



some of the proposed trees to be used in the courtyard



some of the proposed shrubs to be used in the courtyard



Photo of the 1:200 Model Showing the Courtyard



Building Massing Option 1 - Future scale 1:5000



Building Massing Option 2 - Future scale 1:5000

**Future Building Massing in the Town Centre**  
Through discussion with the NSW Department of Planning and the Eurobodalla Shire Council a draft option for the future building massing of the Batemans Bay Town Centre has been developed. In principle this model would encourage 3 main points:

1. all development along Clyde Street should incorporate the agreed colonade design. The colonade provides unhampered, shared, pedestrian access to the required flood planning level whilst maintaining an active street frontage.
2. all development along Clyde Street should form a consistent and regular building edge to the street that is not interrupted by vehicular access driveways nor irregular building setbacks or heights.
3. buildings behind the clyde street frontage should be set back from the side boundaries to allow good solar access to neighbouring blocks and to break up the building mass of the CBD when viewed from the bridge.

This approach gives a continuity of shared open space between buildings allowing for central courtyards and reduction of the impacts of overshadowing of one site to the next. The proposed development of 3 Clyde St exemplifies this approach and therefore sets a benchmark for the future development of the town.

- existing lot lines
- Building Height 18m from natural grade
- Building Height 16m from natural grade
- Building Height 12m from natural grade
- First Floor Courtyards

NORTH STREET



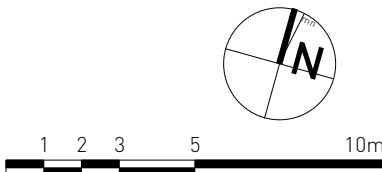
Sketch Section Through Courtyard scale 1:200



First Floor Plan scale 1:200

#### Revisions

|    |                                                                                                                                    |          |
|----|------------------------------------------------------------------------------------------------------------------------------------|----------|
| 00 | Issued for Development Approval                                                                                                    | 13.08.08 |
| 01 | Issued for Development Approval - North Street building amended to accommodate revised vehicle access arrangements at ground level | 08.01.09 |



#### key

- studio apartment
- 1 bed apartment
- 1 bed terrace apartment
- 2 bed terrace apartment
- 3 bed terrace apartment
- reception + conferencing
- back of house
- retail
- circulation
- plant and storage zones
- fh fire hydrant
- fhr fire hose reel
- pfe portable fire extinguisher
- ffd first flush diverter
- dp down pipe
- hp heat pump hot water service
- AHD australian height datum
- FFL finished floor level
- FRL finished roof level
- FGL finished ground level

#### Consultants

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Ph: 02 9810 6913  
Geotechnical Engineer - Douglas Partners  
Ph: 02 4271 1834  
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|----------------|-------------------------------------------|
| <b>Project</b> | Clyde River Motor Inn<br>Lot 4 DP 585 556 |
| <b>Issue</b>   | Preliminary                               |
| <b>Date</b>    | Thursday, 8 January 2009<br>4.04.54 PM    |
| <b>Scale</b>   | 1:200 @ A1                                |
| <b>Drawing</b> | First Floor Plan                          |
| <b>Dwg No.</b> | pDA 03 - 0301                             |