provided -on grade	260

STAGE 3	
TOTAL SITE AREA	38,430 sqm
DEV. SITE AREA	31,760 sqm
Total Warehouse	14,350 sqm
Total Office	1,400 sqm
Total Facility	15,750 sqm
Carparking Provided -on grade	120

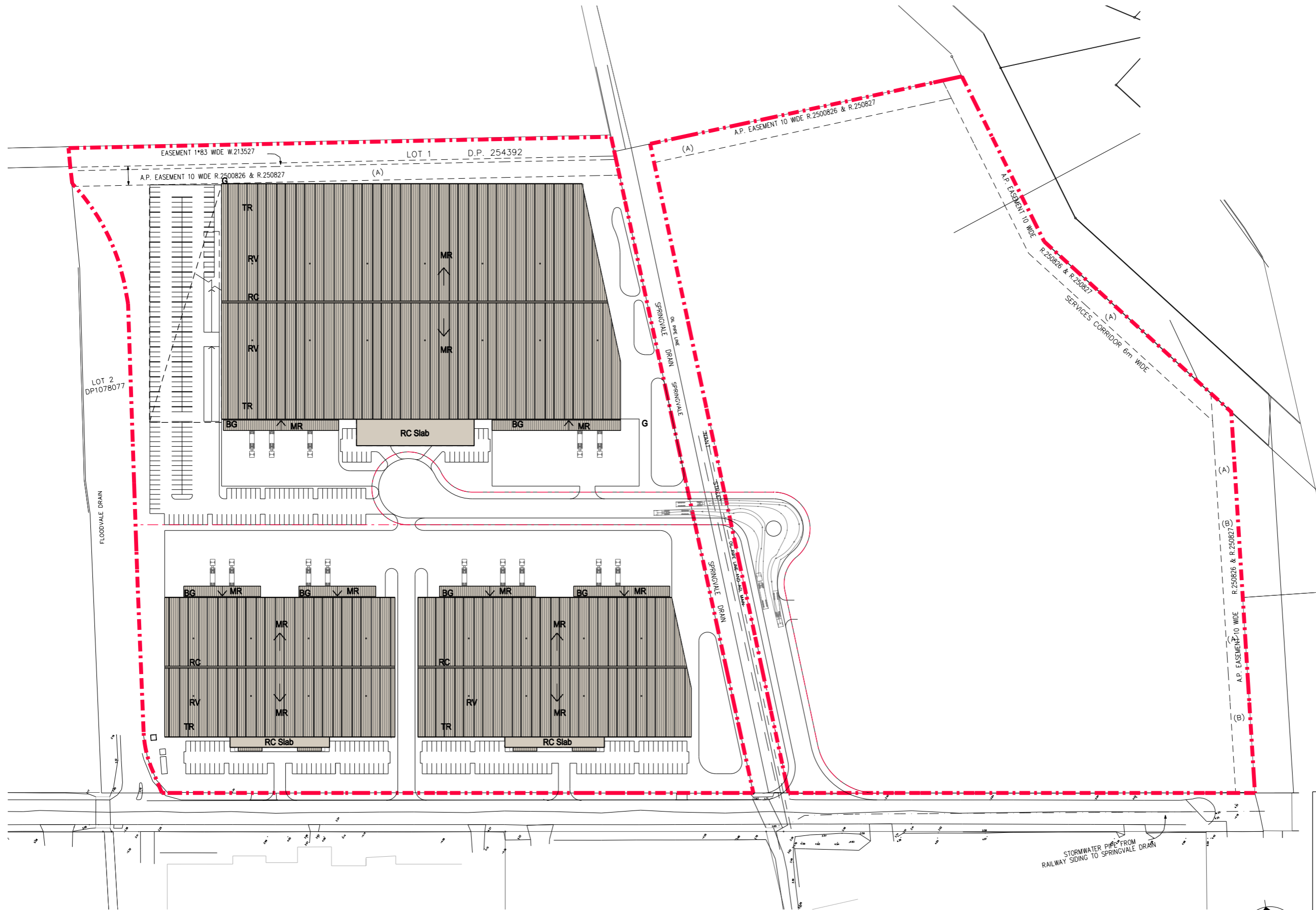


LEGEND

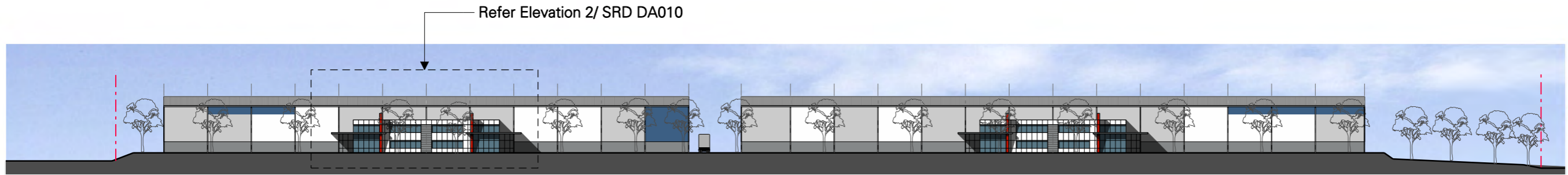
- DT Inground Detention Tank
- AW Awning
- HS Hardstand

Development Area Schedule

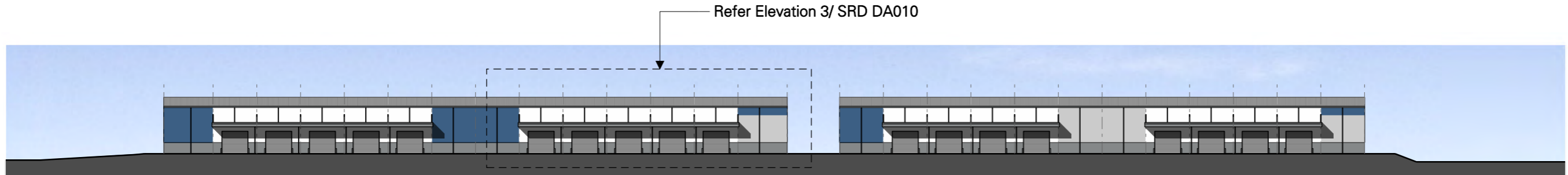
STAGE 1	
Total Site Area	98,150 sqm
less Detention Basins	1,820 sqm
less Access Road	3,440 sqm
Dev. Site Area	92,890 sqm
Total Warehouse	43,000 sqm
Total Office (2 & 3 levels)	4,000 sqm
Total Floor Area	47,000 sqm
Awning	1,840 sqm
Future Parking Deck	4,655 sqm
Footprint (incl awning & parking deck)	50,935 sqm
Site Cover	55 %
FSR	51 %
Landscape Area - 23%	20,950 sqm
Carparking on grade	442
Future Carparking (2 lev)	300
Minor Earthworks Area	45,210 sqm



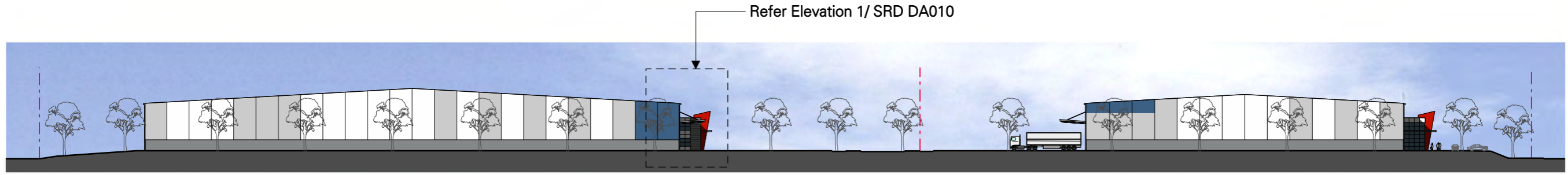
Legend	
BG	Box Gutter
DP	Down Pipe
G	Gutter
MR	Metal Roofing
RC	Ridge Capping
RV	Roof Vent
TR	Translucent Roofing



South Elevation (McPherson Street)



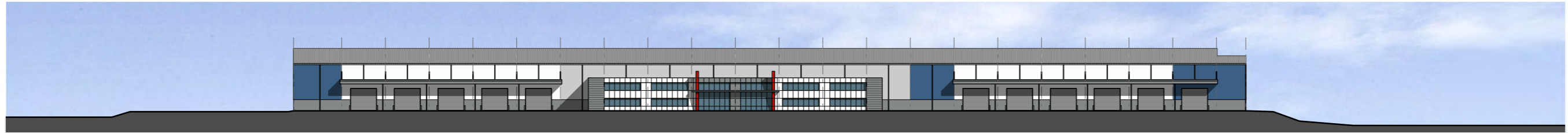
North Elevation (Internal Access Road)



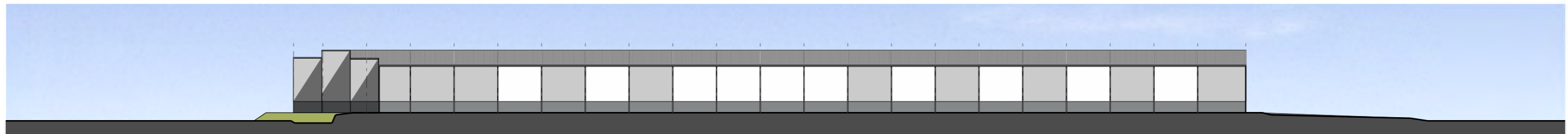
West Elevation (Port Feeder Road)



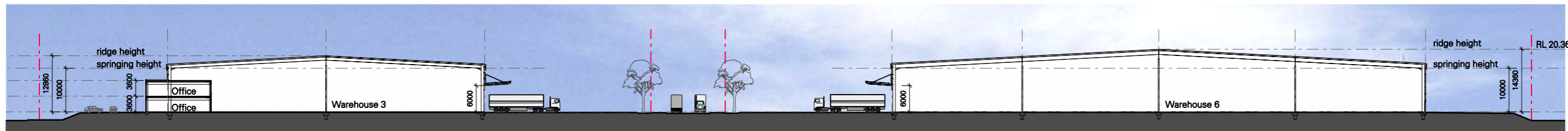
East Elevation



South Elevation (Internal Access Road)



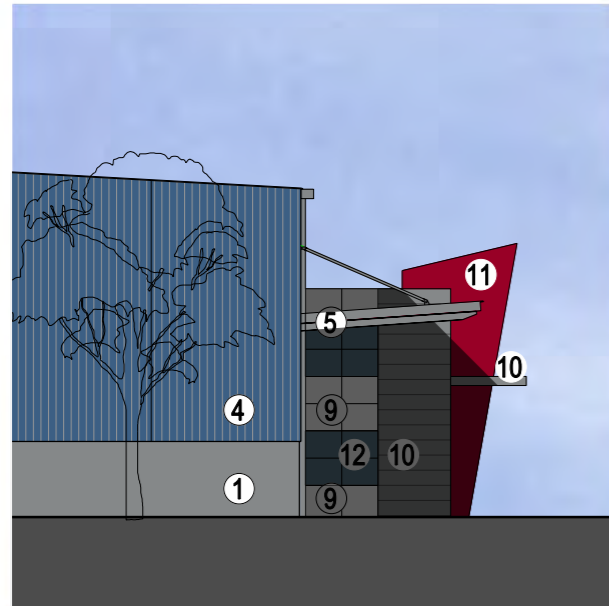
North Elevation



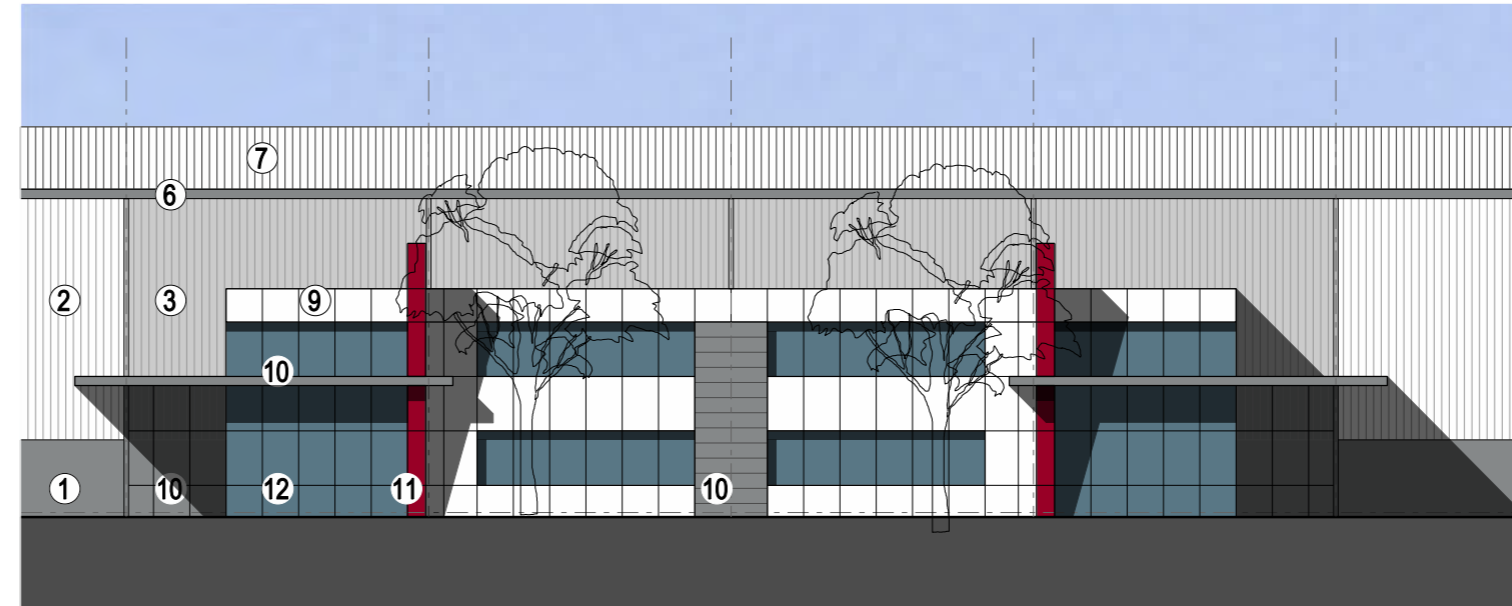
Section



Elevation to McPherson Street (Stage 1 & Stage 2) Scale : NTS



Elevation 1



Elevation 2



Elevation 3

EXTERNAL FINISHES LEGEND

- ① Paint finish to precast concrete panel - Grey
- ② Colorbond cladding - Shale Grey
- ③ Colorbond cladding - Windspray
- ④ Colorbond cladding - Deep Ocean
- ⑤ Colorbond fascia to canopy - Windspray
- ⑥ Colorbond downpipes and eavesgutter - Windspray
- ⑦ Zinalume roof sheeting
- ⑧ Metal roller shutters to match colorbond Windspray
- ⑨ Alucabond cladding (Silver Metallic 500)
- ⑩ Alucabond cladding (Grey Metallic 502)
- ⑪ Alucabond cladding (Banner Red 304)
- ⑫ Grey tint glazing in powdercoat aluminium framing

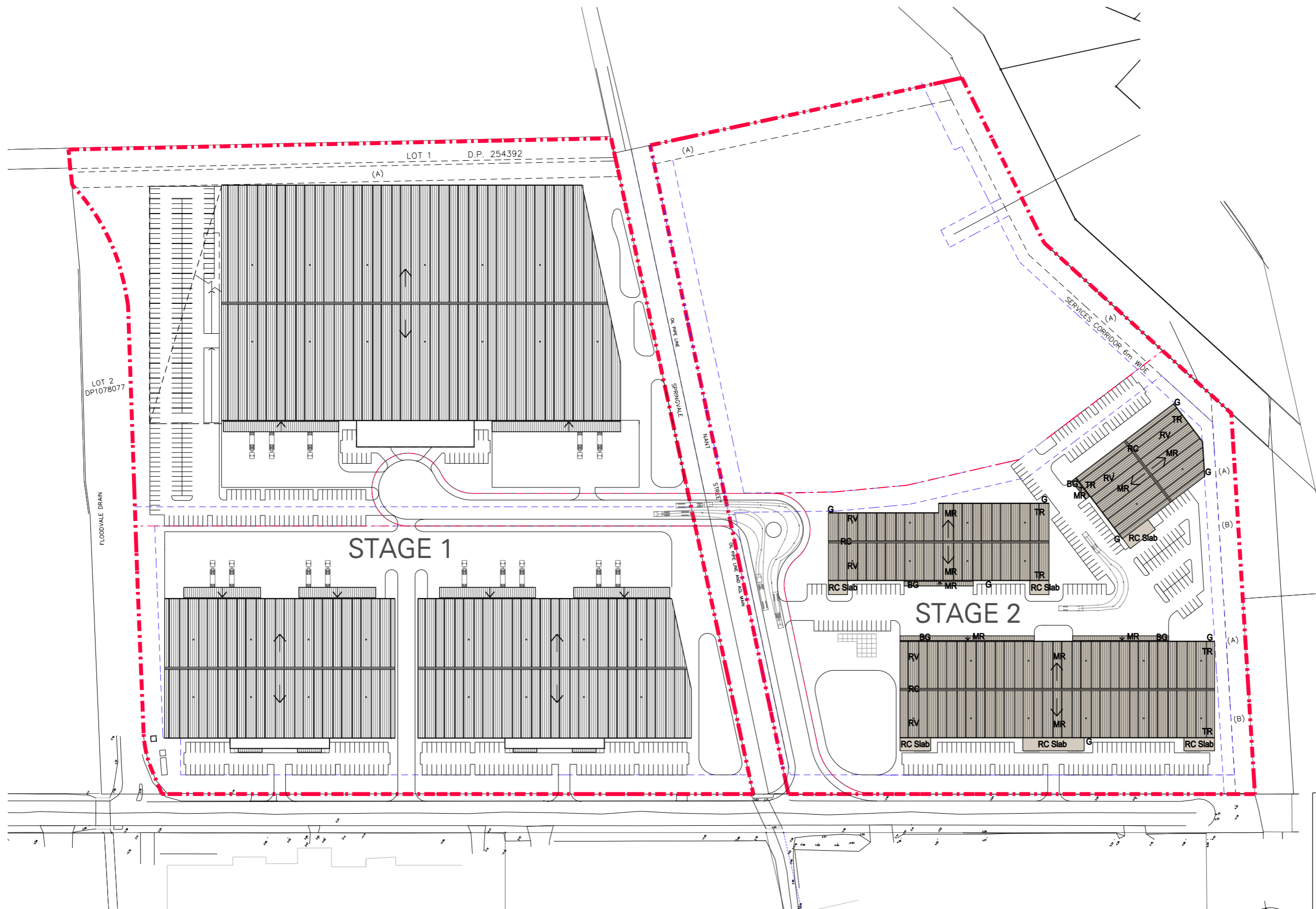


LEGEND

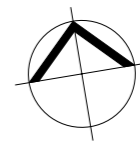
- DT Inground Detention Tank
- AW Awning
- HS Hardstand

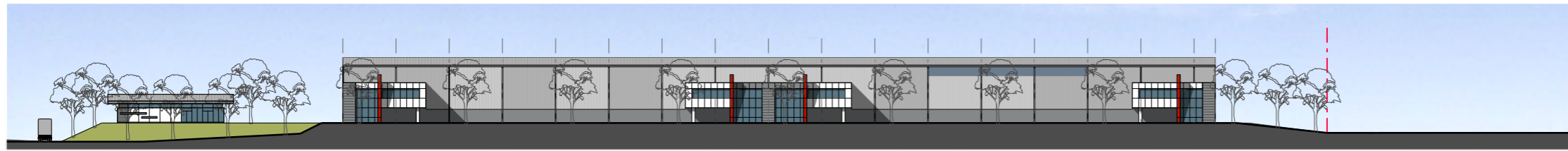
Development Area Schedule

STAGE 2	
Total Site Area	46,300 sqm
less Detention Basins	2,000 sqm
less Access Road	3,990 sqm
Dev. Site Area	40,310 sqm
Total Warehouse	14,850 sqm
Total Office (2 levels)	1,400 sqm
Cafe/ Amenities	240 sqm
Total Floor Area	16,490 sqm
Awning	505 sqm
FSR	41 %
Site Cover (incl awning & parking deck)	40 %
Landscape Area - 32%	12,960 sqm
Carparking on grade	260

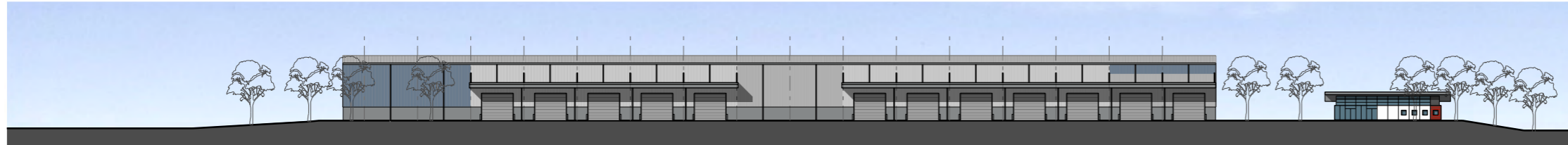


Legend	
BG	Box Gutter
DP	Down Pipe
G	Gutter
MR	Metal Roofing
RC	Ridge Capping
RV	Roof Vent
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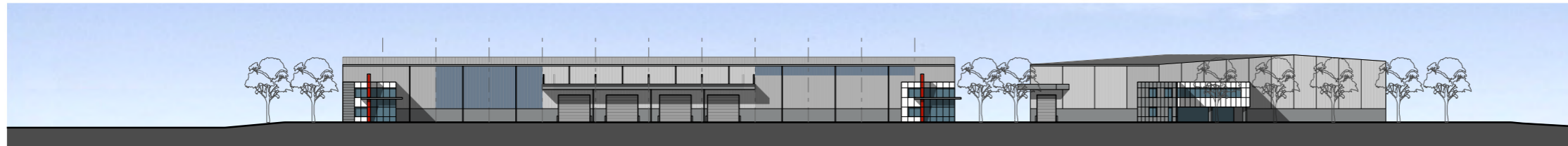




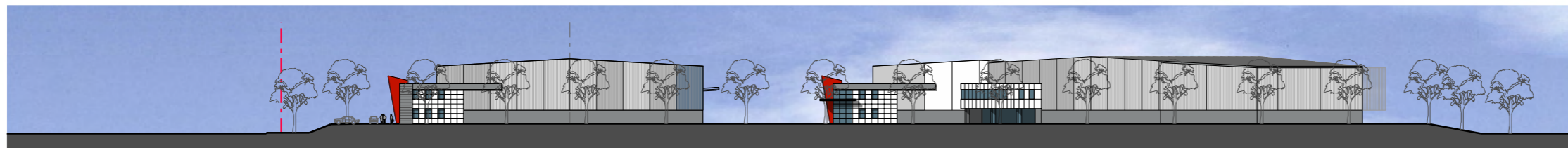
South Elevation (McPherson Street)



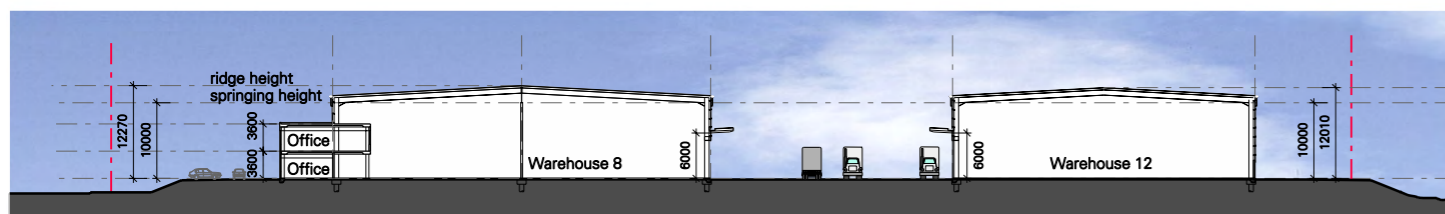
North Elevation (Inter Access Road)



South Elevation (Inter Access Road)



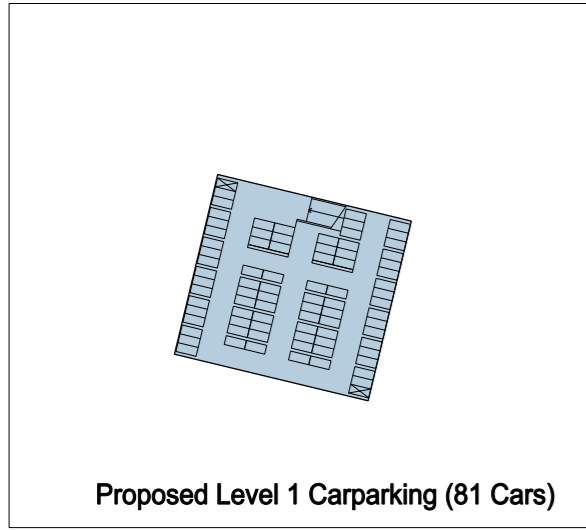
East Elevation



Section

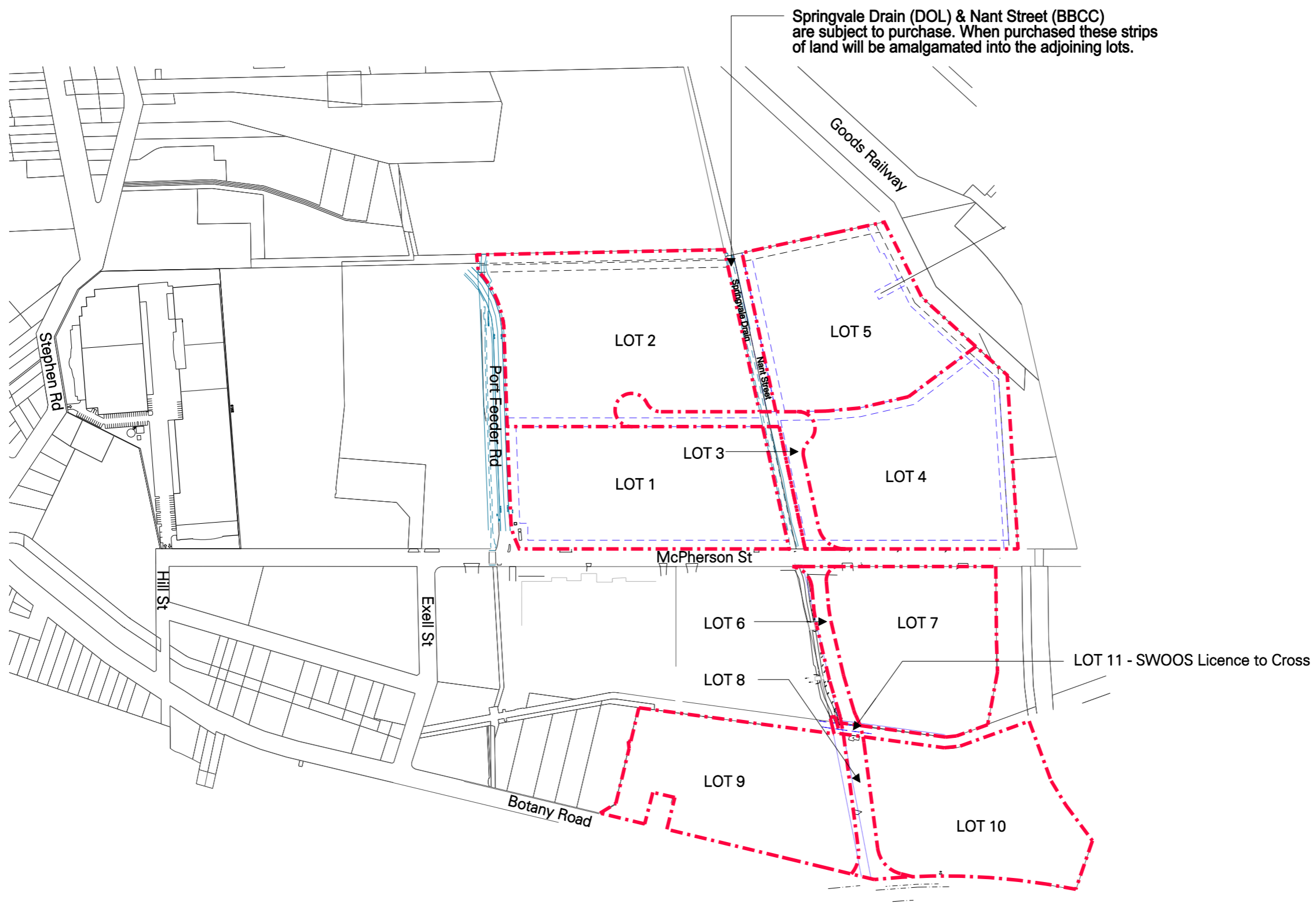


West Elevation



Site Area Schedule	
Total Site Area	75,790 sqm
Less:	
Proposed New Road	4,245 sqm
Total Developable	71,545 sqm
Site 1	36,710 sqm
Site 2	34,835 sqm
Building Area - Total Existing	49,928 sqm
Building Area Demolished (Units 8 & 20)	7,099 sqm
Carparking - Total Existing	547
less Carspaces leased to Units 8 & 20	74
Total remaining carparking	473
Carparking - Total Existing	547
Carparking lost to Road and Hardstand	148
Carparking remaining	399
Proposed New Carparking Deck (2 lev)	186
Proposed New Carparking on Site 2	74
	260
Total Proposed Carparking	659
Site 1 Units 2-7, 16-21	
Total Warehouse (excl unit 20)	12,545 sqm
Total Office (excl unit 20)	9,353 sqm
Carparking Existing	297
less Carspaces leased to Unit 20	39
Total remaining carparking	258
Total required by council	391
Total Proposed Carparking	393
Site 2 Units 8-12	
Total Warehouse (excl unit 8)	15,610 sqm
Total Office (excl unit 8)	5,321 sqm
Carparking Existing	250
less Carspaces leased to Unit 8	35
Total remaining carparking	215
Total required by council	328
Total Proposed Carparking	266

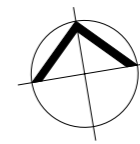




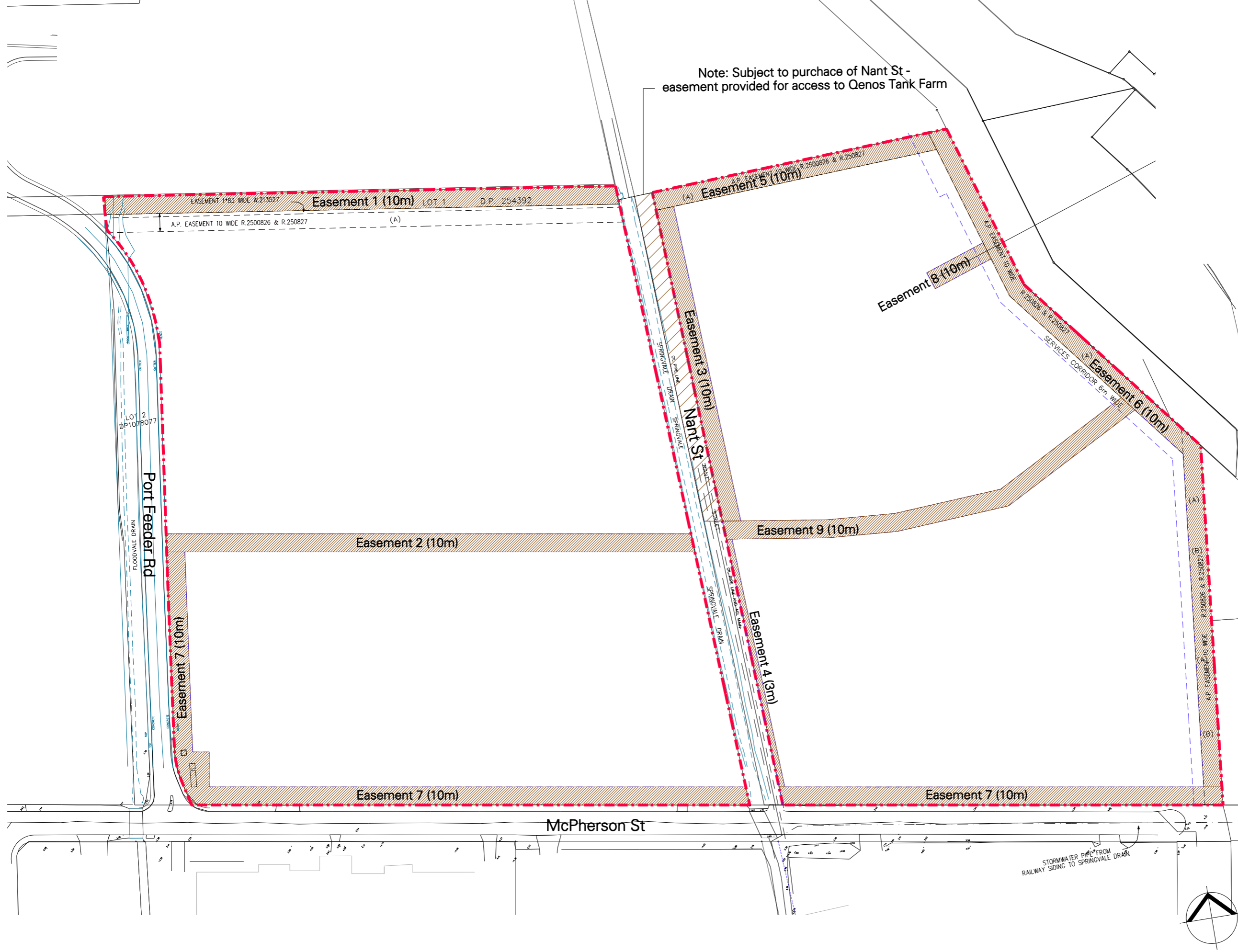
Lot Area Schedule

Lot 1	4.243 ha
Lot 2	5.228 ha
Lot 3	0.773 ha
Lot 4	4.231 ha
Lot 5	3.843 ha
Lot 6	0.333 ha
Lot 7	3.346 ha
Lot 8	0.406 ha
Lot 9	3.638 ha
Lot 10	3.533 ha
Lot 11	0.270 ha

Springvale Drain	0.289 ha
Nant Street	0.347 ha



Note: Subject to purchase of Nant St -
easement provided for access to Qenos Tank Farm



Area Schedule	
Easement 1	2,850 sqm
Easement 2	2,910 sqm
Easement 3	1,765 sqm
Easement 4	440 sqm
Easement 5	1,570 sqm
Easement 6	4,160 sqm
Easement 7	6,960 sqm
Easement 8	350 sqm
Easement 9	2,420 sqm
Total Easements (13%)	23,425 sqm
Total Site	182,880 sqm
Less Easements	23,425 sqm
	159,455 sqm