



# Tumut Pulp and Paper Mill

## Modification Report 06\_0159

Visy Pulp and Paper Pty. Ltd.



27 October 2021

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**Document status**

Status Code	Revision	Author	Reviewer		Approved for issue		
			Name	Signature	Name	Signature	Date
	0	J Blane	L King		S Murphy		03/08/2021
S4	1	L King	D Mees		D Mees		27/10/2021

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# 1. Introduction

## 1.1 Background

Visy Pulp and Paper Pty Ltd (Visy) operate the Tumut Pulp and Paper Mill (Tumut Mill) at a site located approximately eight kilometres west of the township of Tumut in the Snowy Mountains region of NSW (Figure 1.1). Development consent was granted in 1998 for the operation of the mill (DA6/98). An initial production capacity of 300,000 tonnes per year (tpy), with an increase of up to 450,000 tpy for future mill expansion, was approved.

Construction of the mill commenced in January 2000 and was completed in May 2001. The official commissioning period ended on 15 May 2002. The mill has been operating continuously since then.

In 2006, a Concept Approval and Project Approval were sought by Visy to expand the mill and increase production from the originally approved 450,000 tpy to 700,000 tpy to manage increasing product demand. The mill expansion had a capital investment value of more than \$30 million for the purposes of manufacture of paper pulp. This, therefore, triggered the State Environmental Planning Policy (Major Projects) 2005 and the project was assessed under Part 3A of the *Environmental Planning and Assessment Act 1979* (EP&A Act). In May 2007, the then Minister for Planning granted approval for the increase in paper production to 700,000 tpy (Project Approval (PA) 06\_0159).

Modifications were sought by Visy in 2012 for installation of a new refuelling facility with diesel storage tanks adjacent to the main entry of the site (PA06\_0159 Modification 1). In 2015, to accommodate for approved upgrades of machinery and plant, an additional modification to construct three building and storage facilities was approved (PA06\_0159 Modification 2). In 2017, a modification was approved to enable an increase in production capacity to 800,000 tpy, to meet increasing product demand (PA06\_0159 Modification 3). A further modification was granted in 2020 to include noise limit exemptions for sensitive receivers with noise agreements (PA06\_0159 Modification 4).

A further modification (PA06\_0159 Modification 5) is now being sought by Visy to construct additional storage buildings, an additional powered mobile equipment (PME) workshop, a training building and an additional emergency process water pond.

## 1.2 Purpose of this report

GHD Pty Ltd (GHD) has been engaged by Visy to prepare this Modification Report to accompany an application for a Section 4.55 modification to PA06\_0159 to be lodged with the NSW Department of Planning, Industry and Environment (DPIE).

The proposed modification has been prepared in accordance with the relevant provisions of the EP&A Act and Environmental Planning and Assessment Regulation 2000 (EP&A Regulation).

This Modification Report provides a description of the modification and includes an assessment to determine the potential additional environmental impacts that may occur due to the modification. The SEE includes, where relevant, additional management measures to be implemented to mitigate impacts.

## 1.3 The proponent

Visy is the world's largest privately owned packaging and recycling company with its headquarters in Melbourne, Australia. Visy Pulp and Paper Pty Ltd are a leading global packaging, paper and recycling division of Visy .

Visy is the proponent for the proposed modification to the existing approval.

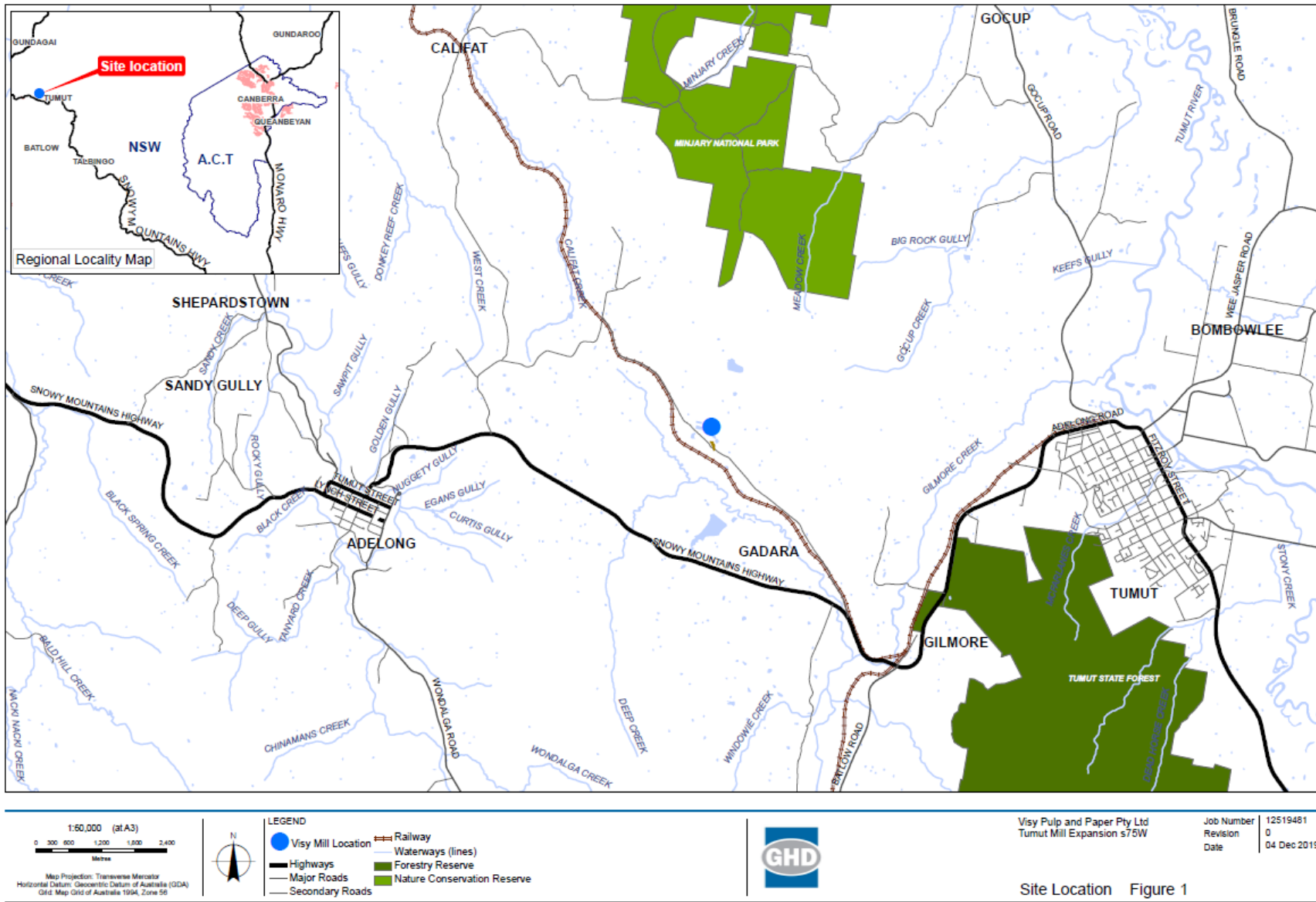


Figure 1.1 Site location

## 2. Existing development

### 2.1 The site and surrounds

The site is located at 1302 Snowy Mountains Highway, approximately eight kilometres directly west of the township of Tumut in NSW as shown on Figure 1.1. The mill site occupies an area of approximately 53 hectares (ha) within a total area owned by Visy of approximately 2,124 ha located on both sides of the Snowy Mountains Highway.

Surrounding land use consists predominantly of cleared farmland, with the Tabletop Mountain range to the north, Deep Creek to the west and Gilmore Creek to the east. The disused Cootamundra-Tumut railway line lies immediately to the south of the site. Sandy Creek flows from west to east through the proponent's site. The Snowy Mountains Highway runs approximately 2.5 kilometres south of the site.

A description of the Tumut Mill property is summarised in Table 2.1.

**Table 2.1** Tumut Mill property description

Site details		
Land ownership	Visy Pulp and Paper Pty Ltd	
Local government area (LGA)	Tumut	
Land title details	DP No. 757228	Lot 5, 12, 14, 19, 42, 57, 61, 62, 63, 64, 76, 84, 91, 92, 93, 94, 103, 105, 106, 107, 115, 116, 117, 118, 119, 138
	DP No. 757252	Lot 211, 219, 220, 221, 222, 223, 224, 229, 230, 235
	DP No. 832090	Lot 1
	DP No. 1004478	Lot 4
	DP No. 1082770	Lot 1
	DP No. 1035564	Lot 102, 103
	DP No. 96829	Lot 7002
	DP No. 27482	Lot 1
Current land use	Pulp and paper mill / agricultural land	
Land use zone	RU1 Primary Production	

### 2.2 Approved development

As described in Section 1.1, the Tumut Mill was originally approved under Part 4 of the EP&A Act in 1998 (DA6/98). Further approvals under Part 3A (now repealed) of the EP&A Act were granted in 2007. Three modifications to this consent have been issued – in 2012, 2015, 2017 and 2020.

Visy is now seeking a further modification to the PA 06\_0159 to construct additional storage buildings, additions to the PME workshop, a training building and an additional emergency process water pond to support the mill's upgraded and evolved operations that have been developed in the context of the existing Tumut Mill 2007 approval.

## 3. Proposed modification

### 3.1 Description of proposed modification

The proposed modification is to construct additional storage buildings, additions to the PME workshop, a training building and an additional emergency process water pond. Concept plans for the proposed modification are provided in Appendix A. A general description of each item is provided below.

#### 3.1.1 Structures

##### Additional PME workshop

A new shed to the west of the existing workshop is proposed, comprising a total area of 850 square metres (m<sup>2</sup>). The shed will include five bays, each measuring six metres (m) wide and 16 m long, with the entire structure measuring 30 m by 16 m and 9.5 m high. Additionally, a new 300 m<sup>2</sup> amenities building will be constructed to the east of the existing workshop (see Appendix A).

The buildings would be constructed of galvanised steel framework with Colourbond® or Zinalume® cladding.

Access to the new PME workshop and amenities building will be via the existing workshop access road.

The PME workshop is used to service and maintain site equipment, including forklifts, frontend loaders, scissor lifts and boom lifts, to ensure minimum safety standards are met (see Figure 3.1). The current PME workshop is too small and located too close to the exit for the reel store, which has become a safety hazard. The new PME workshop extension will improve safety and production efficiency.



Figure 3.1 Existing PME workshop

##### Additional reel store

An additional reel store structure will be constructed to the east of the existing reel store (see Appendix A). The additional reel store will be generally the same size as the existing reel store, comprising an area of approximately 14,250 m<sup>2</sup>.

The building would be constructed of galvanised steel framework and Colourbond® or Zinalume® cladding.

Access to the new reel store will be generally via the existing reel store access road. The increased space within the expanded reel store will improve traffic flow around the site.

The reel store is the main warehouse and distribution centre for finished paper products. Paper is stored on tightly wound reels varying in sizes from 800 millimetres to 3,000 millimetres long that are transferred from the paper machine building by an elevated conveyor system. The reels are then removed from the conveyor into storage via a self-propelled, automated guided vehicle (AGV) system. The AGVs are also used to stage loads in readiness for loading onto outgoing trucks.

The current building is used for both domestic and export product (see Figure 3.2). The additional reel store will be constructed to the east of the existing store to store and dispatch domestic product, while the existing reel store will be for export product storage and loading only. The increased space within the expanded reel store will improve storage and handling efficiency and also provide safer traffic flow.



Figure 3.2 Existing reel store

### **Additional BKP storage shed**

An additional bleached kraft pulp (BKP) storage shed is proposed to the north of the existing BKP storage shed (see Appendix A). The additional BKP storage shed will be generally the same size as the existing BKP storage shed, comprising an area of approximately 1,820 m<sup>2</sup>.

The building would be constructed of galvanised steel framework and Colourbond® or Zinalume® cladding.

Access to the new BKP storage shed will be via the existing BKP storage shed access road.

The BKP shed is used to store bales of BKP (see Figure 3.3). The site produces white top linear (WTL) paper using purchased bleached kraft pulp, which is delivered to the site in bales. The additional storage shed is proposed to be located north of the existing shed.



*Figure 3.3 Existing BKP shed*

### **Increase existing storage shed**

An existing storage shed is located on site. It is proposed to increase the size of this shed from 864 m<sup>2</sup> (approved under Modification 3) to 1598 m<sup>2</sup>.

This storage shed is used to accommodate large spare parts for the site's maintenance team, including pumps and motors (see Figure 3.4).



*Figure 3.4 Existing storage shed*

### **Additional storage shed**

An additional storage shed will be constructed to the east of the existing storage shed in the existing laydown area at the northern edge of the site (see Appendix A). The additional storage shed will be generally the same size as the existing storage shed, comprising an area of approximately 1,820 m<sup>2</sup>.

The building would be constructed of galvanised steel framework and Colourbond® or Zinalume® cladding.

Access to the new storage shed will be via the existing site storage shed access road.

The additional storage shed will be used to accommodate large spare parts for the site's maintenance team, including pumps, motors and other equipment that is currently not able to be stored under cover.

## Training building

A training building will be constructed to the east of the existing administration building (see Appendix A). The building will be approximately 30 m by 30 m, comprising a total area of 900 m<sup>2</sup>. They will be of structural steel construction on a concrete slab foundation, clad with Colourbond® or Zinalume®, with glazed areas and exposed painted structural steel. The training building will include offices, amenities and large meeting rooms.

Access to the new training building will be via existing internal access roads.

The training building will be constructed next to the main administration building and will be used for onsite competency and safety training, as well as site inductions. This building will replace the current transportable container building, which is undersized for the requirements.

### 3.1.2 Process water emergency storage pond

An additional process water storage pond will be constructed in the southwest portion of the site, adjacent to the existing storage ponds in the wastewater treatment plant (see Appendix A). The pond will be approximately 2,554 m<sup>2</sup>.

The additional pond will have a useable volume of three megalitres (ML) and would hold excess water during emergencies for later return to the process.

The additional process water storage pond will be of earthen construction with a high-density polyethylene (HDPE) lining and will be designed in accordance with relevant standards, taking into account the results of appropriate geotechnical testing.

The pond is wholly contained upstream of Sandy Creek.

The pond would be constructed in accordance with relevant Dams Safety NSW guidance including:

- Regulatory Policy (<https://www.damsafety.nsw.gov.au/wp-content/uploads/Regulatory-Policy-Transition-First-Publication-March-2020.pdf>).
- Guideline - Operations and maintenance plans (<https://www.damsafety.nsw.gov.au/wp-content/uploads/OM-Plans-Guideline-publication-October-2020.pdf>).
- Guideline - Dam safety management system (<https://www.damsafety.nsw.gov.au/wp-content/uploads/Dam-safety-management-system-guideline-March-2021.pdf>).
- Guideline - Emergency Plans (<https://www.damsafety.nsw.gov.au/wp-content/uploads/Emergency-Plans-Guideline-publication-September-2020.pdf>).
- Guidance Sheets (<https://www.damsafety.nsw.gov.au/archive-information/>).

### 3.1.3 Construction and operational workforce

A maximum of approximately 15 construction personnel will be required during construction activities.

There would be no change to the operational workforce.

### 3.1.4 Operational processes and hours

There would be no change to the operational processes or operating hours of the mill due to the proposed modification.

### 3.1.5 Construction and operational traffic

A maximum of approximately 15 light vehicles would travel to and from the site during construction. Travel would occur at the start and end of each working day and vehicles would be parked within the site. It is anticipated that the existing road network can accommodate these additional vehicles and traffic impacts are not considered likely.

No additional heavy vehicles are required during construction as all required plant and equipment (crane, excavator) is on site.

All construction vehicles would use existing external and internal road networks, with no road upgrades required.

There would be no change to traffic during operation.

## **3.2 Justification of proposed modification**

### **3.2.1 Overview**

Visy is committed to a process of continuous improvement in technology and production efficiencies, in line with changing community, business expectations and market sector needs.

The phased expansion upgrades approved under PA 06\_0159 permitted the installation and upgrade of certain plant and machinery comprising the latest technology in recovered paper pulping capacity to improve the fibre recovery from waste paper feedstock and the related fibre line. The proposed modification is for the construction of buildings to increase storage capacity and improve facilities and safety conditions onsite, as well as to provide additional process water storage capacity to facilitate the ongoing implementation of these approved process changes.

The modification will allow Visy to continue improving the pulp and paper processes within the intent and overall physical site footprint authorised by the 2007 approval (PA 06\_0159). This includes, minimising its waste and secondary environmental impacts associated with those waste streams.

The specific need and justification for each item of the elements of proposed modification is discussed below.

### **3.2.2 PME workshop**

The additional PME workshop is proposed to address a number of work health and safety (WH&S) issues identified during internal inspections. The proposed addition will improve aspects of the existing facility that expose technicians to hazards and compromise maintenance activities that could result in operational incidents. The requested modification will provide suitable additional floor space to relocate works away from primary thoroughfares within the building.

### **3.2.3 Reel store**

The existing reel store does not hold enough capacity for safe and efficient storage of paper reels. In order to meet the demand for Visy products, a duplicate of the existing reel store is required. This will reduce restrictions to vehicle and personnel movements within the store, as well as improve traffic flow around the site.

### **3.2.4 BKP storage shed**

The additional BKP storage shed is proposed to enable sufficient protection for vital paper producing materials. The shed will be used as a laydown area for the non-hazardous material to be stored until needed in production. Storage of BKP is critical to paper production and plays an important role in the recycling efforts at the facility.

### **3.2.5 Increased storage shed capacity**

The additional storage shed area is required to enable sufficient space to store equipment and materials. The sheds will be used as laydown areas for equipment and non-hazardous materials to be stored until use in each major shut down. Maintaining an organised and dedicated storage area is important to ensure a clean and controlled facility.

### 3.2.6 Training building

The training building will provide additional office space and facilities to allow more effective delivery of training to staff. This will ensure all staff are informed of current operating practices in a timely and effective manner, which will contribute to the ongoing efficient operation of the facility and maintain a safe work environment for employees.

### 3.2.7 Process water emergency storage pond

The additional process water storage pond will provide additional emergency process water storage, helping to safely manage the water inventory during upset and shut down conditions. The additional pond will also allow the recovery of surplus water for reuse when process conditions return to normal following a shut down. In normal operating conditions the pond will be empty.

## 3.3 Consultation undertaken for the modification

The consultation undertaken by Visy regarding the proposed modification is summarised in Table 3.1. Consultation materials are provided in Appendix B.

*Table 3.1 Consultation for the proposed modification*

<b>Stakeholder</b>	<b>Details of consultation and Visy response</b>
Department of Planning, Industry and Environment (DPIE)	Visy has corresponded with DPIE since lodging the modification application on 23 August 2021. Written comments were provided by DPIE and the modification application withdrawn. This revised report has addressed all comments provided (see Appendix B).
Snowy Valleys Council (SVC)	Visy provided a letter to SVC on 12 September 2021 outlining the details of the proposed modification (see Appendix B). No response has yet been received.

## 4. Statutory framework

### 4.1 Environmental Planning and Assessment Act 1979

#### 4.1.1 Existing consent

The EP&A Act provides the statutory basis for planning and environmental assessment in NSW. All development is assessed in accordance with the provisions of the EP&A Act and the EP&A Regulation.

Approval for expansion of the mill was granted by the Minister for Planning in 2007 under the former Part 3A of the EP&A Act (PA 06\_0159). Part 3A of the EP&A Act was repealed and a new assessment system for projects of State significance commenced in NSW on 1 October 2011.

PA 06\_0159 was approved for modification in 2015 and again in 2017 under Section 75W of Part 3A in accordance with the transition arrangements for Part 3A projects. PA 06\_0159 has now transitioned to the State Significant Development (SSD) approval pathway in accordance with Clause 6 of Schedule 2 of the Environmental Planning and Assessment (Savings, Transitional and Other Provisions) Regulation 2017 (Savings Regulations) which was gazetted on 6 July 2018. As a result:

- Pursuant to Clause 6(3)(a) of the Savings Regulations PA 06\_0159 is taken to be a SSD development consent granted under Part 4 of the EP&A Act.
- PA 06\_0159 may be modified under Section 4.55(1A) of the EP&A Act.

#### 4.1.2 Modification of the consent

Section 4.55 of the EP&A Act allows for modification of consents to be made, subject to and in accordance with the EP&A Regulation. In particular Section 4.55(1A) states:

*(1A) Modifications involving minimal environmental impact*

*A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if—*

- (a) it is satisfied that the proposed modification is of minimal environmental impact, and*
- (b) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and*
- (c) it has notified the application in accordance with—*
  - (i) the regulations, if the regulations so require, or*
  - (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*
- (d) it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.*

The above matters are addressed as follows:

#### **Environmental impact**

The environmental impacts of the proposed modification are addressed in Section 5.

#### **Development substantially the same as the original consent**

The proposed modification will enable safer and more effective operation of the Tumut Mill. The proposed modification is to construct additional storage buildings, additions to the PME workshop, a training building and an additional process water pond to support the ongoing operations of the mill and would be located within the existing developed mill site. The development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted.

## Notification

This report will be published on the DPIE Major Projects website. Pursuant to Clause 117 of the of the EP&A Regulation, notification of this modification request is not required. It is not anticipated that the Modification Report will be placed on public exhibition.

## Submissions

As the Modification Report will not be placed on public exhibition, submissions will not be received.

### 4.1.3 Section 4.15 matters

Section 4.15 of the EP&A Act outlines the matters that must be considered by a consent authority when determining a development application. These matters include the provisions of:

(a) *the provisions of—*

*(i) any environmental planning instrument, and*

*(ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*

*(iii) any development control plan, and*

*(iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*

*(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),*

*(v) (Repealed)*

*that apply to the land to which the development application relates,*

*(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,*

*(c) the suitability of the site for the development,*

*(d) any submissions made in accordance with this Act or the regulations,*

*(e) the public interest.*

Relevant matters are addressed in the following sections.

### Tumut Local Environmental Plan (LEP) 2012

Under the Tumut LEP 2012, the proposed site is zoned RU1 Primary Production. The objectives of the RU1 zoning are:

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To encourage diversity in primary industry enterprises and systems appropriate for the area.
- To minimise the fragmentation and alienation of resource lands.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.
- To protect, enhance and conserve the natural environment, including native vegetation, wetlands and wildlife habitat.
- To ensure development prevents or mitigates land degradation.
- To protect significant scenic landscapes.

The mill fulfils the definition of a rural industry, which is permissible with consent under the Tumut LEP 2012.

The proposed modification is located entirely within the boundary of the approved site and is considered to be consistent with the objectives of the RU1 land zoning by improving efficiency and mitigating environmental impacts.

## **Snowy Valleys Development Control Plan (DCP) 2019**

The Snowy Valleys DCP 2019 provides detailed planning and design guidelines for development to support and supplement (but not override or replace) the provisions in the LEP. The relevant provisions of the Snowy Valleys DCP are addressed below.

### **Chapter 6 – Industrial Development**

#### **6.3.2 Building Design**

*Building elevations to the street frontage or where visible from a public road, reserve, railway or adjoining residential area must incorporate variations in facade treatments, roof lines and building materials.*

Comment: Façade treatments, roof lines and building materials used for the modification will be generally consistent with the existing buildings onsite.

*All walls fronting a road or street are to be of brick, masonry, tilt up concrete or of a colorbond material. Any raw concrete or block work surfaces must be appropriately coloured. The implementation of composite building materials is encouraged.*

Comment: Walls will be clad with a Colourbond® or Zinalume® material.

*Second hand wall sheeting must not be used.*

Comment: Second hand wall sheeting will not be used.

*Paint colours chosen for external finishes are not to reflect excessive light and create undue glare.*

Comment: Paint colours will be generally consistent with the existing buildings onsite.

*Details of building materials and colours are to be submitted with any development application.*

Comment: Building materials and colours will be generally consistent with the existing buildings onsite.

*Council may consider the use of materials such as timber panelling, pre-coloured metal cladding and glazing in conjunction with a reasonable proportion of brick, finished concrete or decorative masonry block.*

Comment: Not relevant.

*Low scale building elements such as display area, offices and staff amenities are to be located at the front of the premises.*

Comment: No large scale building elements will be constructed at the front of the premises as part of the modification.

#### **6.3.3 Building Heights**

*Building heights are considered on a merit basis depending on the nature of the proposed industrial development.*

*Building heights for industrial development adjacent to residential areas should generally take into account the scale of the adjoining residential development. Privacy and overlooking of adjoining residential developments is to be considered.*

Comment: The modification will not include buildings adjacent to residential areas.

#### **6.3.4 Building Setbacks**

*A minimum building line of 10 metres is to be provided along the frontage of any highway in any industrial or village area or where residential development is located adjoining or opposite the site.*

*A minimum building line of 20 metres is to be provided along the frontage of any road in rural area.*

*Buildings fronting onto to other roads in industrial or village areas are to be setback 7.5 metres from the front property boundary.*

*Side and rear setbacks must meet Building Code of Australia (BCA) requirements. Despite these requirements a minimum preferred setback of 3m to the side and rear boundaries wherever possible.*

*A 5 metre setback applies from the secondary street on corner Lots.*

*Where industrial development is proposed in the IN1 General Industrial Zone and the RU5 Village Zone and adjoins a wholly residential building the minimum side or rear setbacks will be assessed on merit depending on the type of industrial development. Depending upon the height and scale of the proposed industrial development Council may require setbacks greater than the minimum.*

Comment: The modification will comply with all setback requirements specified in this section.

### **6.3.12 Industrial Development in Rural areas**

*Industrial development in rural areas must satisfy the following criteria for the site:*

- sealed road access*
- avoid direct access from a main or arterial road where possible*
- adequate supporting infrastructure including legal drainage of stormwater and management for runoff, waste water disposal, electricity and sufficient water supply, and*
- adequate area within the site for buffers to adjoining properties and public areas*

Comment: The existing approved development and the proposed modification complies with the above criteria.

### **6.3.22 Site Coverage**

*No building/s is to occupy more than 60% of the total site area.*

Comment: The modification will not result in more than 60 percent of the site being occupied by buildings.

### **6.3.24 Stormwater Management**

*Stormwater shall be conveyed to Council's stormwater management system.*

Comment: Stormwater will continue to be managed in accordance with the existing approval.

## **EP&A Regulation**

Clause 115 of the EP&A Regulation outlines the information required for a proposed modification:

*(1) An application for modification of a development consent under section 4.55 (1), (1A) or (2) or 4.56 (1) of the Act must contain the following information:*

*(a) the name and address of the applicant,*

*(b) a description of the development to be carried out under the consent (as previously modified),*

*(c) the address, and formal particulars of title, of the land on which the development is to be carried out,*

*(d) a description of the proposed modification to the development consent,*

*(e) a statement that indicates either:*

*(i) that the modification is merely intended to correct a minor error, misdescription or miscalculation, or*

*(ii) that the modification is intended to have some other effect, as specified in the statement,*

*(f) a description of the expected impacts of the modification,*

*(g) an undertaking to the effect that the development (as to be modified) will remain substantially the same as the development that was originally approved,*

(h) if the applicant is not the owner of the land, a statement signed by the owner of the land to the effect that the owner consents to the making of the application (except where the application for the consent the subject of the modification was made, or could have been made, without the consent of the owner),

(i) a statement as to whether the application is being made to the Court (under section 4.55) or to the consent authority (under section 4.56),

Table 4.1 below identifies where matters outlined in Clause 115 of the EP&A Regulation are addressed within this report.

**Table 4.1** Clause 115 of the EP&A Regulation

Clause 115 of the EP&A Regulation	Relevant information/report section
1(a)	Visy Pulp and Paper Pty Ltd 1302 Snowy Mountains Highway, Tumut NSW 2720
1(b)	See Section 1.1, 2.2, 4.1.1
1(c)	See Section 2.1
1(d)	See Section 3.1
1(e)(i)	Not applicable
1(e)(ii)	See Section 3.2
1(f)	See Section 5
1(g)	See Section 4.1.2, 6
1(h)	Not applicable
1(i)	See Section 6

## Likely impacts

The likely impacts of the proposed modification are addressed in Section 5.

## Suitability of the site

The proposed modification is to enable construction of additional storage buildings, additions to the PME workshop, a training building and an additional process water pond to support the ongoing operations of the mill and would be located within the existing physical footprint of the mill. The modification is generally consistent with the existing use of the site and is unlikely to result in significant environmental impacts (see Section 5). The site is therefore considered to be suitable for the proposed modification.

## Submissions

As the Modification Report will not be placed on public exhibition, submissions will not be received.

## Public interest

The original application (2007) for the expansion of the mill identified a number of positive socio-economic impacts. The existing mill operations have had a substantially positive socio-economic impact on the local region in terms of employment, attraction of new businesses and services to the area and general income for the region. The creation of a stable market for sawmill and forest residues and a high level of future optimism in the increasing demand in forest product markets has stimulated investment in expansions and upgrades to existing industry in the area. On a national level, the establishment of the existing mill has made a positive contribution to Australia's balance of trade through expanding exports and replacing imports of kraft linerboard. It is expected that the proposed modification will further enhance these positive socio-economic impacts by ensuring the mill continues to develop and improve its operations. Visy also intends to continue investing in local training schemes.

The proposed modification will facilitate the continued operation of the mill within the intent of the original consent, allowing the continued provision of these benefits to the local and wider community.

## 4.1.4 Approvals that do not apply

As SSD, a number of approvals do not apply to the project (including any modification). These are described in Section 4.4.1 of the EP&A Act as follows:

*(1) The following authorisations are not required for State significant development that is authorised by a development consent granted after the commencement of this Division (and accordingly the provisions of any Act that prohibit an activity without such an authority do not apply)—*

*(a) (Repealed)*

*(b) a permit under section 201, 205 or 219 of the Fisheries Management Act 1994,*

*(c) an approval under Part 4, or an excavation permit under section 139, of the Heritage Act 1977,*

*(d) an Aboriginal heritage impact permit under section 90 of the National Parks and Wildlife Act 1974,*

*(e) (Repealed)*

*(f) a bush fire safety authority under section 100B of the Rural Fires Act 1997,*

*(g) a water use approval under section 89, a water management work approval under section 90 or an activity approval (other than an aquifer interference approval) under section 91 of the Water Management Act 2000.*

In light of the above, a water use approval is not required for the process water emergency storage pond.

## 4.1.5 Construction certificate

A construction certificate would be sought for the proposed modification, as required under Part 8 of the EP&A Regulation. The application for the construction certificate would address all compliance requirements that are relevant to the proposed modification including fire protection and structural capacity.

## 5. Environmental impact assessment

Key potential impacts arising from the proposed modification are addressed in the following sections. Management measures are provided if required.

### 5.1 Noise

#### 5.1.1 Potential impacts

There would be a small number of additional light vehicle movements during construction, which is not anticipated to generate substantial additional traffic noise.

Construction activities would generate only minimal noise emissions as the proposed modification would be undertaken within the existing facility generally shielded from surrounding land uses.

Construction scenarios modelled within the original EA (2007) indicated that predicted construction noise combined with existing plant noise levels would generally satisfy noise criteria licensing limits.

Heavy vehicle movements may decrease following construction of the proposed modification, due to the increased storage on site, therefore noise impacts due to heavy vehicles movements are likely to decrease.

With the implementation of standard controls provided in the original EA (2007) and subsequent modifications, potential noise impacts during construction would be appropriately managed.

#### 5.1.2 Management measures

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential noise impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

### 5.2 Traffic

#### 5.2.1 Potential impacts

The proposed modification would result in a minor increase in light vehicle traffic during construction, which would have a negligible impact upon the surrounding road network.

The proposed modification may result in a minor redirection of traffic onsite, but this would be within the existing internal road network and therefore no impacts are anticipated.

The original EA (2007) indicated heavy vehicle movements would have a low impact on the road network. The proposed modification would not result in an increase in truck movements compared to the original EA (2007) and may result in a decrease through improved operational efficiencies and increased storage on site. The potential reduction in heavy vehicle movements may result in a long-term improvement in traffic and safety on the local road network.

There would be no change in the generation of traffic on or off site during operation. Any changes to internal vehicle movement as a result of the proposed modification will likely improve traffic flow and safety within the site.

#### 5.2.2 Management measures

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential traffic impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

## **5.3 Air quality**

### **5.3.1 Potential impacts**

Construction activities would be minor and temporary in nature. With the implementation of standard controls provided in the original EA (2007), potential impacts on air quality during construction are considered unlikely.

The proposed modification will not introduce any new processes or emission sources to the approved mill.

The proposed modification will not introduce new odour sources or increase the potential for odour generation from the site.

### **5.3.2 Management measures**

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential air quality impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

## **5.4 Soil and water**

### **5.4.1 Potential impacts**

The proposed modification will require earthworks and exposure of soils for construction of the additional process water storage pond. This risk will be appropriately managed through the implementation of standard controls provided in the original EA (2007).

The proposed modification is not predicted to substantially increase the quantity of stormwater runoff from the site. While the additional buildings would increase the roofed area onsite, these buildings are within the developed mill site on existing hardstand areas. Any minor increase in stormwater runoff would be collected and managed by the existing stormwater management system as described in the original EA (2007), which has sufficient capacity to accommodate the proposed modification.

Wastewater generation outlined in the original EA (2007) will not be increased with the proposed modification. The additional process water storage pond will provide increased storage capacity onsite, further reducing the likelihood of wastewater entering the surrounding environment. Wastewater irrigation quantities outlined in the original EA (2007) will not be increased with the proposed modification. The additional process water storage pond will provide increased storage capacity onsite, allowing greater opportunity for wastewater reuse within the mill process.

Freshwater demand outlined in the original EA (2007) will not be increased with the proposed modification.

### **5.4.2 Management measures**

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential soil and water quality impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

## **5.5 Waste**

### **5.5.1 Potential impacts**

Some small amounts of waste (primarily packaging and redundant construction materials) will be generated during construction. These can be accommodated in the existing waste management procedures on the site.

Solid waste quantities outlined in the original EA (2007) will not be affected by the proposed modification during operation.

## 5.5.2 Management measures

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential waste impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

## 5.6 Hazardous materials

### 5.6.1 Potential impacts

No hazardous materials are required for construction of the proposed modification.

Chemical storage quantities outlined in the original EA (2007) will not be increased with the proposed modification and the current management practices will be continued during site operations.

### 5.6.2 Management measures

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential hazardous material impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

## 5.7 Energy use and greenhouse gas emissions

### 5.7.1 Potential impacts

A small amount of fossil fuel will be used during construction of the proposed modification to power required plant and equipment and to transport construction personnel to and from site. As construction plant required for the proposed modification is already on site, its use is not anticipated to generate significant additional amounts of greenhouse gases or energy use. Emissions from light vehicle use during construction of the proposed modification would be negligible.

The proposed modification will not result in an increase to gas usage or mill power demand during operation.

### 5.7.2 Management measures

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential energy use and greenhouse gas emission impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

## 5.8 Visual amenity

### 5.8.1 Potential impacts

The proposed modification would be located within the existing facility and is consistent with the existing land use/operations of the facility. All the new components proposed in this modification will be within the existing site boundary, and generally consistent with existing buildings and infrastructure onsite. Buildings will be constructed and clad with similar materials as existing and of a similar height to existing buildings onsite.

Visual impacts are not expected during with construction or operation.

### 5.8.2 Management measures

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential visual impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

## **5.9 Socio-economic impacts**

### **5.9.1 Potential impacts**

Construction activities would be minor and temporary in nature and would be appropriately mitigated with the implementation of controls provided in the original EA (2007).

The proposed modification is not predicted to adversely impact on the local community during construction or operation.

There would be a small beneficial impact during construction due to the generation of local construction employment.

### **5.9.2 Management measures**

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential socio-economic impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

## 6. Conclusion

The assessment of potential environmental impacts in Section 5 has found that the proposed modification is not expected to result in additional impacts to those identified in the original EA (2007). Rather, the proposed modification would reduce heavy traffic generated from the site, reduce heavy vehicle on local roads, improve management of onsite wastewater and provide local employment opportunities during construction.

Based on a review of the consolidated approval conditions for PA06\_0159, incorporating all prior modifications, the potential environmental, social and economic impacts of the proposed modification would be avoided, mitigated and managed within the existing approved environmental management framework.

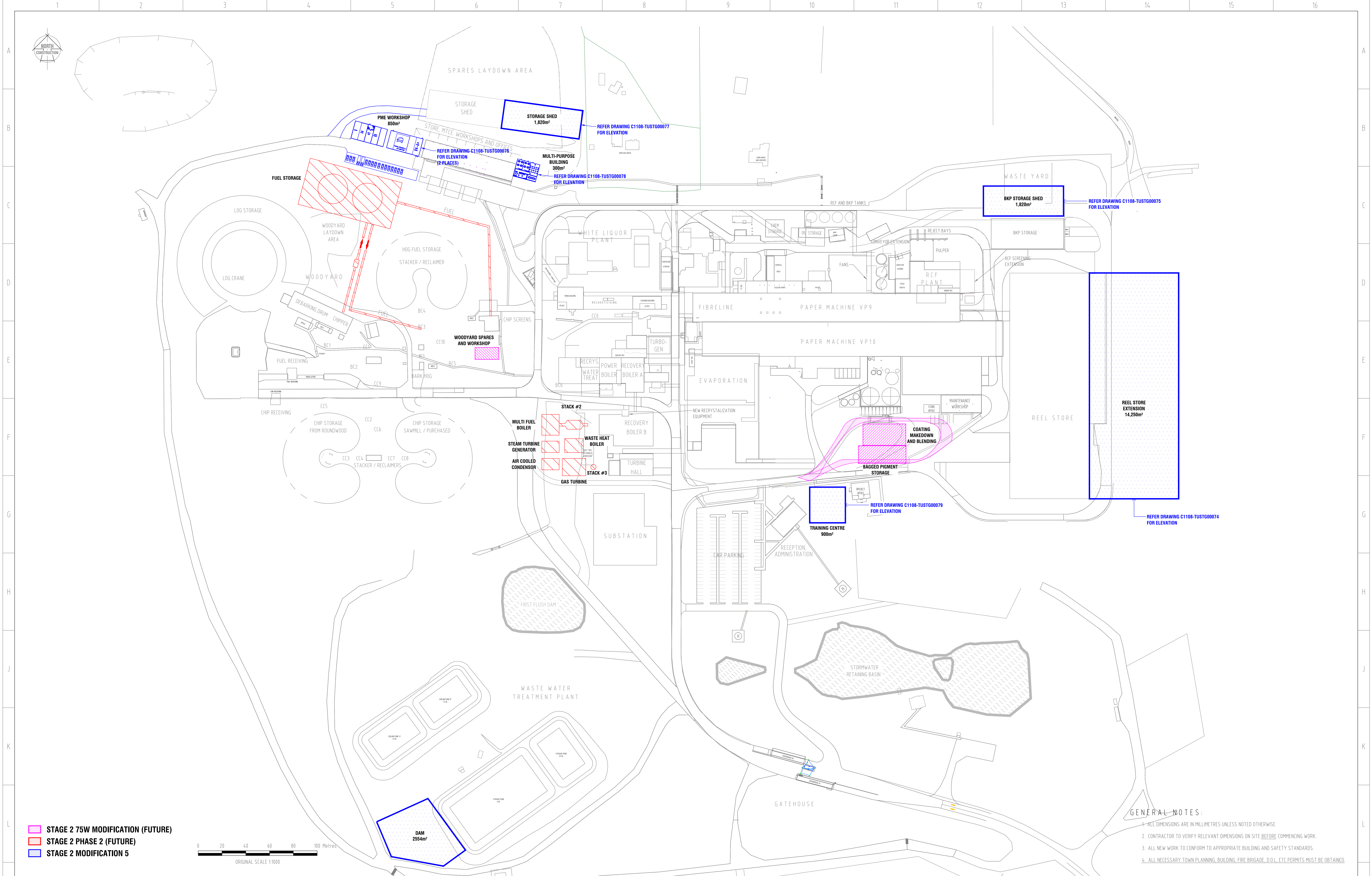
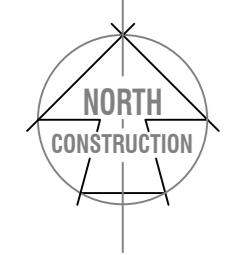
Visy is seeking modification of PA06\_0159 to enable construction of additional storage buildings, an additional workshop, a training building and an additional process water pond.

This assessment has considered the consistency of the proposed modification with the existing approval and considered the potential environmental risks that could occur. Potential environmental impacts are considered to minimal, and the proposed modification is therefore considered to be substantially the same as the development that was originally approved (06\_0159).

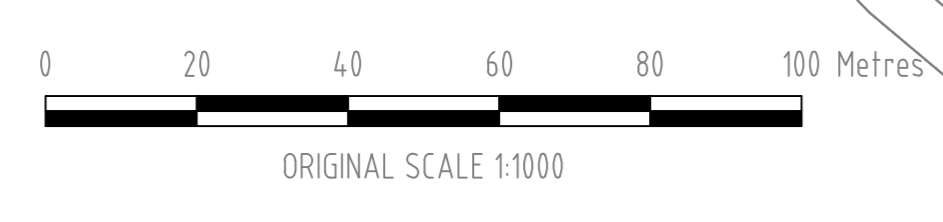
The Approved Project (06\_0159) is therefore considered to be suitable to be modified under Section 4.55(1A) of the EP&A Act.

# Appendix A

Plans




- STAGE 2 75W MODIFICATION (FUTURE)
- STAGE 2 PHASE 2 (FUTURE)
- STAGE 2 MODIFICATION 5



- GENERAL NOTES:**
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE
  2. CONTRACTOR TO VERIFY RELEVANT DIMENSIONS ON SITE BEFORE COMMENCING WORK.
  3. ALL NEW WORK TO CONFORM TO APPROPRIATE BUILDING AND SAFETY STANDARDS.
  4. ALL NECESSARY TOWN PLANNING, BUILDING, FIRE BRIGADE, D.O.I., ETC PERMITS MUST BE OBTAINED.

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DESCRIPTION	RESPONSIBILITY	DATE	DRAWING NUMBER	SUPPLIER	REV	DESCRIPTION	DATE
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					02	ISSUED FOR INFORMATION	30/09/2021



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RUN  
REPAIR**

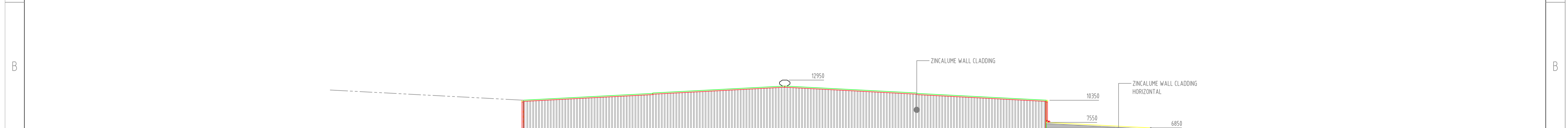
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**VISY  
PULP & PAPER**

TUMUT NEW SOUTH WALES

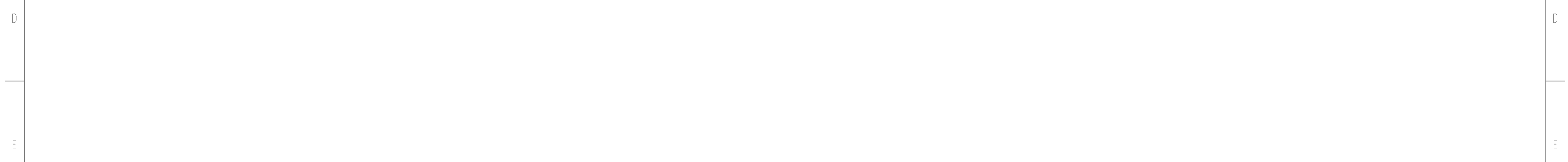
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<b>C1108-TUSTG00073</b>				02	



C

SOUTH ELEVATION  
(NORTH ELEVATION SIMILAR)

C



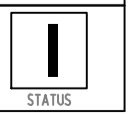
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EAST ELEVATION

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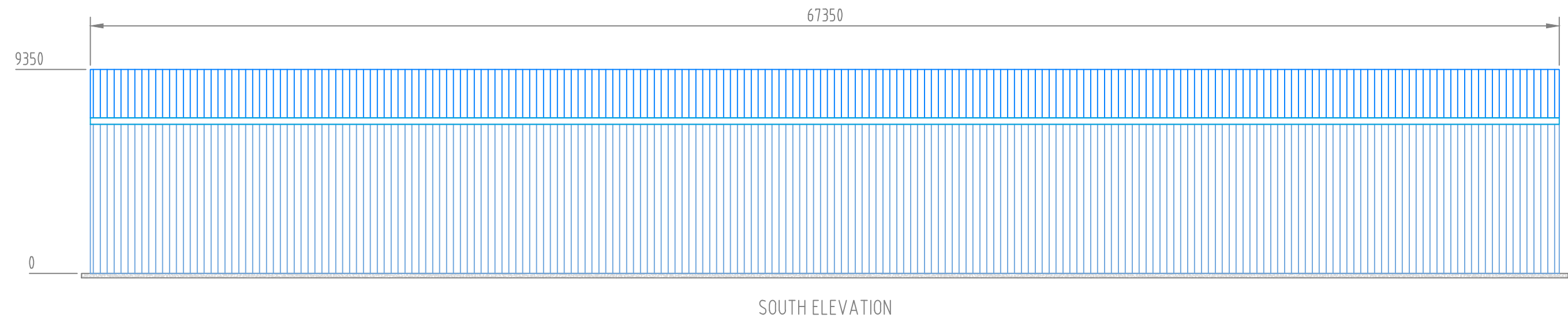
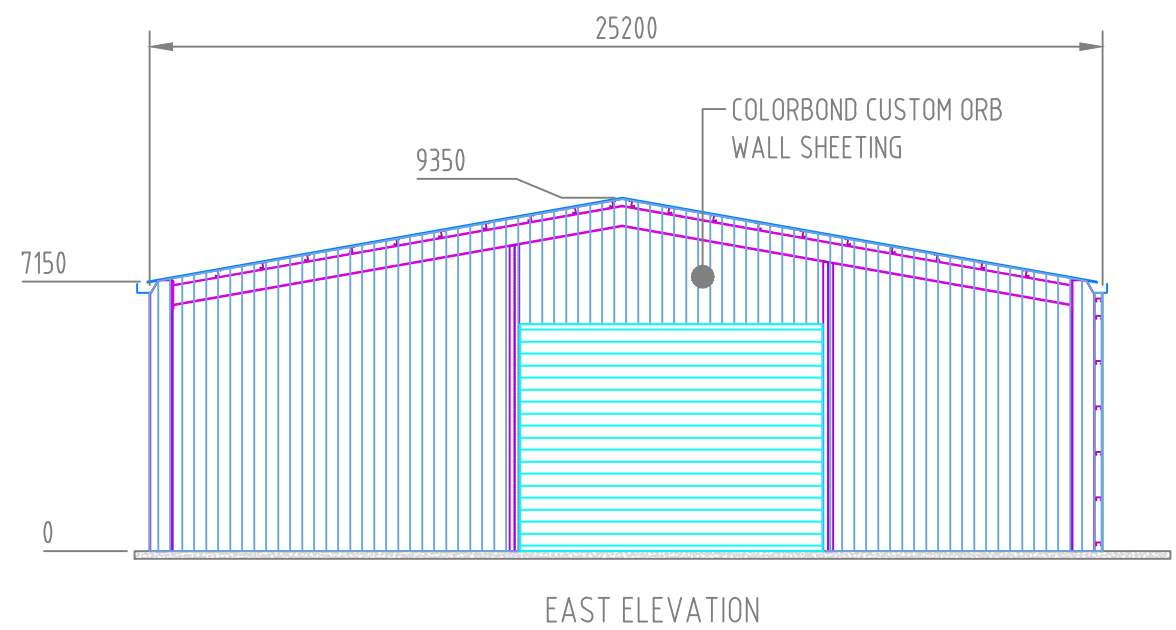
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REV	DESCRIPTION	DATE
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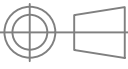
PROJECT




TUMUT NEW SOUTH WALES

TUMUT - SITE  
PROPOSED BKP STORAGE SHED  
ELEVATION

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3RD ANGLE PROJECTION



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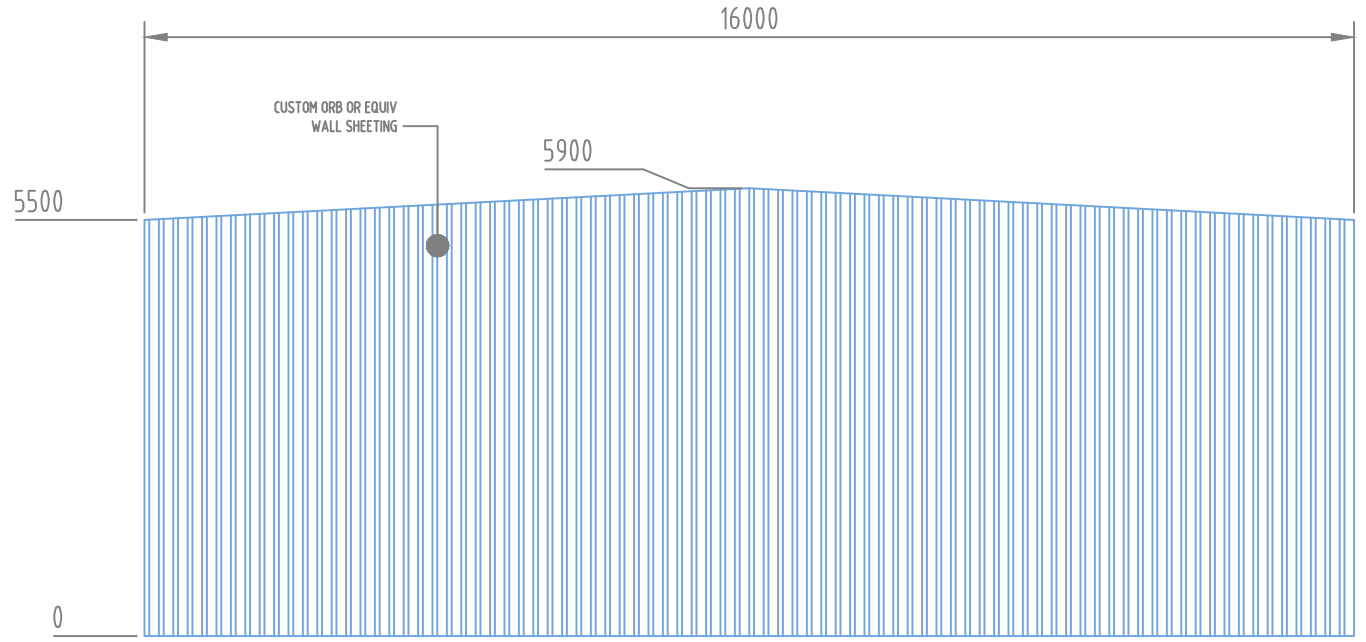
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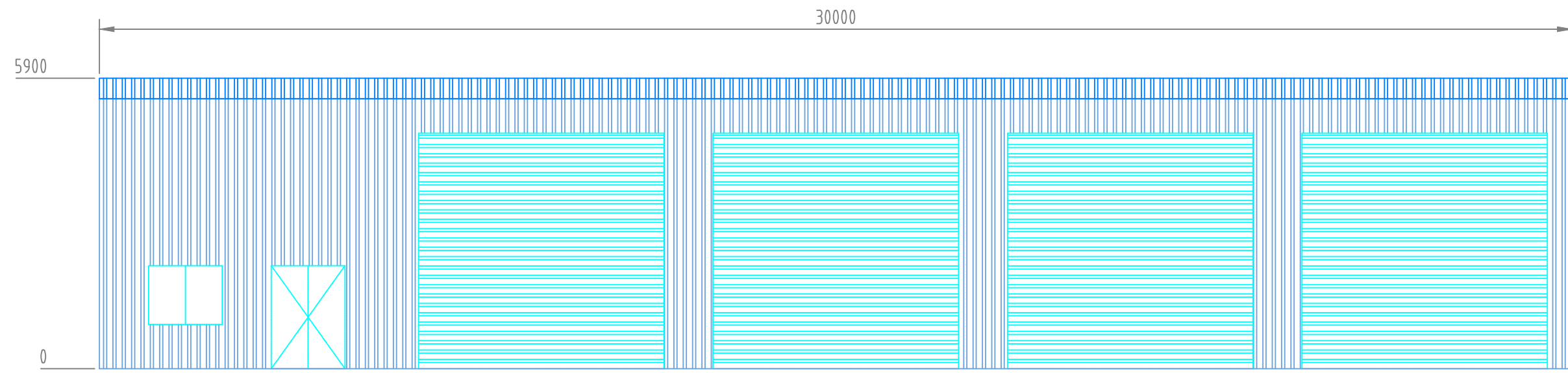
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EAST ELEVATION



SOUTH ELEVATION

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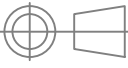
PROJECT




TUMUT NEW SOUTH WALES

TUMUT - SITE  
PROPOSED PME WORKSHOP  
ELEVATION

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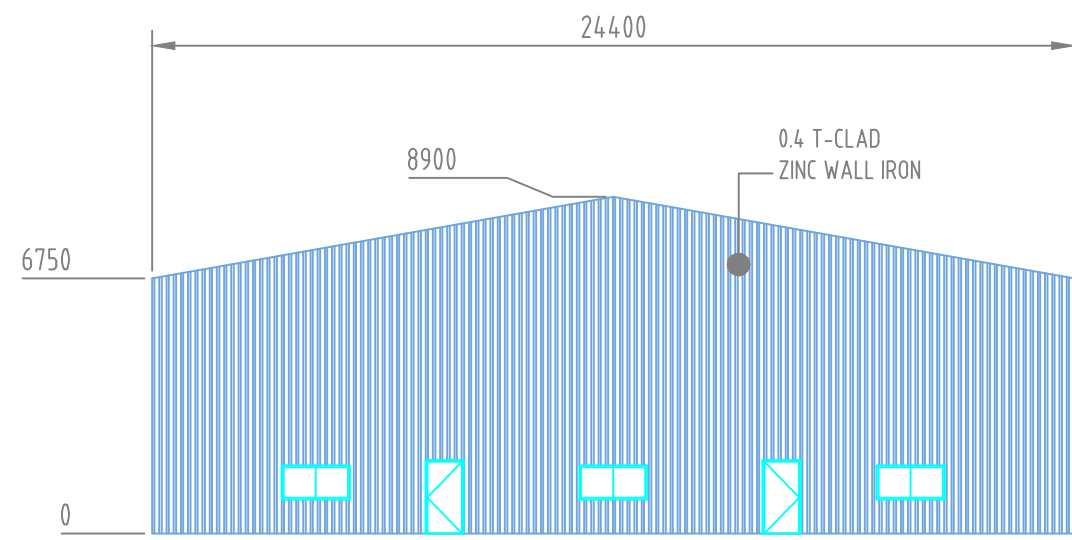


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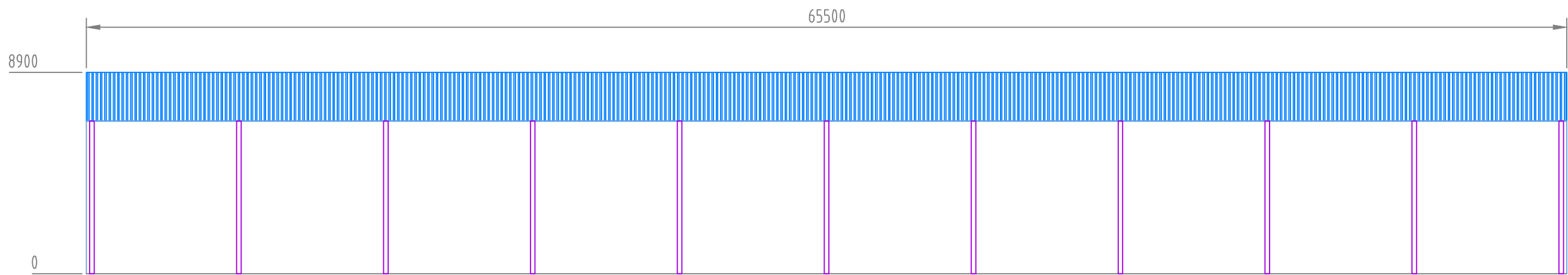


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REV	DESCRIPTION	DATE
01	ISSUED FOR INFORMATION	30/09/2021



EAST ELEVATION



SOUTH ELEVATION

DRAWING STATUS

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PROJECT




TUMUT NEW SOUTH WALES

TUMUT - SITE  
PROPOSED STORAGE SHED  
ELEVATION

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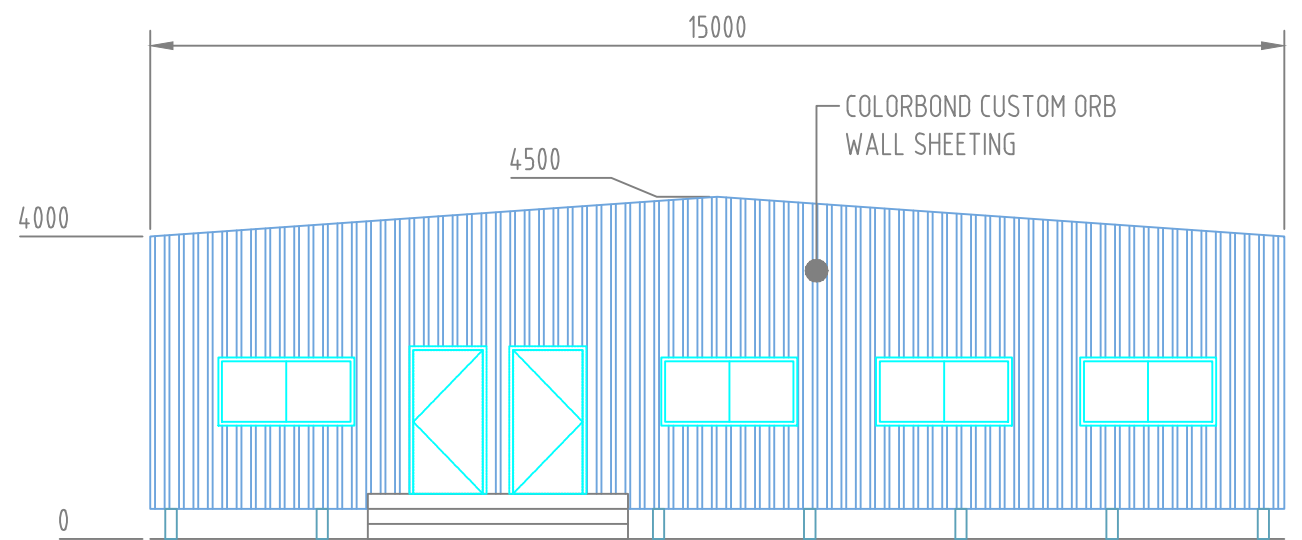


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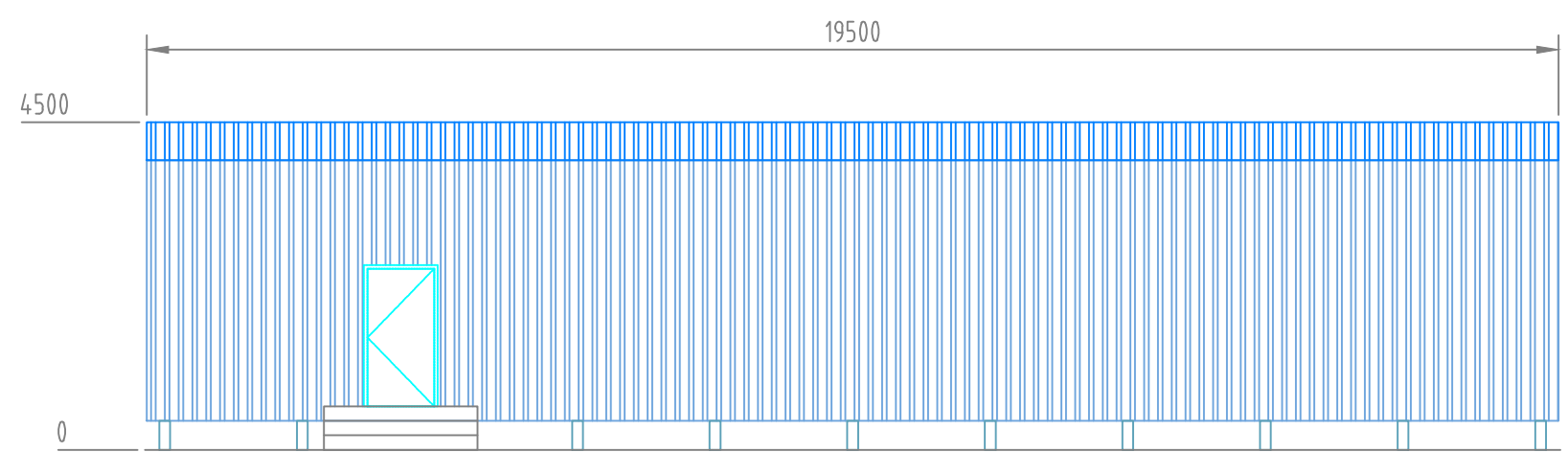


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EAST ELEVATION



SOUTH ELEVATION

DRAWING STATUS

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PROJECT

TUMUT NEW SOUTH WALES

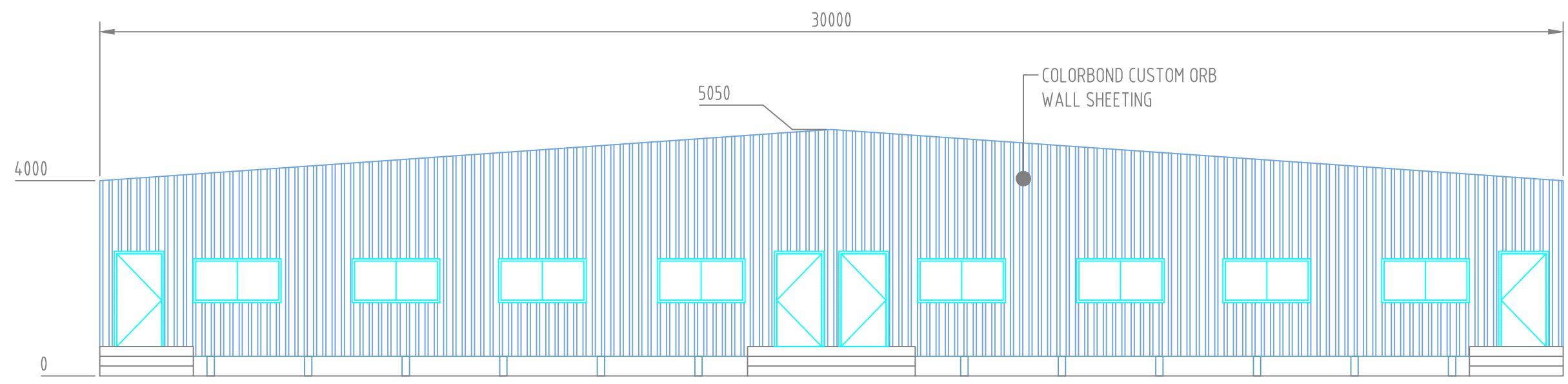
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ELEVATION

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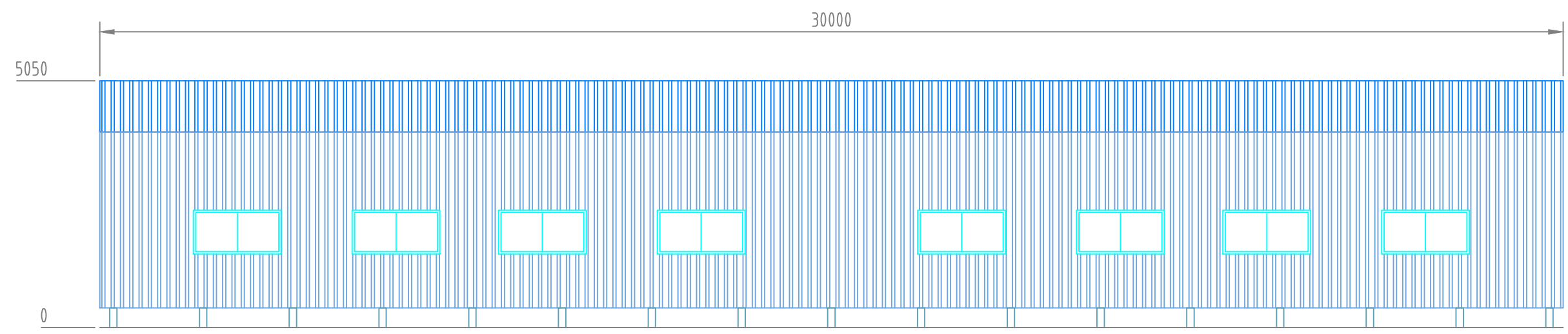
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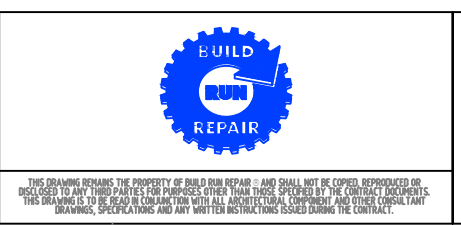
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SOUTH ELEVATION

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PROJECT

TUMUT NEW SOUTH WALES

TUMUT - SITE  
PROPOSED TRAINING CENTRE  
ELEVATION

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<b>C1108-TUSTG00079</b>				01	

# ***PROPOSED WASTEWATER POND BULK EARTH WORKS***

***VISY PULP & PAPER***

***1302 SNOWY MOUNTAINS HIGHWAY TUMUT NSW 2720***

***REF: 210473***

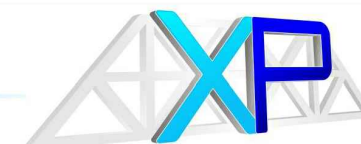
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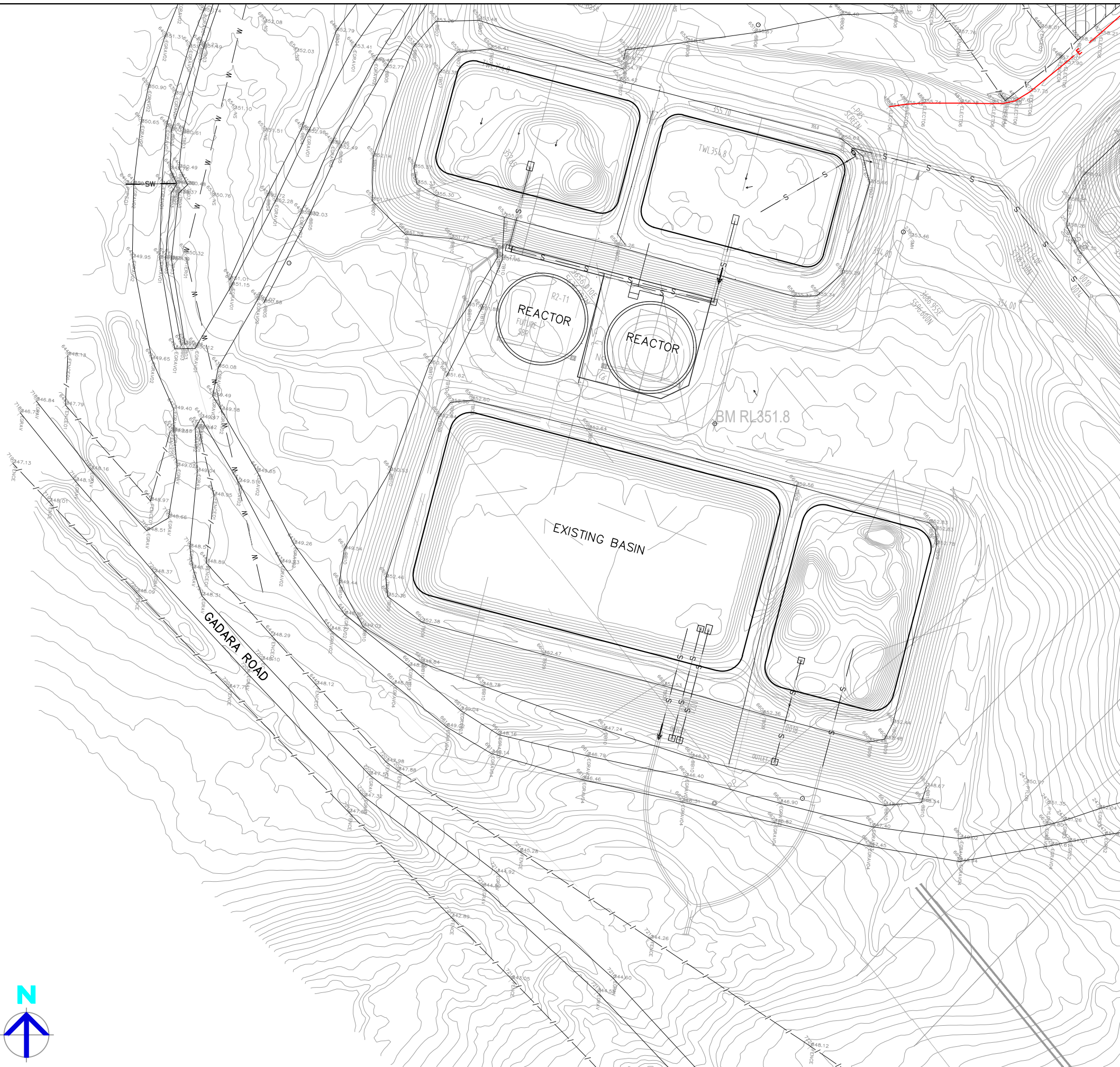
**ISSUED FOR CONSTRUCTION**

**CIVIL DRAWINGS**

DRAWING INDEX	
PROJECT No.: 210473	REVISION No.: A
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SHEET C2	PROPOSED SITE PLAN
SHEET C3	LAYOUT PLAN
SHEET C4	DEPTH CONTOURS PLAN
SHEET C5	TYPICAL SECTIONS
SHEET C6	LONGITUDINAL SECTIONS
SHEET C7	DETAILS
SHEET C8	EROSION AND SEDIMENT CONTROL DETAILS

**XEROS PICCOLO**  
CONSULTING ENGINEERS

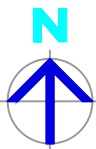




LEGEND	
MARK	ITEM
	EXISTING BUILDING
	EXISTING STORMWATER LINE
	EXISTING SEWER LINE
	EXISTING WATER MAIN
	EXISTING POWER LINE
	EXISTING FENCE LINE
	EXISTING CONTOURS

- NOTES**
- 1) CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
  - 2) DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURALS FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
  - 3) ALL EARTHWORKS TO COMPLY WITH AS3798.
  - 4) ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
  - 5) LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
  - 6) ALL PITS GREATER THAN 900mm DEEP ARE TO BE MINIMUM 900x900 CONCRETE PITS.
  - 7) OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS

**ISSUED FOR CONSTRUCTION**



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No.	DATE	DETAILS	BY
A	16.08.2021	ISSUED FOR CONSTRUCTION	C.A
P1	05.08.2021	ISSUED FOR PRELIMINARY REVIEW	C.A

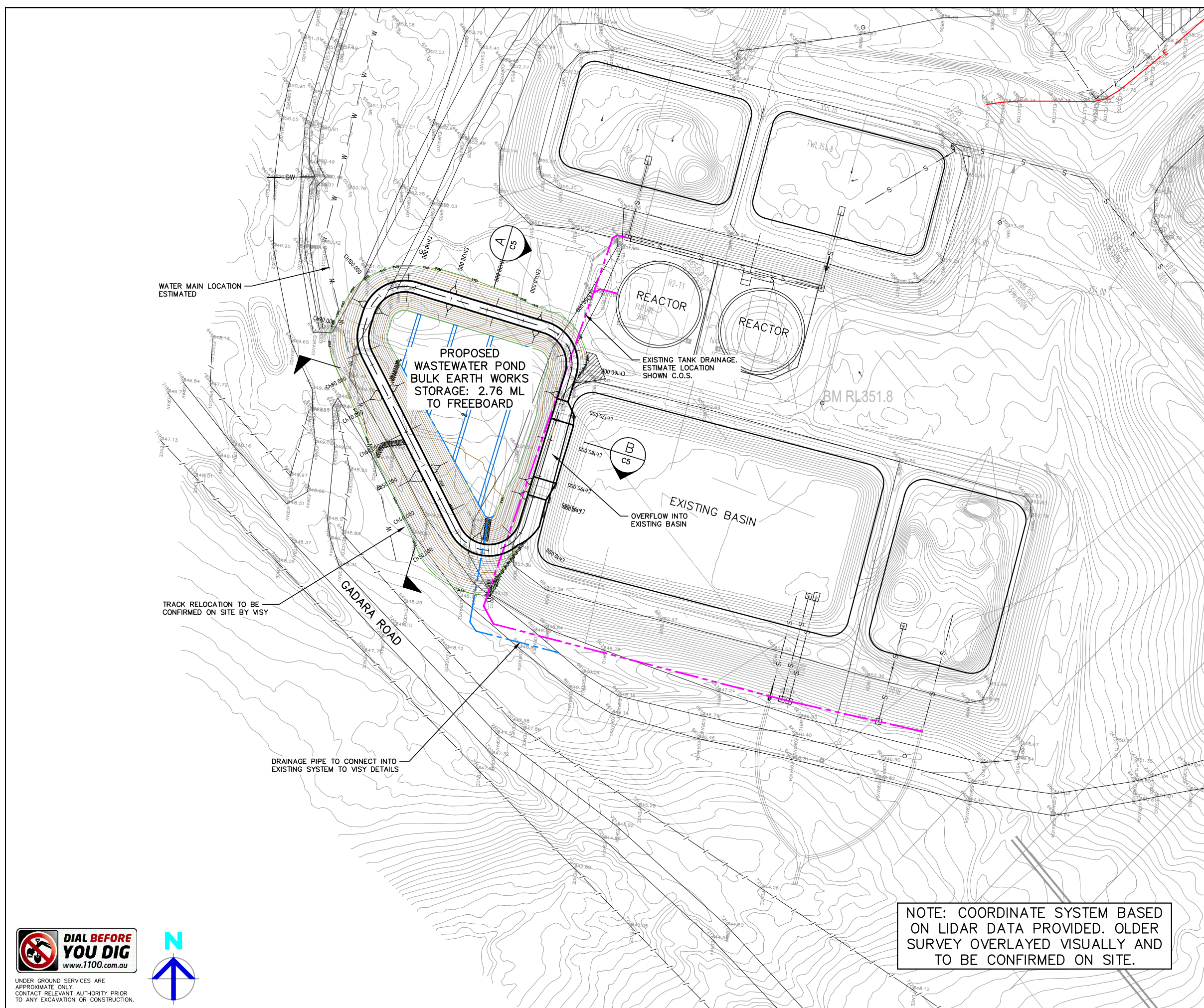


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A.C.N. 137 881 853

Project:  
**PROPOSED WASTEWATER POND BULK EARTH WORKS**  
VISY PULP & PAPER  
1302 SNOWY MOUNTAINS HIGHWAY  
TUMUT NSW 2720

Sheet Title: **EXISTING SITE PLAN**  
Client: VISY PULP & PAPER PTY LTD  
Scale: 1:500 (A1) 1:1000 (A3)  
Design: A.X Drawn: C.A Date: AUG 2021

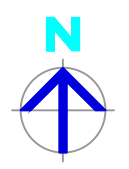
Project Number:  
**210473**  
Checked:  
Approved:  
Sheet Number: C1  
Revision Number: A  
Sheets in Set: 8



LEGEND	
MARK	ITEM
	900mm WIDE GEOGRID DRAINS AT 10m CTS
	PROPOSED STORMWATER LINE
	TANK DRAINAGE LINE
	EXISTING BUILDING
	EXISTING STORMWATER LINE
	EXISTING SEWER LINE
	EXISTING WATER MAIN
	EXISTING POWER LINE
	EXISTING FENCE LINE
	PROPOSED MAJOR CONTOURS AT 1.0m INCREMENTS
	PROPOSED MINOR CONTOURS AT 0.10m INCREMENTS

- NOTES**
- 1) CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
  - 2) DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURALS FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
  - 3) ALL EARTHWORKS TO COMPLY WITH AS3798.
  - 4) ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
  - 5) LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
  - 6) ALL PITS GREATER THAN 900mm DEEP ARE TO BE MINIMUM 900x900 CONCRETE PITS.
  - 7) OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS

**ISSUED FOR CONSTRUCTION**

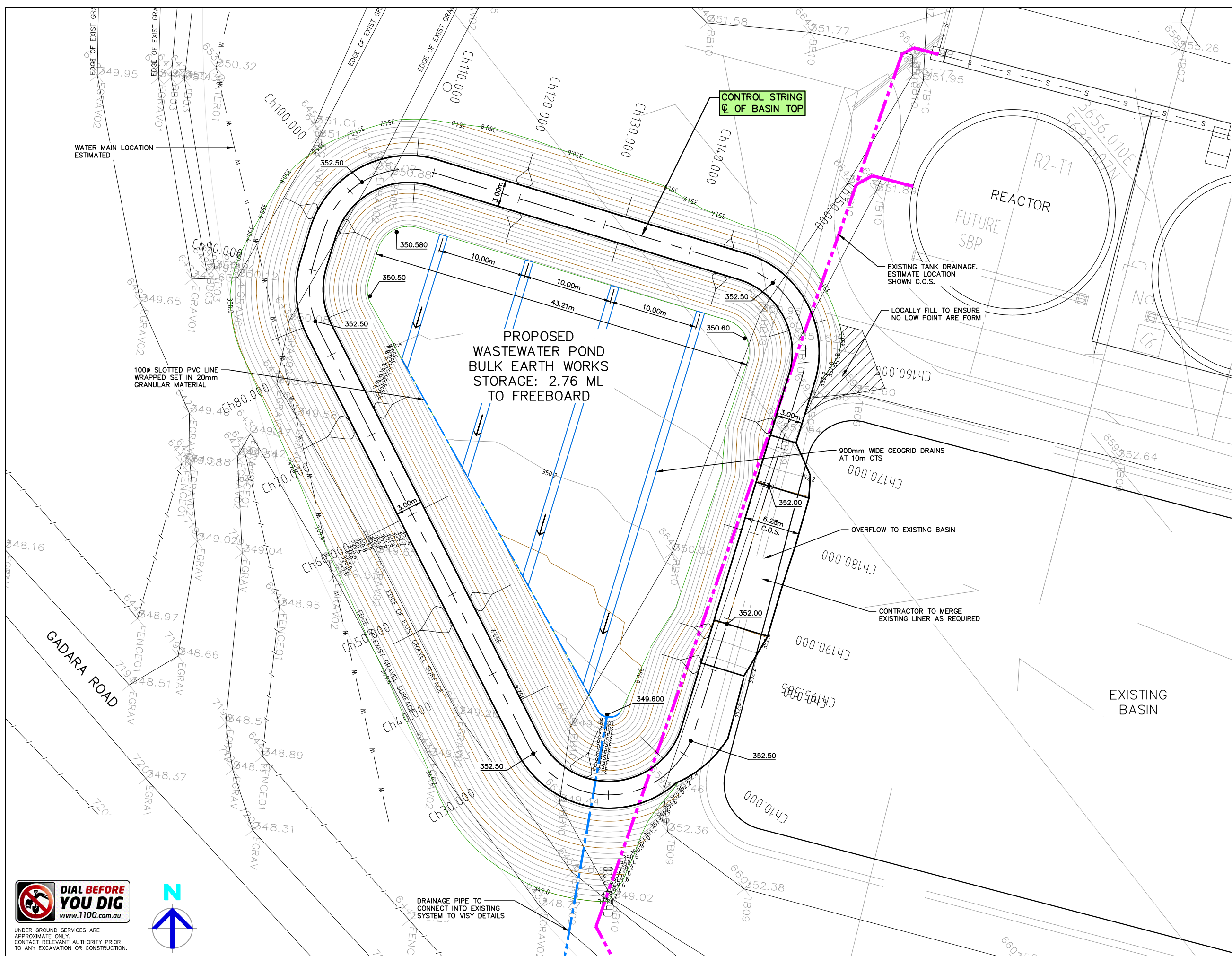


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A	16.08.2021	ISSUED FOR CONSTRUCTION	C.A
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Project: **PROPOSED WASTEWATER POND BULK EARTH WORKS VISY PULP & PAPER**  
 1302 SNOWY MOUNTAINS HIGHWAY TUMUT NSW 2720

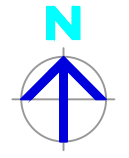
Sheet Title: <b>PROPOSED SITE PLAN</b>		Project Number: <b>210473</b>	
Client: <b>VISY PULP &amp; PAPER PTY LTD</b>	Checked:	Sheet Number: <b>C2</b>	Revision Number: <b>A</b>
Scale: <b>1:500 (A1) 1:1000 (A3)</b>	Approved:	Sheets in Set: <b>8</b>	
Design: <b>A.X</b>	Drawn: <b>C.A</b>	Date: <b>AIUG 2021</b>	



LEGEND	
MARK	ITEM
286.05	PROPOSED DESIGN LEVELS
[Blue dashed line]	900mm WIDE GEOGRID DRAINS AT 10m CTS
[Blue dashed line]	PROPOSED STORMWATER LINE
[Pink dashed line]	TANK DRAINAGE LINE
[Arrow]	PROPOSED DIRECTION OF FALL
[SW line]	EXISTING STORMWATER LINE
[S line]	EXISTING SEWER LINE
[W line]	EXISTING WATER MAIN
[Dashed line]	EXISTING FENCE LINE
[Orange line]	PROPOSED MAJOR CONTOURS AT 1.0m INCREMENTS
[Black line]	PROPOSED MINOR CONTOURS AT 0.10m INCREMENTS

- NOTES**
- 1) CONTRACTOR TO CONFIRM DEPTH AND LOCATION OF EXISTING SERVICES PRIOR TO EXCAVATION AND ORDERING MATERIALS.
  - 2) DO NOT SCALE OFF DRAWINGS. DRAWINGS ARE FOR ENGINEERING PURPOSES ONLY. REFER TO ARCHITECTURALS FOR SETOUT OF BUILDING AND RELEVANT REGULATORY PLANS FOR RELEVANT INFORMATION.
  - 3) ALL EARTHWORKS TO COMPLY WITH AS3798.
  - 4) ALL DRAINAGE AND PLUMBING WORKS TO COMPLY WITH AS3500.
  - 5) LEVELS ARE FINISHED PAVEMENT LEVELS AND NOT TOP OF KERB UNLESS NOTED OTHERWISE.
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  - 7) OVERLAND ESCAPE FLOW PATHS TO BE MAINTAINED FOR THE LIFE OF THE DEVELOPMENT. OBSTRUCTIONS ARE NOT TO BE PLACED IN THE OVERLAND ESCAPE FLOW PATH. MINIMUM 150mm TO BE PROVIDED FROM FLOOR LEVELS TO OVERLAND FLOW ESCAPE BREAK-OUT POINTS

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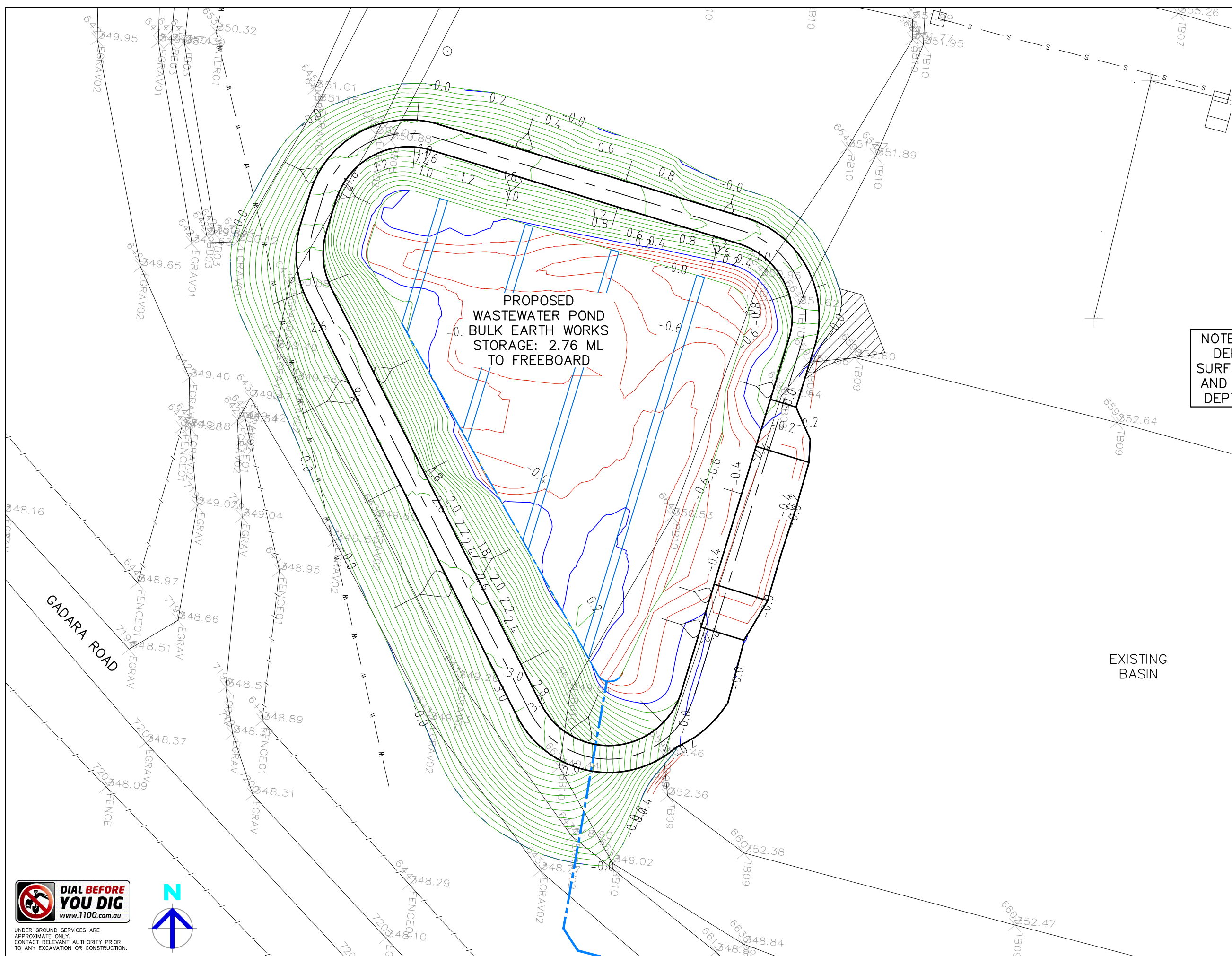
Project:  
**PROPOSED WASTEWATER POND BULK EARTH WORKS**  
VISY PULP & PAPER  
1302 SNOWY MOUNTAINS HIGHWAY  
TUMUT NSW 2720

Sheet Title: **LAYOUT PLAN**  
Client: VISY PULP & PAPER PTY LTD  
Scale: 1:200 (A1) 1:400 (A3)  
Design: A.X Drawn: C.A Date: AUG 2021

Project Number:  
**210473**  
Checked:  
Approved:  
Sheet Number: C3 Revision Number: A Sheets in Set: 8

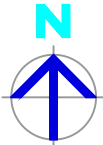
LEGEND	
MARK	ITEM
	INDICATES DEPTH OF CUT BELOW EXISTING GROUND LEVELS AT 0.2m INCREMENTS
	INDICATES NO CUT OR FILL
	INDICATES DEPTH OF FILL ABOVE EXISTING GROUND LEVELS AT 0.2m INCREMENTS
	900mm WIDE GEOGRID DRAINS AT 10m CTS
	PROPOSED STORMWATER LINE
	EXISTING SEWER LINE
	EXISTING WATER MAIN
	EXISTING FENCE LINE

NOTE: DEPTH CONTOURS INDICATE DEPTH OF PROPOSED FINISHED SURFACE ABOVE EXISTING SURFACE AND DO NOT TAKE INTO ACCOUNT DEPTH OF PAVEMENTS OR SLABS



- NOTES**
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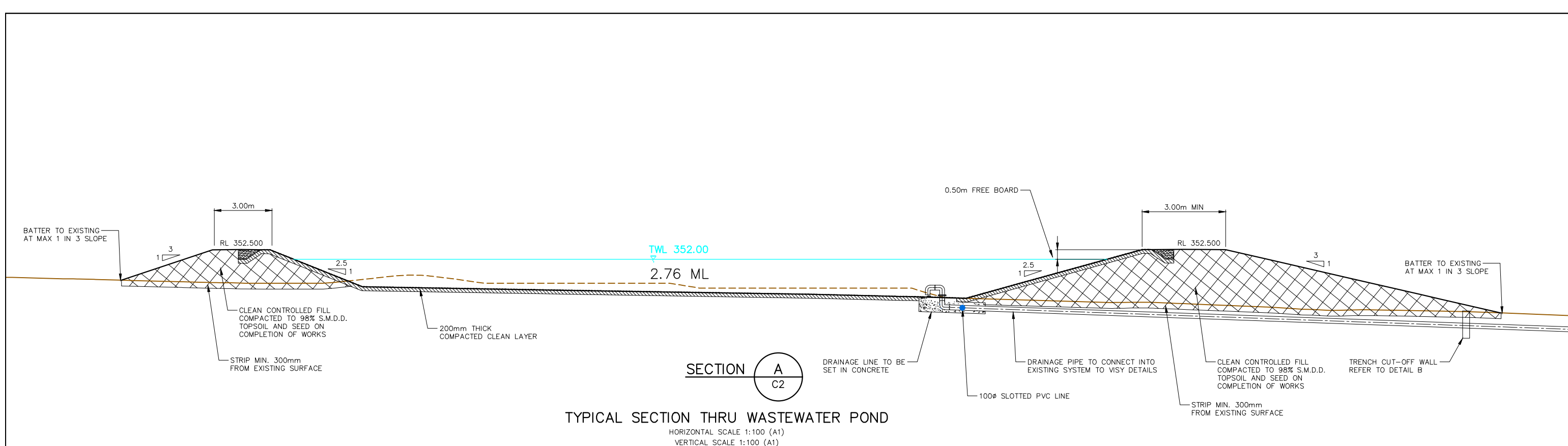
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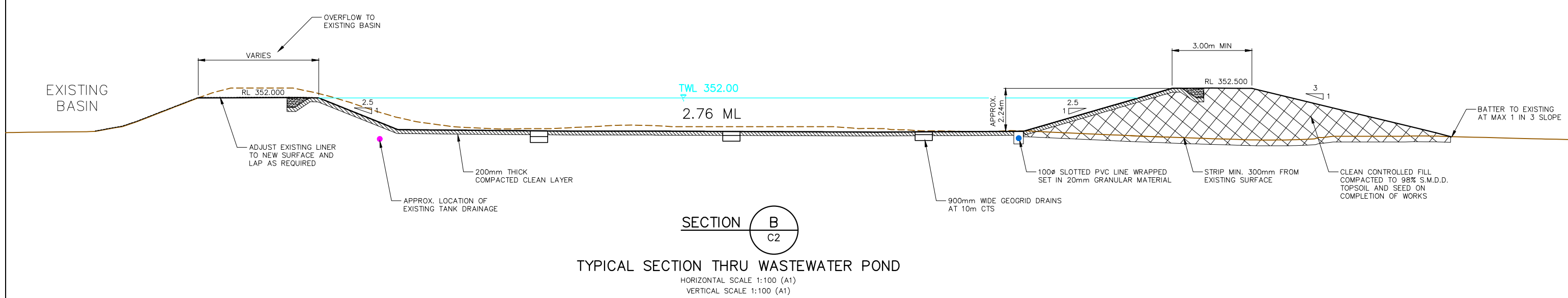
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Project:  
PROPOSED WASTEWATER POND BULK EARTH WORKS  
VISY PULP & PAPER  
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TUMUT NSW 2720

Sheet Title: DEPTH CONTOURS PLAN		
Client: VISY PULP & PAPER PTY LTD	Checked:	Project Number: 210473
Scale: 1:200 (A1) 1:400 (A3)	Approved:	Sheet Number: C4
Design: A.X	Drawn: C.A	Revision Number: A
Date: AUG 2021		Sheets in Set: 8



**SECTION A**  
C2  
**TYPICAL SECTION THRU WASTEWATER POND**  
HORIZONTAL SCALE 1:100 (A1)  
VERTICAL SCALE 1:100 (A1)



**SECTION B**  
C2  
**TYPICAL SECTION THRU WASTEWATER POND**  
HORIZONTAL SCALE 1:100 (A1)  
VERTICAL SCALE 1:100 (A1)



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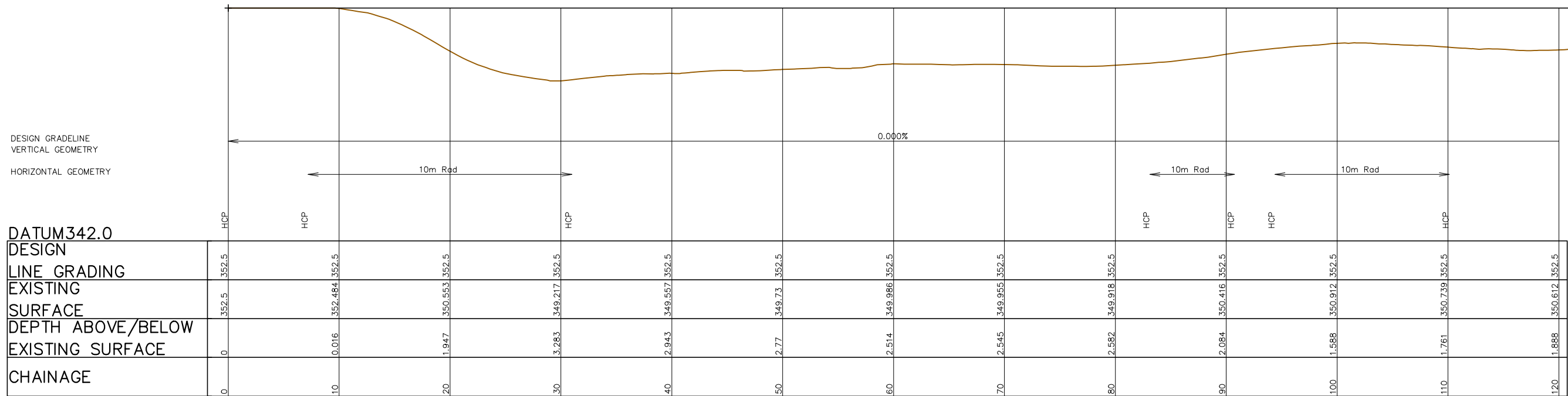


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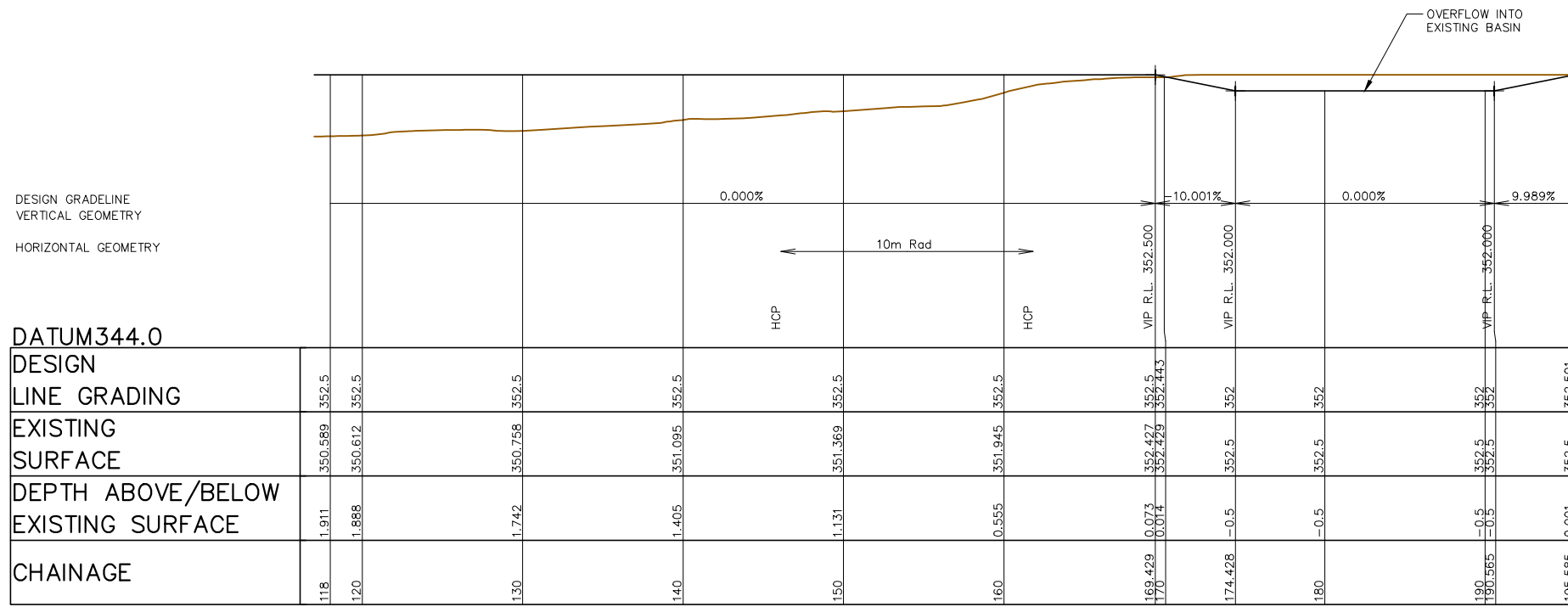
Sheet Title: **TYPICAL SECTIONS**  
Client: **VISY PULP & PAPER PTY LTD**  
Scale: **AS SHOWN**  
Design: **A.X** Drawn: **C.A** Date: **AIUG 2021**

Checked: \_\_\_\_\_  
Approved: \_\_\_\_\_  
Project Number: **210473**  
Sheet Number: **C5** Revision Number: **A** Sheets in Set: **8**



LONGITUDINAL SECTION – Basin Top

HORIZONTAL SCALE 1:200 (A1)  
VERTICAL SCALE 1:100 (A1)



LONGITUDINAL SECTION – Basin Top

HORIZONTAL SCALE 1:200 (A1)  
VERTICAL SCALE 1:100 (A1)



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Sheet Title: LONGITUDINAL SECTIONS  
Client: VISY PULP & PAPER PTY LTD  
Scale: AS SHOWN  
Design: A.X Drawn: C.A Date: AUG 2021

Project Number:  
**210473**  
Checked:  
Approved:  
Sheet Number: C6  
Revision Number: A  
Sheets in Set: 8

### CONCRETE NOTES:

1. WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS 3600 CONCRETE STRUCTURES AND CURRENT SAA CODES.

#### 2. CONCRETE CHARACTERISTICS:

ELEMENT	GRADE (MPa 28 DAYS)	SLUMP (mm)	MAX. AGG. (mm)	ADDITIVES
SLAB	N32	80	20	NIL

3. CONCRETE TO BE PLACED USING MECHANICAL VIBRATORS.

4. SLAB THICKNESS DO NOT INCLUDE FINISH.

5. REINFORCING BARS AND REINFORCING FABRIC TO BE IN ACCORDANCE WITH RESPECTIVE SAA CODES.

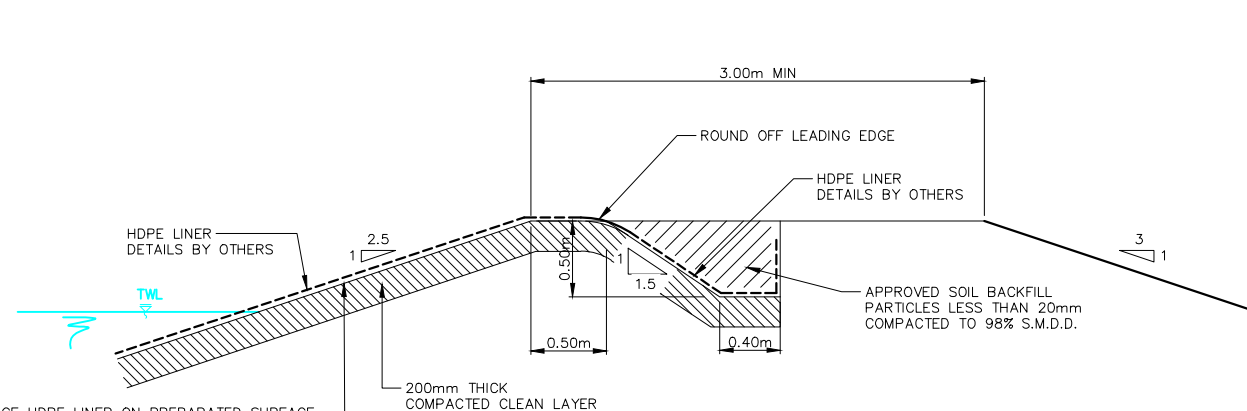
- (i) AS 1302 STEEL REINFORCING BARS FOR CONCRETE:
  - R DENOTES PLAIN ROUND STRUCTURAL GRADE BARS,  $f_{sy}=230MPa$
  - N DENOTES TEMPORARY STRUCTURAL GRADE DEFORMED BARS,  $f_{sy}=500MPa$
  - (ii) AS 1304 WELDED WIRE REINFORCING FABRIC FOR CONCRETE:
    - RF DENOTES HIGH TENSILE WELDED WIRE FABRIC,  $f_{sy}=500MPa$

6. CLEAR CONCRETE COVER TO REINFORCEMENT TO BE:

ELEMENT	COVER (mm)
SURFACES IN CONTACT WITH GROUND	
- WITHOUT MEMBRANE	50
- WITH MEMBRANE	30
SLAB	50
FOOTING	30
ABOVE GROUND INTERIOR	30
ABOVE GROUND EXTERIOR	30

7. MASONRY SUPPORTING SLABS TO HAVE 2 LAYERS ALCOR "SLIP JOINT" BETWEEN THE TWO SURFACES.

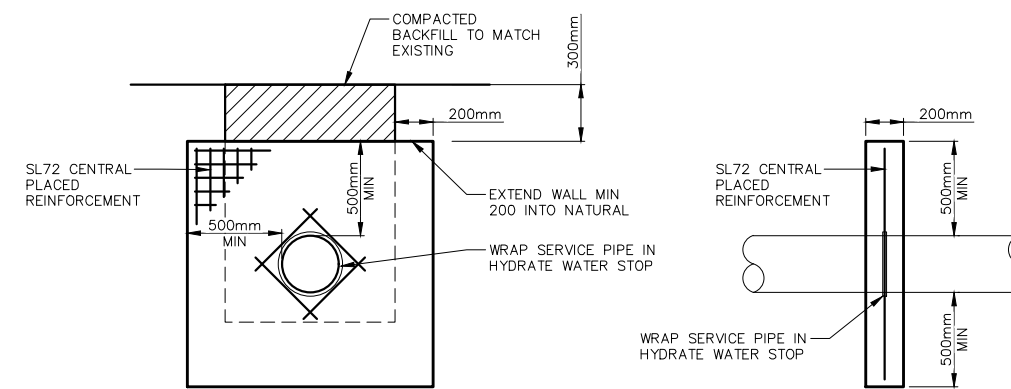
8. SLABS ABUTTING MASONRY OR CONCRETE TO HAVE 10mm ZIPPED ABELFLEX BETWEEN THE SURFACES AND ARE TO BE SEALED WITH NITOSEAL SC800 SEALANT OR EQUIVALENT



**DETAIL A**  
DETAILS OF HDPE  
LINER ANCHOR TRENCH

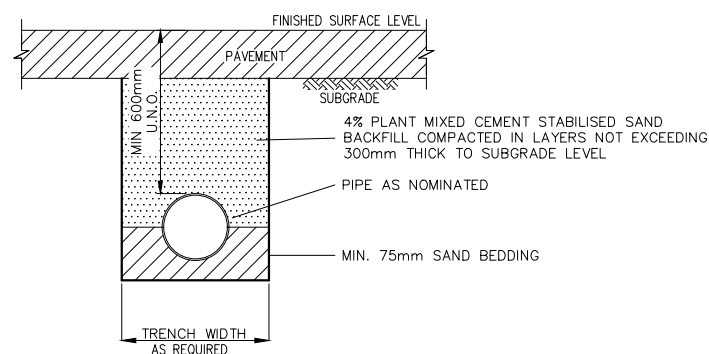
SCALE: 1:25 (A1) 1:50 (A3)

PLACE HDPE LINER ON PREPARED SURFACE IF SURFACE CONTAINS ROCK PIECES > 20mm OR IS OTHERWISE CONSIDERED UNSUITABLE TO TAKE HDPE LINER A GEOFABRIC PROTECTIVE COVER WILL BE REQUIRED THE ENGINEER OR SUPERINTENDENT MUST APPROVE THE SURFACE BEFORE HDPE IS PLACED.

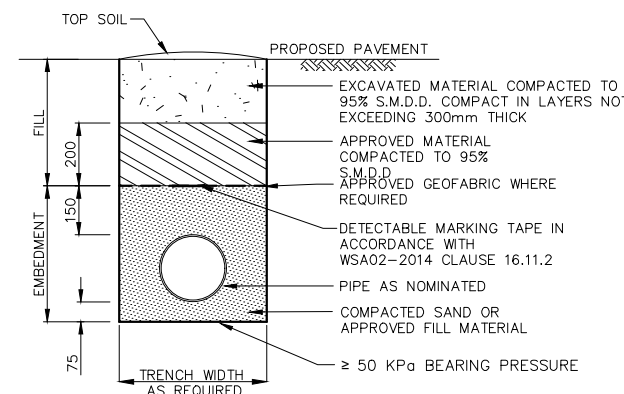


**DETAIL B**  
SERVICE CUT-OFF WALL DETAIL

SCALE: 1:20 (A1) 1:40 (A3)



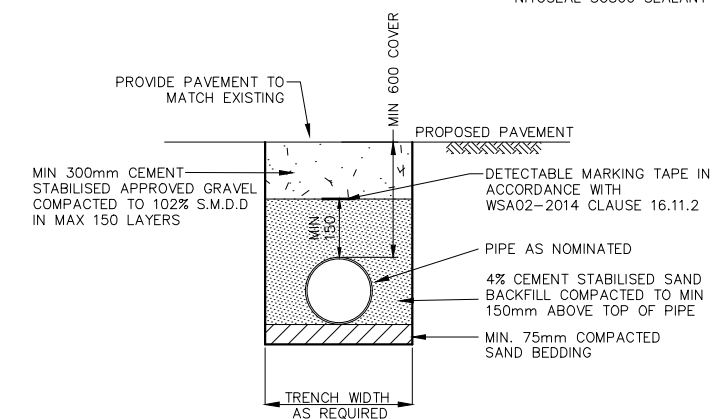
**DETAIL C**  
STORMWATER PIPELINE BACKFILL  
FOR PIPES UNDER ROADS



**DETAIL E**  
BACKFILL DETAIL FOR SEWER  
PIPELINE IN OTHER AREAS

- NOTES:
- BACKFILLING OF TRENCHES AS PER AS3798 AND WSA02-2014
  - IF BENCHING IS USED EXCAVATION MUST NOT EXCEED THE WIDTH OF THE EASEMENT.
  - TRENCH COMPACTION TEST FREQUENCY TO BE IN ACCORDANCE WITH WSA02-2014 CLAUSE 21.3. MINIMUM 2 TESTS PER LOT
  - ALTERNATE TRENCH DESIGNS AS APPROVED BY WASTE AND STORMWATER MANAGER AND XEROS PICCOLO
  - DETAIL AS PER WWCC ENGINEERING GUIDELINES DRAWING EDS.05.07

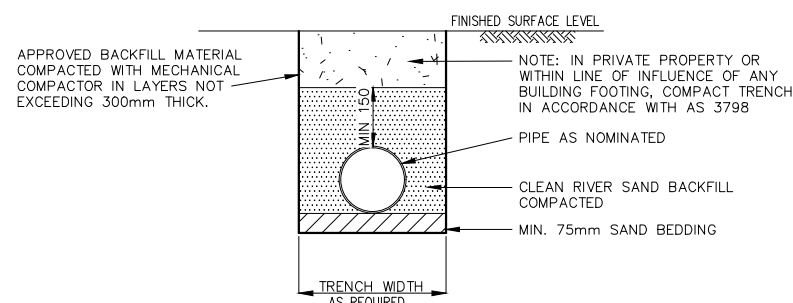
N.T.S.



**DETAIL F**  
BACKFILL FOR SEWER  
PIPES UNDER ROADS

- NOTES:
- BACKFILLING OF TRENCHES AS PER AS3798 AND WSA02-2014
  - IF BENCHING IS USED EXCAVATION MUST NOT EXCEED THE WIDTH OF THE EASEMENT.
  - TRENCH COMPACTION TEST FREQUENCY TO BE IN ACCORDANCE WITH WSA02-2014 CLAUSE 21.3. MINIMUM 2 TESTS PER LOT
  - ALTERNATE TRENCH DESIGNS AS APPROVED BY WASTE AND STORMWATER MANAGER AND XEROS PICCOLO
  - DETAIL AS PER WWCC ENGINEERING GUIDELINES DRAWING EDS.05.08

N.T.S.



**DETAIL D**  
TRENCH BACKFILL FOR PIPELINE  
IN NON-TRAFFICABLE AREAS



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Project:  
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TUMUT NSW 2720

Sheet Title: DETAILS		Project Number: 210473	
Client: VISY PULP & PAPER PTY LTD	Checked:	Sheet Number: C7	Revision Number: A
Scale: 1:20 (A1) 1:40 (A3) OR AS SHOWN	Approved:	Sheets in Set: 8	
Design: A.X	Drawn: C.A	Date: AUG 2021	

## SITE MANAGEMENT NOTES

- CONTRACTOR TO PLAN DAYS ACTIVITIES TO ENSURE THAT TRENCHES EXCAVATED ARE BACKFILLED ON THE SAME DAY AND THE FINISHED SURFACE TOPSOILED AND SEEDED ETC AS SPECIFIED. CONTRACTOR TO ENSURE THAT ALL TRENCHES ARE WHEEL ROLLED TO PREVENT SETTLEMENT
- WORKS THAT DON'T COMPLY WITH THE LAND AND WATER MANAGEMENT PLAN MAY RESULT IN A STOP WORK ORDER ON THE PROJECT. THIS STOP WORK ORDER WILL NOT BE LIFTED UNTIL THE NOMINATED WORKS HAVE BEEN RECTIFIED. NO EXTENSION TO THE CONTRACT PERIOD WILL BE ALLOWED FOR FOLLOWING THE STOP WORK ORDER.
- IF SITE CONDITIONS ARE SUCH THAT VEHICLE MOVEMENTS WILL DAMAGE THE EXISTING LAND COVER, REFER TO THE SUPERINTENDENT FOR INSTRUCTION.
- ALL DISTURBED AREAS TO HAVE 75 MIN TOPSOIL. IF COMPACTED, RIP TO LOOSEN AND SEED AS SPECIFIED.
- WHERE CONTRACTOR DISTURBS AREAS WHICH ARE NOT REQUIRED FOR THE EXECUTION OF THE WORKS, THE CONTRACTOR WILL STABILIZE THE AREAS AT HIS OWN COST TO THE SATISFACTION OF THE SUPERINTENDENT. LIMIT OF WORKS 3m FROM BATTER LINE OR 5m FROM PIPE TRENCH.
- EROSION CONTROL
  - CONTRACTOR TO CONSIDER POTENTIAL FUTURE EROSION PROBLEMS IN ALL STAGES OF WORKS. IF THERE IS A POTENTIAL PROBLEM THAT HAS NOT ALREADY BEEN ACCOUNTED FOR, XEROS PICCOLO CONSULTING ENGINEERS ARE TO BE CONTACTED
  - VEGETATION TO BE PRESERVED AS MUCH AS POSSIBLE. WHERE SEEDLINGS ARE GROWING ON STEEP BATTERS PROVIDE MULCHES TO CONSERVE MOISTURE AND PROMOTE GROWTH.
  - PROVIDE SILT FENCES OR STRAW BALES AS SHOWN ON PLANS OR AS NOMINATED BY THE SUPERINTENDENT
  - SILT FENCES TO BE MOVED DURING CONSTRUCTION TO SUIT LOCATION OF CURRENT WORKS
- TOPSOIL STOCKPILES SITES TO BE SEEDED WITH PERENNIAL RYE GRASS AT 25KG/HA AND RYE CORN AT 5KG/HA TO PREVENT SOIL MIGRATION.
- ALL COMPLETED BATTERS, SWALE DRAINS, DEFLECTION BANKS ETC TO BE LIGHTLY RIPPED 50mm DEEP, COVERED WITH 75 MIN TOPSOIL AND SEEDED AS SPECIFIED. ON COMPLETION PROVIDE 1 PASS WITH PAD FOOT ROLLER.
- AS ASPECTS OF WORK ARE COMPLETED, TOPSOIL AND SEED AS DETAILED WITHIN 3 WORKING DAYS
- SURPLUS SPOIL STOCKPILE LOCATION TO BE DETERMINED ON SITE.

## CONSTRUCTION SEQUENCE

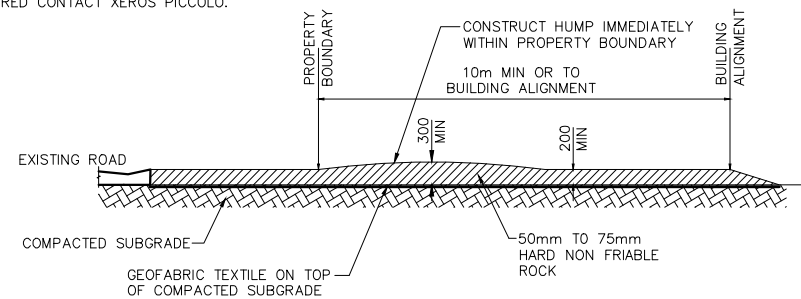
- BEFORE/DURING STRIPPING OF TOPSOIL
  - CONSTRUCT DEFLECTION BANKS AROUND TOPSOIL STOCKPILE AND ASSOCIATED SILT FENCES.
  - CONSTRUCT 200 HIGH PUSH UP BANKS AND ASSOCIATED SILT FENCES.
- CONSTRUCTION OF 300 HIGH DEFLECTION BANKS AND BUNDING FORMED FROM BULK EARTHWORKS AND ASSOCIATED SILT FENCES CONSTRUCTED AS DETAILED.
- STOCKPILE TO BE SEEDED AS SPECIFIED WITHIN 7 WORKING DAYS.
- AFTER CONSTRUCTION OF DRAINAGE LINES DISTURBED AREAS TO BE RECTIFIED AS DETAILED WITHIN 7 DAYS OF BACKFILLING.
- REMOVABLE STRAW BALE SILT FENCE TO BE AVAILABLE ON SITE FOR PROTECTION OF THE SITE IF RAIN IMMINENT.
- SERVICES TO BE INSTALLED PRIOR TO TOPSOILING AND SEEDING OF BATTERS AND FOOTPATHS.

## REHABILITATION & REGENERATION NOTES

- PREPARE AREA TO BE REHABILITATED AND REGENERATED AS PER SPECIFICATIONS
- AREAS SHOULD BE RESHAPED TO BLEND IN WITH NATURAL LANDSCAPE AS MUCH AS POSSIBLE. STABILIZE WHERE REQUIRED
  - SITE TO BE SHAPED TO BE FREE DRAINING WHERE POSSIBLE.
  - TYNE COMPACTED AREAS TO IMPROVE 'ROUGHNESS' AT THE SEED BED IN PREPARATION FOR TOPSOIL. DEEP RIPPING MAY BE REQUIRED FOR HARD PAVEMENTS.
  - REDUCE ALL SLOPES TO A GRADIENT OF 1:3 OR LESS. BENCH IN THE AREAS WHERE SLOPE LENGTHS EXCEED 15m. WHERE BENCHING IS NOT PRACTICAL PROVIDE CONTOUR BANK MIN 500mm HIGH.
  - SPREAD TOP SOIL AND LEAVE WITH ROUGH SURFACE. CARE TO BE TAKEN TO ENSURE THAT TOP SOIL IS NOT TOO WET AS THIS WILL NOT PERFORM ADEQUATELY.
  - IF ADDITIONAL CHUTES ARE REQUIRED CONTACT XEROS PICCOLO.



UNDER GROUND SERVICES ARE APPROXIMATE ONLY. CONTACT RELEVANT AUTHORITY PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



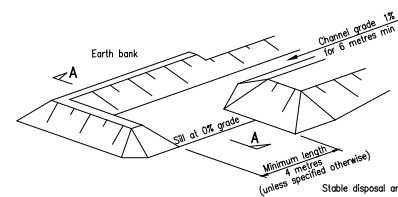
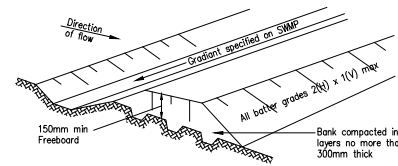
STABILIZED ACCESS POINT SD 6-14

## SEEDING NOTES

- SEEDING TO PROVIDED AS SPECIFIED ON PLANS
- SEED IS TO BE PLANTED AS PER STANDARD PRACTICE IN REGARDS TO WATERING AND PLANTING SEASON. USE HIGH QUALITY SEEDS THAT DON'T CONTAIN NOXIOUS WEEDS.
- CONTRACTOR TO TAKE INTO ACCOUNT SEASON AND WEATHER PRIOR TO SEEDING TO ALLOW SEED THE BEST OPPORTUNITY TO GERMINATE.
- ALL DISTURBED AREAS THAT ARE NOT BEING USED FOR A TRACK OF OTHER PURPOSES ARE TO BE TOPSOILED AND SEEDED.
- PREPARE A SMOOTH SEEDBED AND APPROX. 75mm - 100mm OF TOPSOIL. GRADE SMOOTHLY TO REMOVE IRREGULARITIES AND FOOT PRINTS. SEED, FERTILIZE AND WATER.
- WATERING SHOULD START IMMEDIATELY AFTER PLANTING. WATERING SHOULD COMPLY WITH SPECIFICATIONS SUPPLIED WITH APPROVED SEED. WATERING SHOULD VARY DEPENDING ON WEATHER, SEASON AND SOIL CONDITIONS. BUT AS A MINIMUM THE FOLLOWING SHOULD BE DONE.
  - 25mm EVERY SECOND DAY FOR THE FIRST THREE WATERINGS
  - 25mm TWICE A WEEK FOOR THE NEXT THREE WEEKS
  - 25mm OUNCE WEEKLY FOR A FURTHER TWO WEEKS.
- IF BATTER SLOPE OF DISTURBED AREA IS 1 IN 4 OR GREATER PROVIDE JUTE LINING. ALL DEDICATED DRAINAGE PATHS SHALL BE JUTE LINED. REFER JUTE LINING NOTES AND DETAILS

## TURFING NOTES

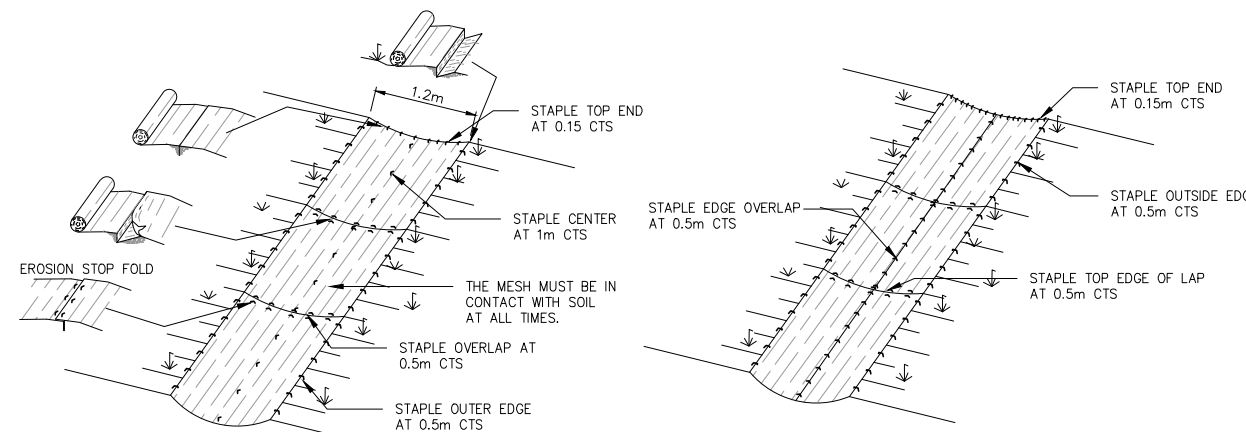
- TURFING TO BE PROVIDED AS SPECIFIED ON PLANS
- PREPARATION
  - REMOVE ANY EXISTING TURF, WEEDS AND DEBRIS FROM ALL AREAS TO BE TURFED. CULTIVATE EXISTING SUBGRADE TO 100mm DEPTH
- TOPSOIL
  - ALL TOPSOIL SHALL COMPLY WITH AS4419 'SOILS FOR LANDSCAPING AND GARDEN USE'.
  - TOPSOIL SHALL BE A SOIL BLEND WITH MAX. 30% SCREENED COMPOSTED ORGANIC MATTER, HYDRAULIC CONDUCTIVITY 15-30cm/hr. PH RANGE TO BE 5-6.5.
  - AFTER APPROVAL OF THE PROPOSED TOPSOIL, DEPOSIT AND SPREAD TOPSOIL TO ACHIEVE 100mm THICKNESS TO ALL DISTURBED AREAS
- TURFING
  - TURF SHALL BE 'KIKUYU' UNLESS OTHERWISE DIRECTED BY A LANDSCAPE ARCHITECT OR SUPERINTENDENT. TURF SHALL BE 'A' GRADE, TYPICAL OF THE SPECIES, FREE FROM ALL PESTS, DISEASES, WEEDS AND OTHER PLANT MATTER.
  - TURF SHALL BE GUARANTEED FREE FROM NUT GRASS, 'CYPERUS ROTUNDUS'.
  - TURF SHALL BE CUT TO A MINIMUM 25mm THICK IN LONG 300m WIDE STRIPS.
- LAYING
  - LAY PIECES OF TURF IN STRAIGHT LINES RUNNING PERPENDICULAR TO THE SLOPE, WITH CROSS JOINTS STAGGERED, AND CLOSE BUTTING.
  - LAY TURF WITH AN EVEN GRADIENT, FREE FROM LUMPS AND DEPRESSIONS AND NOT ABLE TO POND WATER. ENSURE THAT NEW TURF FINISHES FLUSH WITH EXISTING GRASS OR TURF.
  - TAMP DOWN AND FILL ALL JOINTS WITH TOP DRESSING. TOP DRESSING IS TO BE PIT SAND TO COMPLY WITH AS 4419. SPREAD SAND EVENLY OVER SURFACE OF GRASS IN LAYERS OF NOT MORE THAN 10mm. DO NOT BURY GRASS.
- TOP DRESSING
  - WHEN TURFED AREAS HAVE BECOME ESTABLISHED AND IMMEDIATELY AFTER THE FIRST CUT, TOP DRESS TURF WITH 10mm LAYER OF TOP DRESSING TO AS4419.
  - DO NOT TOP DRESS DURING WINTER MONTHS UNLESS DIRECTED BY SUPERINTENDENT
- PROTECTION - ALL NEW TURF SHALL BE PROTECTED FROM TRAMPLING BY THE ERECTION OF BARRIERS.



LEVEL SPREADER (OR SILL)

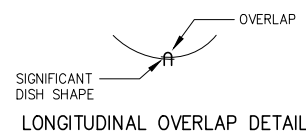
## JUTE LINING NOTES

- JUTE LINING TO BE PROVIDED AS SPECIFIED ON PLANS
- CONTRACTOR TO COMPLY WITH ALL MANUFACTURES REQUIREMENTS OF THE SELECTED PRODUCT BUT MUST MEET THE BELOW REQUIREMENTS AS A MINIMUM.
- REFER TO APPROVED PLANS AND NOTES FOR THE LOCATION AND EXTENT OF WORKS REQUIRED.
- SOIL SURFACE IRREGULARITIES AND ROCKS ON SURFACE ARE TO BE REMOVED.
- PREPARE A SMOOTH SEEDBED AND APPROX. 75mm OF TOPSOIL. GRADE SMOOTHLY TO REMOVE IRREGULARITIES AND FOOT PRINTS. COMPLETE ALL SEEDING, FERTILIZING AND WATERING PRIOR TO LAYING MATTING
- PREFERABLY STARTING AT THE DOWN STREAM END, ALIGN FABRIC ROLLS IN THE DIRECTION OF THE FLOW. IF THE AREA IS SUBJECT TO MULTIPLE FLOWS, ALIGN WITH DOMINANT FLOW.
- WHEN SPREADING THE FABRIC DO NOT STRETCH THE TEXTILE MESH. THE BLANKETS MUST BE IN GOOD CONTACT WITH GROUND AT ALL POINTS.
- FABRIC BLANKETS TO BE STAPLED AT 1m CTS IN EXPOSED AREAS AND 0.5m CTS ALONG ALL EDGES
- THE UPSTREAM END OF TOP MOST SHEETS SHALL BE PLACED IN A 300mm DEEP TRENCH, STAPLED AT 0.15m CTS, BURIED AND TAMPED. REFER DETAIL
- MINIMUM EVERY THIRD SHEET TO BE PLACED IN A 300mm DEEP TRENCH, STAPLED AT 0.15m CTS, BURIED AND TAMPED. REFER DETAIL
- OVERLAP ENDS BY 300mm WITH THE UPSTREAM SHEET PLACED OVER THE DOWNSTREAM SHEET. STAPLE AT 0.5m CTS
- STAPLES SHOULD BE A "U" SHAPE 8 GAUGE WIRE 100mm WIDE WITH 150-300mm PENETRATION LENGTH
- WHEREVER THE BLANKET DOES NOT TOUCH THE GROUND ADDITIONAL STAPLES MUST BE PLACED.

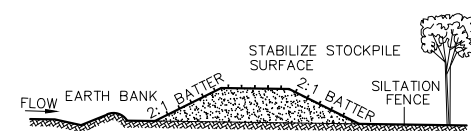


SINGLE LAYER

MULTIPLE LAYERS



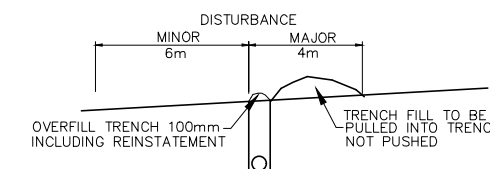
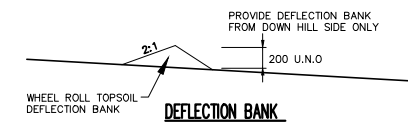
JUTE LINING DETAIL



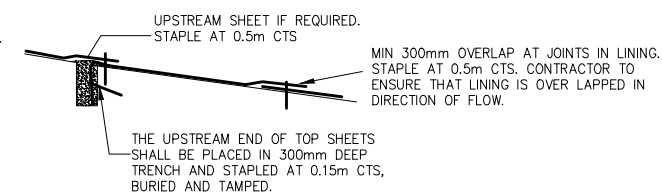
STOCKPILE SD 4-1

## CONSTRUCTION NOTES

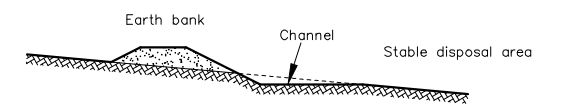
- LOCATE STOCKPILE AT LEAST 5 METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOWS, ROADS & HAZARD AREAS.
- CONSTRUCT ON THE CONTOUR AS A LOW, FLAT, ELONGATED MOUND.
- WHERE THERE IS SUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
- REHABILITATE IN ACCORDANCE WITH THE SWMP/ESCP.
- CONSTRUCT EARTH BANK (STANDARD DRAWING 5-2) ON THE UPSLOPE SIDE TO DIVERT RUN OFF AROUND THE STOCKPILE & A SEDIMENT FENCE (STANDARD DRAWING 6-8) 1 TO 2 METRES DOWNSLOPE OF STOCKPILE.



TRENCH DISTURBANCE



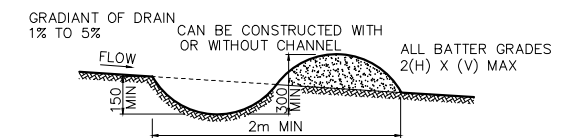
TRANSVERSE OVERLAP DETAIL



SECTION A-A  
EARTH BANK(HIGH FLOW) SD 5-3  
FOR CATCHMENT > 2ha

## CONSTRUCTION NOTES

- CONSTRUCT ALONG GRADIENT AS SPECIFIED.
- AVOID REMOVING TREES & SHRUBS IF POSSIBLE.
- DRAINS TO BE OF PARABOLIC OR TRAPEZOIDAL CROSS SECTION AS OPPOSED TO V-SHAPE.
- EARTH BANKS TO BE ADEQUATELY COMPACTED IN ORDER TO PREVENT FAILURE.
- PERMANENT OR TEMPORARY STABILISATION OF THE EARTH BANK TO BE COMPLETED WITHIN 10 DAYS OF CONSTRUCTION.
- ALL OUTLETS FROM DISTURBED LANDS ARE TO FEED INTO A SEDIMENT BASIN OR SIMILAR.
- DISCHARGE RUNOFF COLLECTED FROM UNDISTURBED LANDS ONTO EITHER A STABILISED OR AN UNDISTURBED DISPOSAL SITE WITHIN THE SAME SUBCATCHMENT AREA FROM WHICH THE WATER ORIGINATED
- COMPACT BANK WITH A SUITABLE IMPLEMENT IN SITUATIONS WHERE THEY ARE REQUIRED TO FUNCTION FOR MORE THAN FIVE DAYS.
- EARTH BANKS TO BE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT WILL IMPEDE NORMAL FLOW.

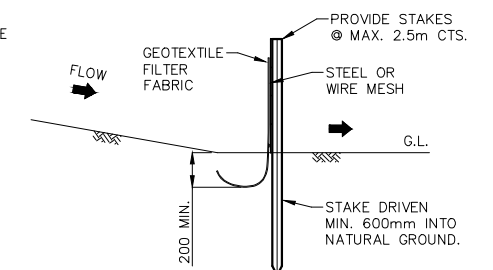


NOTE: ONLY TO BE USED AS TEMPORARY BANK WHERE MAXIMUM UPSLOPE LENGTH IS 80 METRES

EARTH BANK(LOW FLOW) SD 5-5  
FOR CATCHMENT < 2ha

## CONSTRUCTION NOTES

- CONSTRUCT WITH GRADIENT OF 1 PER CENT TO 5 PER CENT.
- AVOID REMOVING TREES & SHRUBS IF POSSIBLE.
- DRAINS TO BE OF CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS SECTION NOT V-SHAPED.
- EARTH BANKS TO BE ADEQUATELY COMPACTED IN ORDER TO PREVENT FAILURE.
- PERMANENT OR TEMPORARY STABILISATION OF THE EARTH BANK TO BE COMPLETED WITHIN 10 DAYS OF CONSTRUCTION.
- ALL OUTLETS FROM DISTURBED LANDS ARE TO FEED INTO A SEDIMENT BASIN OR SIMILAR.
- DISCHARGE RUNOFF COLLECTED FROM UNDISTURBED LANDS ONTO EITHER A STABILISED OR AN UNDISTURBED DISPOSAL SITE WITHIN THE SAME SUBCATCHMENT AREA FROM WHICH THE WATER ORIGINATED
- COMPACT BANK WITH A SUITABLE IMPLEMENT IN SITUATIONS WHERE THEY ARE REQUIRED TO FUNCTION FOR MORE THAN FIVE DAYS.
- EARTH BANKS TO BE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT WILL IMPEDE NORMAL FLOW.



TYP. SEDIMENT CONTROL FENCE DETAIL SD 6-8

NOTE: THE FOLLOWING CONDITIONS MUST NOT BE EXCEEDED WITHIN THE CONTRIBUTING AREA:  
DRAINAGE AREA = 0.6ha  
SLOPE GRADIENT = 1:2  
SLOPE LENGTH = 60m

ISSUED FOR CONSTRUCTION

No.	DATE	DETAILS	BY
A	16.08.2021	ISSUED FOR CONSTRUCTION	C.A
P1	05.08.2021	ISSUED FOR PRELIMINARY REVIEW	C.A



5 BYE STREET  
WAGGA WAGGA, NSW, 2650  
P (02) 6925 5855  
F (02) 6925 5655  
E WAGGA@XEROSPICCOLO.COM.AU  
A.C.N. 137 881 853

Project:  
PROPOSED WASTEWATER POND BULK EARTH WORKS  
VISY PULP & PAPER  
1302 SNOWY MOUNTAINS HIGHWAY  
TUMUT NSW 2720

Sheet Title: SEDIMENT AND EROSION CONTROL DETAILS		Project Number: 210473	
Client: VISY PULP & PAPER PTY LTD	Checked:		
Scale: 1:250 (A1) 1:500 (A3)	Approved:		
Design: A.X	Drawn: C.A	Date: AIUG 2021	
Sheet Number: C8	Revision Number: A	Sheets in Set: 8	

# **Appendix B**

**Consultation materials**



Matthew O'Donovan &lt;matthew.o'donovan@visy.com.au&gt;

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**RE: Visy Pulp and Paper Mill - New and additional storage for operations(PMA-25264294) - Application Received**

1 message

---

**David Koppers** <David.Koppers@planning.nsw.gov.au>  
To: Matthew O'Donovan <matthew.o'donovan@visy.com.au>

Mon, Aug 23, 2021 at 9:27 AM

Hi Matt

Following on from our chat last week I have attached some comments from my high level review of the Statement of Environmental Effects that will need to be addressed before the Department will accept formal lodgement of the modification.

Could you please forward me an updated copy of the submission package when it is available for review?

Happy to discuss any of my comments, hopefully they are self explanatory.

Regards

David

---

**From:** Matthew O'Donovan <matthew.o'donovan@visy.com.au>  
**Sent:** Wednesday, 18 August 2021 8:25 AM  
**To:** David Koppers <David.Koppers@planning.nsw.gov.au>  
**Subject:** Re: Visy Pulp and Paper Mill - New and additional storage for operations(PMA-25264294) - Application Received

Hi David,

Thank you for that. I'm tied up in meetings this morning, but I'll give you a call mid afternoon, around 2pm if that suits.

Regards,

Matt

On Wed, Aug 18, 2021 at 8:15 AM David Koppers <David.Koppers@planning.nsw.gov.au> wrote:

Hi Matt

I am free pretty much all day today after about 10am if you would like to give me a call when it suits?

Regards

**David Koppers**  
**Senior Environmental Assessment Officer**

Industry Assessments | Department of Planning, Industry and Environment  
T 02 9373 2869 | E [david.koppers@planning.nsw.gov.au](mailto:david.koppers@planning.nsw.gov.au)

4 Parramatta Square, [12 Darcy Street](#) | Locked Bag 5022 | Parramatta NSW 2124  
[www.dpie.nsw.gov.au](http://www.dpie.nsw.gov.au)



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Industry &  
Environment

*The Department of Planning, Industry and Environment acknowledges that it stands on Aboriginal land. We acknowledge the traditional custodians of the land and we show our respect for elders past, present and emerging through thoughtful and collaborative approaches to our work, seeking to demonstrate our ongoing commitment to providing places in which Aboriginal people are included socially, culturally and economically.*



Please consider the environment before printing this e-mail.

---

**From:** Matthew O'Donovan <[matthew.o'donovan@visy.com.au](mailto:matthew.o'donovan@visy.com.au)>  
**Sent:** Wednesday, 18 August 2021 8:13 AM  
**To:** Joanna Bakopanos <[Joanna.Bakopanos@planning.nsw.gov.au](mailto:Joanna.Bakopanos@planning.nsw.gov.au)>  
**Cc:** Syam Krishna <[syam.krishna@visy.com.au](mailto:syam.krishna@visy.com.au)>; Daniel Mees <[Daniel.Mees@ghd.com](mailto:Daniel.Mees@ghd.com)>; Lisa King <[Lisa.King@ghd.com](mailto:Lisa.King@ghd.com)>; David Koppers <[David.Koppers@planning.nsw.gov.au](mailto:David.Koppers@planning.nsw.gov.au)>  
**Subject:** Re: Visy Pulp and Paper Mill - New and additional storage for operations(PMA-25264294) - Application Received

Hi Joanna,

Thank you for getting back to me. That sounds good.

Regards,

Matt

On Tue, Aug 17, 2021 at 5:30 PM Joanna Bakopanos <[Joanna.Bakopanos@planning.nsw.gov.au](mailto:Joanna.Bakopanos@planning.nsw.gov.au)> wrote:

Hi Matt,

Thank you for your email. I can see a request has come in to our system.

Before an application is lodged, the first step is to determine whether a scoping meeting needs to be held. It might be worthwhile setting up a short meeting so you can discuss what is being proposed.

I have allocated the project to David who will be in contact with you to set something up.

Regards

Joanna

**Joanna Bakopanos**

Team Leader, Industry Assessments

Planning and Assessment

Level 17, 4 Parramatta Square, [12 Darcy Street](#) | Locked Bag 5022 | Parramatta NSW 2124  
T 02 9274 6387 Service Centre: 1300 305 695

E: [joanna.bakopanos@planning.nsw.gov.au](mailto:joanna.bakopanos@planning.nsw.gov.au)

*Please note, I do not work Wednesdays*



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Industry &  
Environment

*The Department of Planning, Industry and Environment acknowledges that it stands on Aboriginal land. We acknowledge the traditional custodians of the land and we show our respect for elders past, present and emerging through thoughtful and collaborative approaches to our*

*work, seeking to demonstrate our ongoing commitment to providing places in which Aboriginal people are included socially, culturally and economically.*

**From:** Matthew O'Donovan <[matthew.o'donovan@visy.com.au](mailto:matthew.o'donovan@visy.com.au)>  
**Sent:** Tuesday, 17 August 2021 3:37 PM  
**To:** Joanna Bakopanos <[Joanna.Bakopanos@planning.nsw.gov.au](mailto:Joanna.Bakopanos@planning.nsw.gov.au)>  
**Cc:** Anthea Sargeant <[Anthea.Sargeant@planning.nsw.gov.au](mailto:Anthea.Sargeant@planning.nsw.gov.au)>; Syam Krishna <[syam.krishna@visy.com.au](mailto:syam.krishna@visy.com.au)>; Daniel Mees <[Daniel.Mees@ghd.com](mailto:Daniel.Mees@ghd.com)>; Lisa King <[Lisa.King@ghd.com](mailto:Lisa.King@ghd.com)>  
**Subject:** Fwd: Visy Pulp and Paper Mill - New and additional storage for operations(PMA-25264294) - Application Received

Hi Joanna,

We just wanted to inform you that we've recently lodged a Modification Application for some additional buildings and storage.

Please see below and let us know if any further information is required.

Regards,

Matt

----- Forwarded message -----

**From:** [no-reply@majorprojects.planning.nsw.gov.au](mailto:no-reply@majorprojects.planning.nsw.gov.au) <[no-reply@majorprojects.planning.nsw.gov.au](mailto:no-reply@majorprojects.planning.nsw.gov.au)>  
**Date:** Tue, 17 Aug 2021 at 14:49  
**Subject:** Visy Pulp and Paper Mill - New and additional storage for operations(PMA-25264294) - Application Received  
**To:** <[syam.krishna@visy.com.au](mailto:syam.krishna@visy.com.au)>

Dear Syam,

Thank-you, your request for a scoping meeting in relation to the Visy Pulp and Paper Mill - New and additional storage for operations has been received.

The Department may request additional information from you at any time.

You can also manage your application from your profile.

To sign in to your account click [here](#) or visit the [Major Projects Website](#).

Please do not reply to this email.

Kind regards

The Department of Planning, Industry and Environment



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--

Matt O'Donovan  
Visy – HSE Manager  
[1302 Snowy Mountains Highway, Tumut NSW 2720](#)  
T: 02 6947 7900 | M: 0417 669 509

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Visy – HSE Manager  
[1302 Snowy Mountains Highway, Tumut NSW 2720](#)  
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Visy – HSE Manager  
[1302 Snowy Mountains Highway, Tumut NSW 2720](#)  
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 **VISY SEE REVIEW.pdf**  
106K

## VISY – MOD 5 COMMENTS

### ADMIN:

- It appears to be lodged against DA6/98 and not MP06\_0159. Needs to be checked
- Applicant details – is Syam the primary contact as well as Applicant? His title under the Applicant tab needs to be fixed (not Tumut)

### SEE:

- SEE should:
  - reference construction jobs and confirm if any change to operational jobs
  - confirm no change to operational processing levels
  - provide estimate of construction traffic – LV/HV and confirm any changes to operational traffic
  - confirm any changes to hours of operations for new buildings
- Any consultation with Council, EPA, DPIE Water? Who regulates the water storages?
- There are no plans for the buildings provided or sections of the proposed dam
- What are the relevant standards for the dam?
- The risk matrix is not an appropriate alternative to providing a proper impact assessment. There is no evidence provided to support the conclusions made in the matrix – there is no real consideration of construction or operational impacts. For example dust generation during construction is listed as only possible. Increased traffic during construction is listed as possible – seems unlikely.
  - Air Quality (Dust and Odour)
  - Traffic
  - Noise
- Does the mod create any issues for fire safety compliance issues?
- Section 1.2 - *Where components of the modified proposal do not differ from the approved development, they are not detailed within this document, as they are considered to have been addressed as part of the original application for approval.* What falls within this statement?
- A more detailed explanation of the activities in each of the proposed modification components would be beneficial – i.e. what actually occurs in the PME workshop?



Matthew O'Donovan &lt;matthew.o'donovan@visy.com.au&gt;

---

## Visy Tumut Modification Application

1 message

---

**Matthew O'Donovan** <matthew.o'donovan@visy.com.au>

Sun, Sep 12, 2021 at 12:00 PM

To: "Hyde, Matthew" &lt;mhyde@svc.nsw.gov.au&gt;, "Hayes, James" &lt;jhayes@svc.nsw.gov.au&gt;

Hi Matt and James,

We wanted to inform you that Visy Tumut will be submitting a Modification Application with the NSW Department of Planning, Industry and Environment for the following items.

### PME Workshop

The PME Workshop will be used to service and maintain the site's PME (Powered Mobile Equipment), including mainly forklifts, frontend loaders, scissor lifts and boom lifts. In order to maintain minimum safety standards, it is ensured that these equipment are well maintained. The current PME Workshop is too small and the location is not suitable due to its proximity to the truck exit of the Reel Store which has become a safety hazard. The proposal is to construct the new shed with a suitable floor space while also relocating the works away from the major thoroughfare.

### Reel Store

The current Reel Store is the main warehouse and distribution centre for the finished paper products. The paper in the form of tightly wound reels varying in sizes from 800mm to 3,000mm long is transferred across from the Paper Machine building by an elevated conveyor system. The current building is used for both domestic and export product. The additional Reel Store of a similar size will be constructed to the east of the existing store. The new Reel Store will be set up to store and dispatch domestic product, while the existing Reel Store will be for export product storage and loading. The increased space within the expanded reel store will improve storage and handling efficiency and also provide safer traffic flow.

### BKP Storage Shed

An additional Kraft Pulp Storage Shed is proposed to enable sufficient protection for vital paper producing materials. The site produces White Top Linear (WTL) paper using purchased bleached Kraft pulp which is delivered to the site in bales. The additional storage is proposed to be located north of the existing shed.

### Increase existing storage shed

An existing storage shed is located on site. It is proposed to increase the size of this shed from 864 m2 (approved under Modification 3) to 1598 m2.

This storage shed is used to accommodate large spare parts for the site's maintenance team, including pumps and motors.

### Storage Shed

A Site Storage Shed is proposed to enable sufficient protection for equipment and materials. The shed will be used as a laydown area for equipment and non-hazardous materials to be stored until use in each Major Shut Down and will be the same size and layout as the existing shed.

### Training Building

The training building will be constructed next to the Main Administration building and be used for onsite competent and safety training, as well as site inductions. This building will replace the current transportable container building which is undersized for the requirements.

### Process Water Emergency Pond

The additional pond will have a useable volume of three megalitres (ML) and would hold excess water during emergencies for later return to the process.

The additional process water storage pond will be of earthen construction with a high-density polyethylene (HDPE) lining and will be designed in accordance with relevant standards, taking into account the results of appropriate geotechnical testing.

The pond is wholly contained upstream of and not connected to the site's Environment Protection Licence Points. It will be used as an emergency holding pond in conjunction with the existing 6 megalitre (ML) pond used for the same purpose. It will provide an additional buffer for environmental protection.

Please let me know if you would like any further information. I will send through a copy of the Modification SEE Report once finalised.

Regards,

Matt

--

Matt O'Donovan  
Visy – HSE Manager  
1302 Snowy Mountains Highway, Tumut NSW 2720  
T: 02 6947 7900 | M: 0417 669 509



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