

EXISTING CHARACTER



The Cove apartment precinct lies within the disturbed area of the development site left by past sand mining operations. It is a harsh and exposed environment.

The ground is relatively bare with exposed sandy soils containing sparse clumps of heath regrowth.

The area is exposed to the weather from the south, east and west, with Janie's Headland providing some shelter from strong north easterlies. The area has a high marine exposure due to its proximity to Seven Mile Beach.

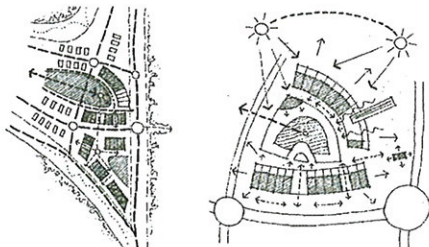
The Cove precinct is open to the north and south and is surrounded by The Fronds, The Point and The Dunes precincts. The precinct is located at the eastern termination of the existing 'open cut' which runs approximately five hundred metres east-west along the site.

The eastern boundary of the site is bordered by Booti Booti National Park, which is comprised of open heathland. The Scenic Drive bisects this land giving access to the beach. The tract of land immediately adjacent the site has been degraded by multiple track crossings and is to be regenerated.

The site is bounded by the main access road to the south, secondary access roads to the north and west, and a perimeter road to the east. The site is roughly rectangular, its longest axis running east - west.



CONCEPT



The Cove apartment buildings are sited on disturbed land to minimise environmental impact.

The arced forms of the apartment buildings respond to the sweep of the inner rows of the Dunes housing. They gently tighten in radius to enclose the communal courtyard. The buildings terminate the principal east / west site landscape axis. The curved forms fan out to capture views and aspect, and focus in over active pool and courtyard areas.

The north apartment building relates to the surrounding natural environment, enjoying views of bushland and Janie's Headland beyond. The south apartment building reinforces the urban edge of 'street' between the two apartment precincts.

A central pool becomes the focal point of the courtyard. The courtyard is enlivened by the supporting café, restaurant and recreational facilities.

The building forms allow permeability of views, space and light to increase amenity for residents and reduce the impact of bulk and scale. Openings are used to provide connection between the courtyard and street, to promote enquiry, to allow service entry zones and encourage movement through the precinct, engaging with the built environment.



MATERIALS PALETTE

Natural materials are selected to evoke the colours and textures of the coastal environment. Colours are generally light to mid tones. Textured materials are used to enhance modelling of the façade through the play of light and shade. High durability, long life, low maintenance materials suitable for high marine exposure are to be utilised, with minimal use of paint finishes.

- Stone clad building base, feature walls and courtyard walls.
- Cladding of painted concrete, tiling & metal panels.
- Shade and privacy screens of timber, prefinished aluminium louvres & stainless steel mesh.
- Balustrades clear glass & painted concrete.
- Timber & stainless steel handrails.
- Prefinished steel & stainless steel architectural metalwork.
- Prefinished aluminium doors and windows.
- Colorbond stainless steel roofing.
- Roof terrace pergolas of prefinished aluminium louvres.
- Shade awnings of perforated weather resistant tensile fabric.



THE COVE

PROPOSED CHARACTER



The Cove apartment complex forms the activated eastern end of the site. It is a hub for contemporary living set in a coastal environment. Facilities provided include; cafe, restaurant, and ancillary retail. Recreational facilities include; lap pool, lagoon pool and spa, sauna and gymnasium.

Residents are connected to site based facilities such as walking tracks, cycleways, feature pool, cafes and shops. Convenient walking tracks are provided to access Booti Booti National Park and Seven Mile Beach which are in close proximity to the site.

ARCHITECTURE



The Cove is a complex of two low-rise apartment blocks, including a cafe, restaurant and retail facilities sited around a communal landscaped courtyard containing a feature pool and landscape. The courtyard opens to the east - west landscape axis of the site.

The apartment buildings sit over a basement level of carpark that defines the perimeter of the deep soil zone under the lagoon pool.

Each building has four principle stories accommodating apartments. A partial fifth storey setback from the facade below contains roof top pavilions which provide access to the private roof terraces from the apartment below. These pavilions accommodate living spaces to compliment the recreational function of the roof terrace and provide supplementary habitable space for the penthouse apartment below.

Large cuts through the building separate the 'retail' function from the ground and first level apartments. The cut created by the lap pool through the north building reveals views of the bushland beyond. Cooling summer breezes circulate through the breaks separating the north and south buildings.

The buildings are designed with a strong horizontal expression, hugging the ground. The line of the facade is reinforced with glass louvres and infills of timber screening for privacy and weather protection. Punched windows have a horizontal proportion.

The horizontal banding of balconies are punctuated by the blade walls separating apartments. Entries are vertically expressed as glazed elements that spill natural light into lobby spaces.

Apartments have a dual aspect providing north and south internal and external living areas.

The roof terraces contain hard and soft landscaped elements and offer a vantage point to share the view. Lightweight roof structures, which provide shade and weather protection over the roof top pavilions and the private terraces, serve to cap the form of the buildings.



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Draft Development Control Plan No.34

THE LAKES WAY SEVEN MILE BEACH FORSTER NSW

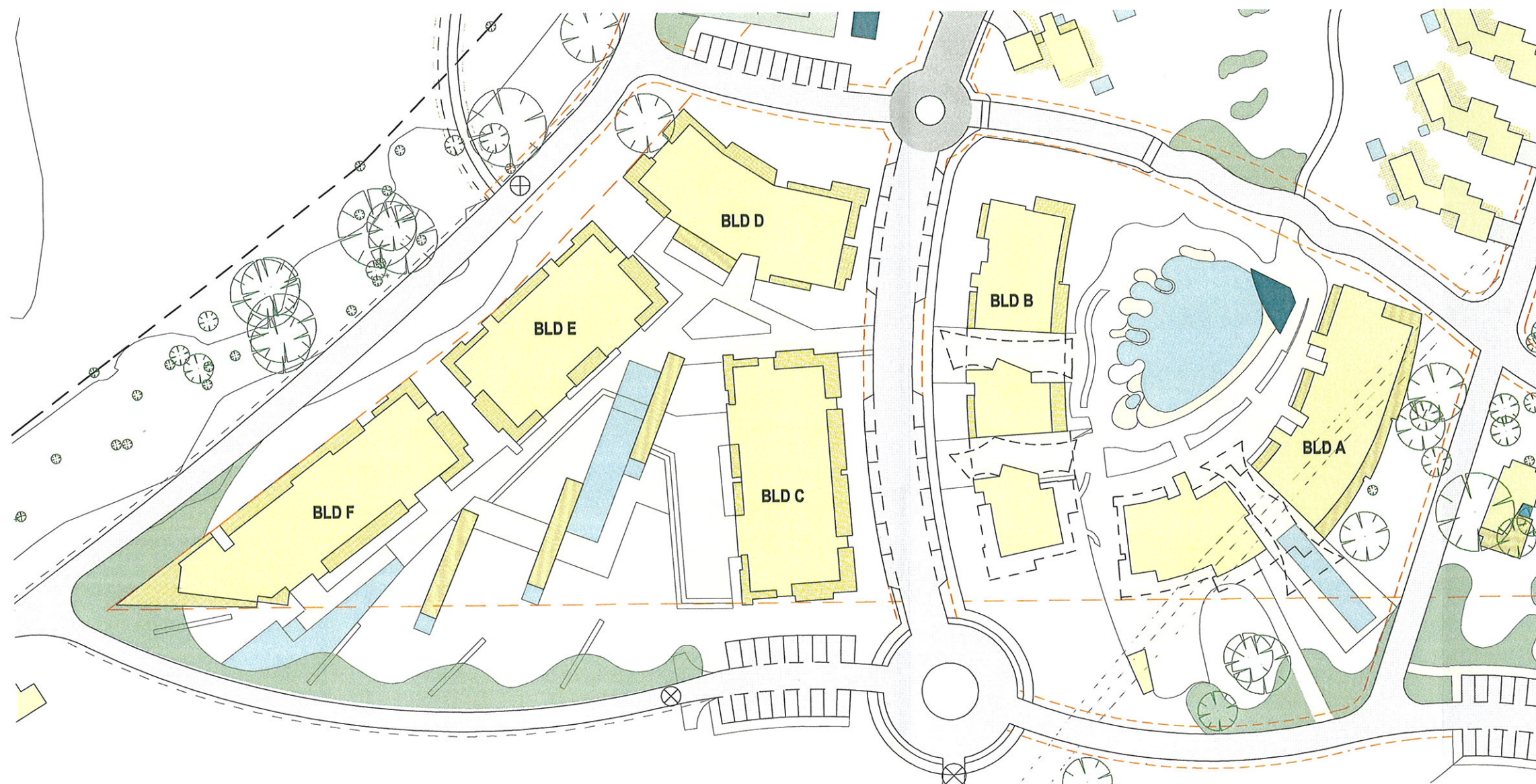
34. ARCHITECTURAL
CHARACTER
34.7 The Cove



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The Point

The Cove

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**38. TYPICAL APARTMENT
PLANS
38.1 Site Plan**

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