

# The Clyde River Inn

## architectural drawing set

Part 3A Major Project Application - no. 06\_008

project address: 3 Clyde Street, Batemans Bay, NSW 2536  
local government area: Eurobodalla Shire Council  
consent authority: NSW Minister for Planning

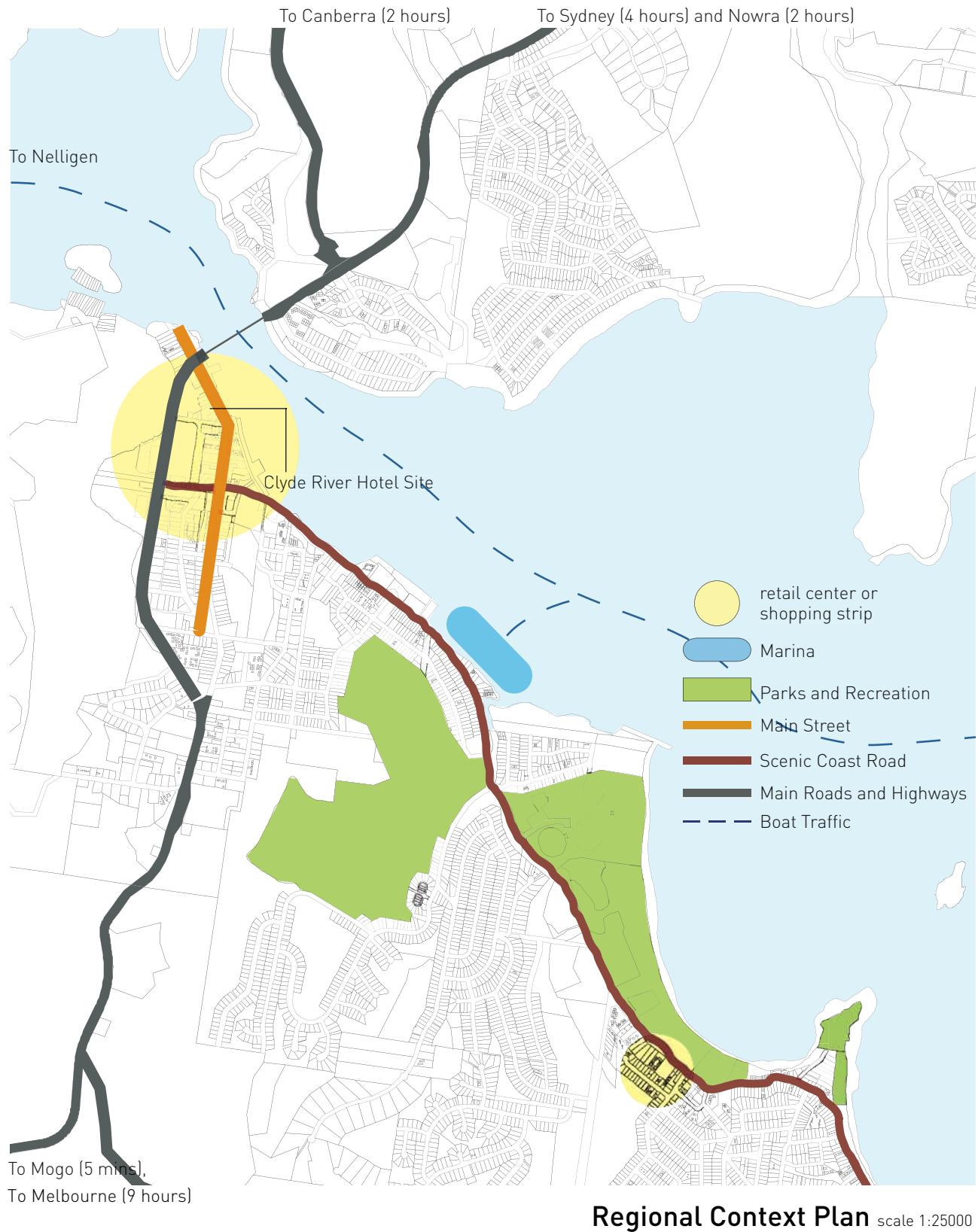
| issue | dwg no. | title                                                             |
|-------|---------|-------------------------------------------------------------------|
| DA03  | - 01    | site plan + figure ground studies                                 |
| DA03  | - 02    | ground floor plan + analysis of traffic + pedestrian links        |
| DA03  | - 03    | first floor plan + future built form of the town centre           |
| DA03  | - 04    | second floor plan + analysis of land uses within the town centre  |
| DA03  | - 05    | third floor plan + analysis of views to and from the site         |
| DA03  | - 06    | fourth floor plan + building massing on the site                  |
| DA03  | - 07    | roof plan + 3D visualisations of the proposed building            |
| DA03  | - 08    | section a-a' + servicing of building and environmental systems    |
| DA03  | - 09    | street elevations + examples of strong street facades             |
| DA03  | - 10    | north + west elevations + geographical context of the town center |
| DA03  | - 11    | courtyard elevations                                              |
| DA03  | - 12    | shadow analysis + microclimate analysis                           |
| DA03  | - 13    | detailed elevation + materials                                    |
| DA03  | - 14    | materials + finishes board                                        |
| DA03  | - 15    | modeling sheet 1                                                  |
| DA03  | - 16    | modeling sheet 2                                                  |



| Building Sustainability Assessments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  | Ph: 4962 9430                                           | Mob: 0402 108 596                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|---------------------------------------------------------|---------------------------------------------|
| enquiries@buildingsustainability.net.au                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | www.buildingsustainability.net.au                       |                                             |
| Important Note for Development Applicants:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  |                                                         |                                             |
| The following specification details the requirements necessary to achieve the thermal performance values as indicated on the ABSA Assessor Certificate. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact Building Sustainability Assessments.                                                                                      |  |                                                         |                                             |
| ABSA Assessor #20305                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  | Certificate # - Refer to stamp                          |                                             |
| Thermal Performance Specifications - BSA Ref: 4364 (Lot 4 3 Clyde Street)                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  | April 2008                                              |                                             |
| These are the Specifications upon which the Certified Assessment is based. If they vary from drawings or other written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternative specifications are detailed, the location and extent of the alternate specification must be detailed below and/or clearly indicated on referenced documentation. |  |                                                         |                                             |
| External Wall Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  | Insulation                                              | Colour (Solar Absorbance)                   |
| Weatherboard                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |  | R2.5                                                    | Any                                         |
| Terracotta                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  | R2.5                                                    | Any                                         |
| Internal Wall Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  | Insulation                                              | Detail                                      |
| Plasterboard on studs                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  | none                                                    |                                             |
| Ceiling Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  | Insulation                                              | Detail                                      |
| Plasterboard                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |  | R4.0 to ceilings adjacent to roof space                 |                                             |
| Roof Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |  | Insulation                                              | Colour (Solar Absorbance)                   |
| Metal                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  | Foil + R1.0 blanket                                     | Any                                         |
| Floor Construction                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  | Insulation                                              | Covering                                    |
| Concrete                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  | none                                                    | As drawn (if not noted default values used) |
| Timber                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  | R2.0                                                    | As drawn (if not noted default values used) |
| Windows                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | Glass and frame type                                    | U SHGC Area sq m                            |
| Generic                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | Single clear Aluminium 7.73 0.78                        | As drawn on plans                           |
| Skylights                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  | Glass and frame type                                    | U SHGC Area sq m                            |
| Generic                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | As drawn                                                | As drawn on plans                           |
| U and SHGC values are according to MFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.                                                                                                                                                                                                                                                                                                                                                         |  |                                                         |                                             |
| External Window Cover                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  | Detail                                                  |                                             |
| Fixed shading - Eaves                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  | Width includes putting offset to distance above windows |                                             |
| Fixed shading - Other                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  | Normal only, refer to plan for detail                   |                                             |
| Verandahs, Porches (type and description)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  | Shaded areas as drawn                                   |                                             |
| Ventilation and Infiltration to Habitable Rooms                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |  |                                                         |                                             |
| Open fire no damper                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  | no Exhaust fans no dampers                              |                                             |
| Door and window seals                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  | yes Vented skylights                                    |                                             |
| Vented downlights                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |  | no Fixed wall or ceiling vents                          |                                             |
| No means that the item was not included in the assessment and shall not be installed.                                                                                                                                                                                                                                                                                                                                                                                                                                         |  |                                                         |                                             |
| Yes to door & window seals means that seals are to be fitted to all external doors and windows.                                                                                                                                                                                                                                                                                                                                                                                                                               |  |                                                         |                                             |



Model of the Proposed Development as viewed from towards the Clyde River Bridge



Aerial Photograph of the Site scale 1:2000

### Architects Design Statement

- Overview**  
The proposal is for a multi use building comprising 46 serviced apartments for tourist accommodation, 10 permanent residential apartments, 120 sq m of retail fronting North Street, a 300 sq m restaurant fronting Clyde Street, a 164 sq m conference space along with associated service areas and car parking. The site is situated in the Town Centre of Batemans Bay and has street frontages on Clyde Street and North Street.
- Local Geography and Regional Context**  
Batemans Bay sits at the mouth of the Clyde River. It is an important regional town both for the provision of services to coastal towns to the north and south but also in the context of the tourism industry, it being the closest point on the coast to Canberra. The town is built upon low, relatively flat land at the estuary, with land rising sharply up to mountains and escarpments to the south, north and west. The town centre is therefore very constricted and contained by it's geography. It can thus be assumed that development in the Town Centre must follow a pattern of increased density. The design enables this increased density to occur whilst providing good access to light and air for all habitable spaces. The design proposes setting a pattern that other sites in the Town Centre can adopt to create a township of great beauty and sophistication in both public and private open spaces.
- Site Conditions**  
The site is thought to be situated on the ancient river bed. Geological surveys found that silt and sand were found to an extraordinary depth of approximately 56 metres before encountering rock. For this reason the design incorporates a light weight timber framing system that will be one tenth of the weight of an equivalent concrete frame. This allows much less disturbance to the site and also reduces the risk to neighbouring sites because it means many less piled footings are necessary. The timber framed construction, although unusual in this country is a common building practice for buildings of this size and above throughout Europe and Canada
- Climate and Sustainability**  
The proposal has been driven by strong principles of environmental and sustainable design. The systems used are numerous, integral and across all levels of the design. Some examples of actions taken to respond to and utilise climate and to maximise the sustainability of the project are as follows;
  - The timber framed construction system uses a renewable resource and reduces the need for site disturbance and significantly reduces the number of concrete piers that will be required and therefore limit ground disturbance in this sensitive coastal area.
  - The design and layout of the building reduces energy consumption by maximising access to natural ventilation and providing excellent penetration of natural light to living spaces. Ceiling fans,

- heavy insulation and performance glazing make the most of the temperate climate enjoyed in Batemans Bay to keep living spaces comfortable and significantly reduce reliance upon mechanical heating and cooling systems. Due to these devices being employed smaller more efficient mechanical systems can be used that utilise a complex building management system that allows individual spaces within apartments to be heated and cooled with automatic switching to economy/fresh air cycles when exterior temperatures are suitable.
  - Large areas are given over to vertical service risers to allow natural stack cooling to occur through all the apartments and corridors.
  - Careful design of vertical circulation in the building provides equal access to all areas whilst offering users of the building the choice of taking naturally lit stairs or the lifts.
  - Rainwater is to be collected and stored onsite and used in landscaping, toilets and laundry's.
  - Introducing permanent accommodation into the town centre reduces reliance on cars and encourages pedestrian life and movement within the town.
  - All habitable spaces will be fitted with ceiling fans.
  - The design maximises north and eastern aspects by breaking the building into two and therefore providing twice as many facades with reduced depth to the buildings themselves. The building on North St protects the facades to the west of the Clyde St building.
- Facade Treatment**  
The external treatment of the facades of the building use a natural terracotta tile which carries a variation in colour. The natural variation in colour will be taken advantage of to lift the facade of the building and give it life. It will not appear flat. The colour of the tiles has been chosen to reflect the changing colours of the estuary waters. The soft earthy colour of the tiles will change during the day and across seasons as reflected light hits them from the bay, sometimes appearing blue-ish, sometimes green-ish. The balconies are to be clad in oiled Australian hardwood and will complement the terracotta tiles. The balustrades are to have oiled hardwood tops with 'Evergreen' glazed panels. These choices of materials respond directly to the long history of the vernacular timber buildings in the town, such as the wharves and structures that have been part of the areas fishing and boating industry since white settlement. All of the materials are natural so will soften over time and will weather gracefully. The materials can also be sourced locally to reduce the embodied energy of the building.
  - Apartment Design**  
Each apartment has been designed to incorporate a generous outdoor balcony space, which has a strong connection to the internal space through large openings to living spaces and bedrooms. The balcony spaces in turn each relate to good aspects in terms of light and views to the river, ocean and mountains and provide shade and privacy to the spaces within the apartment. The design aims to encourage use of these balconies by ensuring they are deep enough to hold practical arrangements of tables and chairs. By creating a flexibility between outdoor and indoor spaces the design enhances the experience of the temperate south coastal climate.
  - The 10 permanent residential apartments have been designed in accordance with the Residential Flat Code and the 46 serviced apartments follow the key principals of the Residential Flat Code to provide spacious apartments with enough space to encourage longer term stays.
- Conclusion**  
Both the town centre of Batemans Bay and the growing tourism industry require a facility of this calibre in this location. The building itself will create further interest in the town and provide for many new local employment opportunities. The proposed hotel and retail development at 3 Clyde St aims to create a new definition for locally appropriate and environmentally responsive design on the south coast.

### Consultants

Surveyor - The Lawrence Group  
Ph: 02 9557 2299  
Structural Engineer - Simpson Design Associates  
Ph: 02 9810 8911  
Geotechnical Engineer - Douglas Partners  
Ph: 02 4271 1836  
Building Services Engineers + Consultants - GHD Pty Ltd  
Ph: 02 4579 9501  
Civil and Hydraulic Engineer - Whips-Wood Consulting  
Ph: 02 8723 8444  
Acoustical Consultant - Wilkinson Murray Pty Ltd  
Ph: 02 9437 4411  
Landscape Architect - Ayling + Drury Landscape Architecture - Ph: 02 4422 9901  
Planner - SP2 Town Planners  
Ph: 02 9212 5999  
Environmental Engineer - Peter Spurway + Associates  
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BASIX Assessor - Building Sustainability Assessments  
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Traffic Construction Management Plan - John Condon and Associates - Ph: 02 4471 7755  
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Quantity Surveyor - BDA Pty Ltd  
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### workshop

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|---------|-------------------------------------------|
| Project | Clyde River Motor Inn<br>Lot 4 DP 585 556 |
| Issue   | Development Approval                      |
| Date    | Monday, 28 April 2008<br>9:53:27 AM       |
| Scale   | 1:2000 @ A1                               |
| Drawing | Cover Page                                |
| Dwg No. | DA 03 - 00                                |