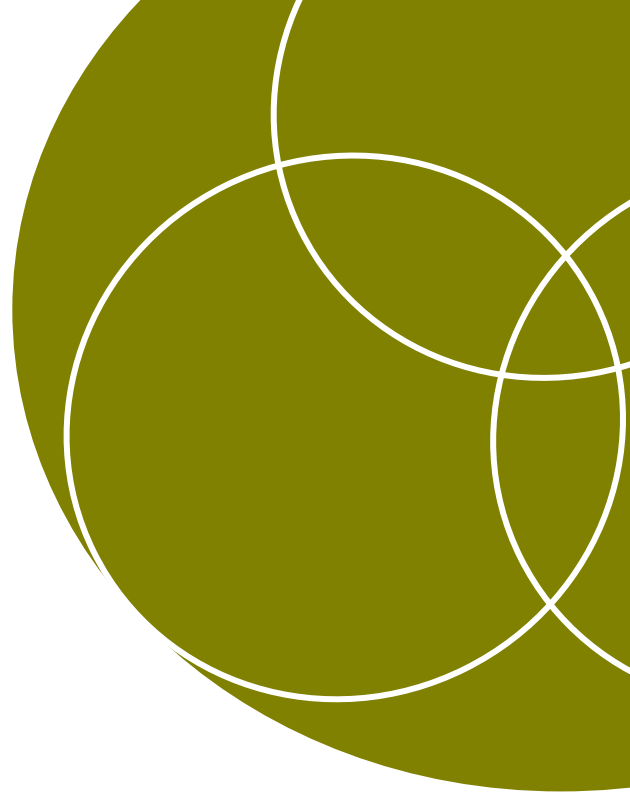




Environmental Assessment: Coca-Cola Amatil Northmead Redevelopment Project Modification – Production Facilities

October 2009

Prepared for:

Coca-Cola Amatil (Aust) Pty Limited
102-128 Briens Road
NORTHMEAD NSW 2152

PJEP Ref: Environmental Assessment_Oct09



DISCLAIMER

This document was prepared for the sole use of Coca-Cola Amatil (Aust) Pty Ltd and the regulatory agencies that are directly involved in this project, the only intended beneficiaries of our work. No other party should rely on the information contained herein without the prior written consent of Phillip Jones Environmental Planning and Coca-Cola Amatil (Aust) Pty Ltd.

Report prepared by

Phillip Jones BAppSc

Phillip Jones Environmental Planning

ABN: 48 656 421 622

48 Marine Parade

AVALON NSW 2107



CONTENTS

1	INTRODUCTION	1
1.1	Background.....	1
1.2	The Proposal.....	2
1.3	The Proponent	2
1.4	Pre-Application Consultation.....	2
2	SITE DESCRIPTION	3
2.1	Site Location	3
2.2	Ownership and Tenure	3
2.3	Site Description.....	3
2.4	Surrounding Land use.....	3
3	DESCRIPTION OF THE PROPOSED MODIFICATION	4
3.1	Status of Approved Manufacturing Expansion.....	4
3.2	Proposed Modification	5
4	PLANNING CONTEXT	8
4.1	Environmental Planning and Assessment Act, 1979.....	8
4.2	Environmental Planning Instruments	8
5	ENVIRONMENTAL ISSUES	9
6	CONCLUSION.....	12

TABLES

Table 1: Consideration of Environmental Planning Instruments

Table 2: Consideration of Environmental Effects

FIGURES

Figure 1: Location Plan

Figure 2: Aerial Photo

Figure 3: Site Plan – As Approved

Figure 4: Site Plan – As Proposed

Figure 5: Site Elevations

Figure 6: Tank Farm Elevations

Figure 7: Cooling Towers Location

APPENDICES

A Architectural Plans





1 INTRODUCTION

This Environmental Assessment (EA) has been prepared by Phillip Jones Environmental Planning (PJEP) on behalf of Coca-Cola Amatil (Aust) Pty Limited (CCA), for the proposed modification of the project approval for the Coca-Cola Northmead Redevelopment Project (the project).

1.1 Background

CCA has operated a major beverage production and distribution facility at Briens Road Northmead since 1972 (see **Figure 1**). It is CCA's primary manufacturing facility in NSW, and the largest CCA operation in Australia.

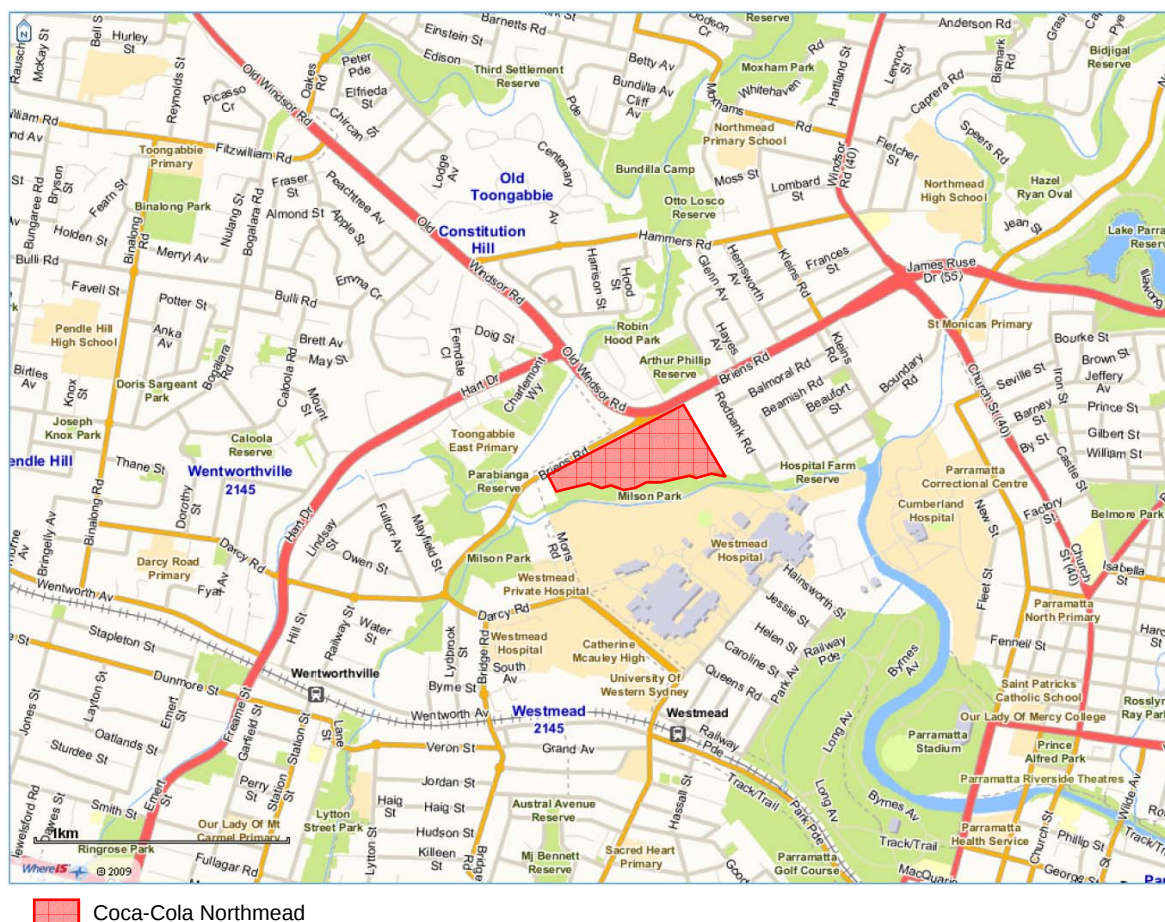


Figure 1: Location Plan

On 21 December 2006, the Minister for Planning approved a project application from CCA under Part 3A of the *Environmental Planning and Assessment Act 1979* (EP&A Act) for a major upgrade of the Northmead facility. The project, known as the Coca-Cola Northmead Redevelopment Project (MP 05_0121), included the following main components:

- a new high bay warehouse;
- expansion of existing manufacturing facilities, including 3 new production lines (within existing buildings);
- a new office building;
- a new gatehouse and driver amenities; and
- ancillary works (including demolition and site preparation, stormwater drainage improvements, site traffic circulation improvements and site landscaping).



The project is being undertaken on a staged basis. To date, CCA has constructed the new high bay warehouse, new gatehouse and driver amenities, and installed the first of the three new production lines.

The Minister's approval has been modified twice since the original approval, namely:

- 'MOD 1', approved by the Minister on 19 June 2007, which involved minor design and layout changes and amendments to address fire safety measures under the BCA; and
- 'MOD 2', approved by the Minister's delegate on 4 June 2009, which involved modernising fascias of existing structures across the site to be consistent with the scheme developed for the new high bay warehouse, and new business signage.

1.2 The Proposal

CCA is currently undertaking detailed design for the installation of the second new production line, which forms part of the approved project.

The original EA for the project indicated that the manufacturing expansion works would be restricted to areas within the existing warehouse. Whilst this remains largely correct, detailed design for the second new production line has revealed that some minor external works would be required to accommodate ancillary plant and services, including:

- replacement and expansion of the spring water tanks and associated infrastructure;
- new cooling towers; and
- a new electrical transformer.

Accordingly, CCA is seeking the Minister's approval to allow these external components.

The proposed modification is described in detail in Section 3.

1.3 The Proponent

Coca-Cola Amatil (Aust) Pty Limited is one of Australia's best known companies, manufacturing and distributing one of the world's best known brands. CCA distributes Coca-Cola and a range of other beverage products across Australia and all around the world. The company has its headquarters in Sydney, and employs more than 1,850 people in NSW. The Northmead facility provides direct employment for over 700 people.

1.4 Pre-Application Consultation

The proposed modification was discussed with the Department of Planning's Major Development Assessment branch in August 2009. Based on the information presented, the Department confirmed that the proposal would require an approval under Section 75W of the EP&A Act.

Given the minor nature of the proposal, no other consultation has been undertaken during preparation of the EA.



2 SITE DESCRIPTION

2.1 Site Location

The CCA Northmead facility is located at 102-128 Briens Road, Northmead (the site) (see **Figure 1**). The real property description is Lot 21 in DP 632950 and Lots 101 and 111 in DP 800504.

2.2 Ownership and Tenure

The site is owned and managed by CCA.

2.3 Site Description

The site has a total area of 13.5 hectares, is irregular in shape and has extended frontage to Briens Road.

The site is fully developed for industrial use associated with CCA's activities. An aerial photo showing the site and surrounds is presented on **Figure 2**, and the approved layout of the site is shown on **Figure 3**.



 Coca-Cola Northmead

Figure 2: Aerial Photo (Nb. showing high bay warehouse under construction)

2.4 Surrounding Land use

Land use surrounding the part of the site where the second production line will be installed includes:

- North: employment (industrial/commercial) land use directly across Briens Road;
- North-east: low density residential land use across Briens Road/Cumberland Highway;
- East: other parts of the CCA site, with low density residential land use beyond;
- South: Toongabbie Creek and Westmead Hospital beyond; and
- West: open space, with residential land use beyond.

The closest residential receivers are approximately 250 metres to the north-east, across Briens Road/Cumberland Highway.

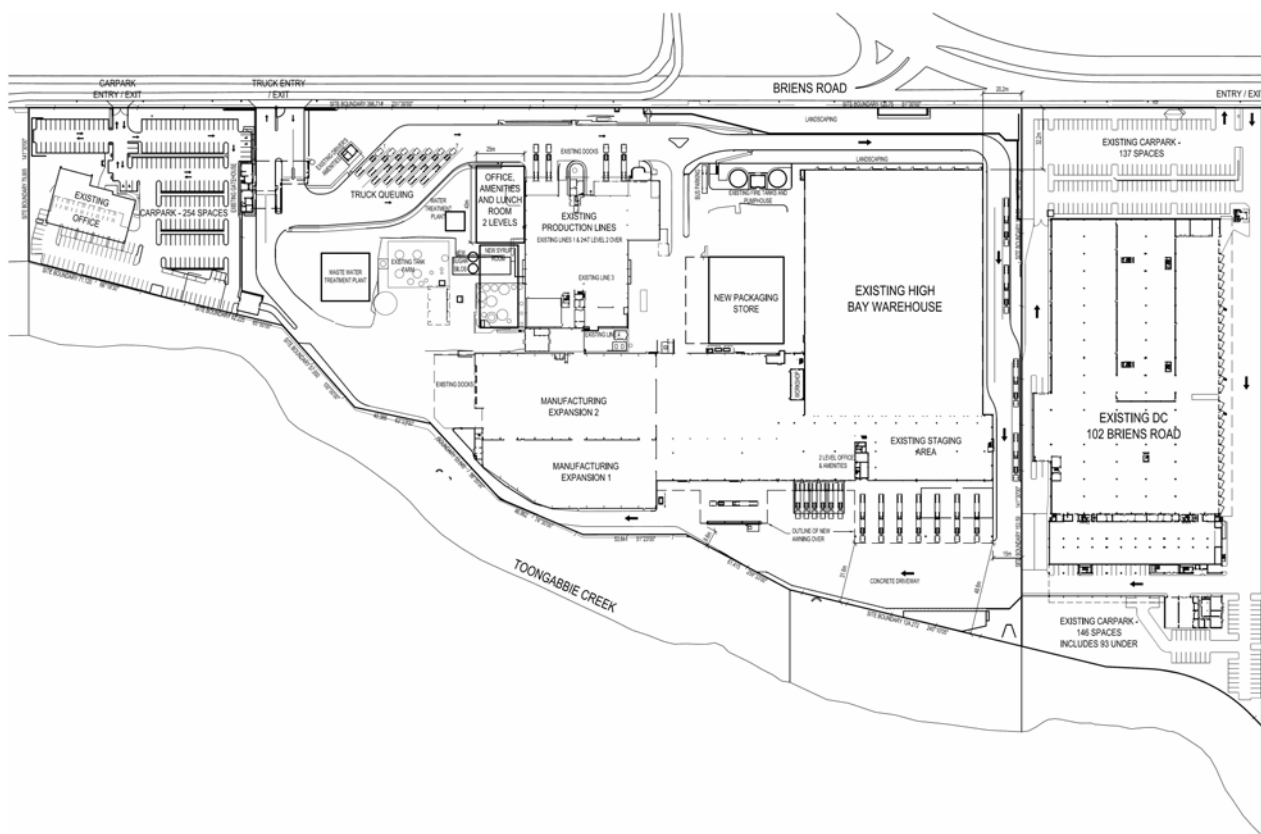


Figure 3: Site Plan – As Approved

3 DESCRIPTION OF THE PROPOSED MODIFICATION

3.1 Status of Approved Manufacturing Expansion

The approved manufacturing expansion (incorporating the new production lines) is described in Section 4.5 of the original EA for the project. For reference, the section is reproduced in full below:

“4.5 Expanded manufacturing facilities

The existing 7,200m² finished goods warehouse buildings at 128-D and 128-E will be adapted to accommodate three new beverage production lines and associated manufacturing services including boiler, refrigeration plant and compressors. The floor of the warehouse area will be re-graded and drains introduced to service the new wet process area.

The new production lines will typically consist of:

- *automatic inbound bottle / can unloading facilities;*
- *depalletising machinery;*
- *washing equipment;*
- *filler and capper or seamer;*
- *warmer / pasteuriser;*
- *labeller(s);*
- *packaging equipment;*
- *palletisers; and*
- *inter-connecting conveyor systems.*



To support the installation of these lines, the existing syrup preparation and mixing facilities will be expanded and/or augmented by the introduction of new technologies. Supporting manufacturing infrastructure including refrigeration plant, boilers and compressors will be upgraded to increase capacity to meet the additional demand.

The first stage of manufacturing expansion will entail the installation of one new production line in the existing building 128-F. The second stage of expansion will include relocation of the existing palletisers to warehouse building 120-C, directly interfacing with the in-feed to the new [high bay warehouse], and the installation of a further two new production lines in the 128-E building. These works will be undertaken without modification of the exterior building form of the existing warehouse.

Detailed design of a number of additional buildings required to support the installation of the second and third new lines will be addressed in a separate development application when the exact details of these requirements are known.”

To date, CCA has completed the first stage of the expansion, namely the installation of the first new production line in building 128-F, as described in paragraph 4 above. This included some of each of the equipment listed in paragraph 2 above. It also required some augmentation of site services as described in paragraph 3, namely an extra electricity transformer, extra air compressors, boilers and cooling plant. This additional plant was approved as part of modification ‘MOD 1’ to the original DA.

CCA is now undertaking detailed planning for the works described later in paragraph 4 above, namely relocation of palletisers in 120-C and installation of the second new production line in building 128-E. Although the original EA describes installation of two new production lines (ie. the second and third production lines), CCA is only planning the installation of the second production line at this stage.

As described in paragraph 4 of the EA excerpt, the expanded manufacturing facilities were anticipated to be undertaken without modification of the exterior building form of the existing warehouse, although paragraph 5 does note that additional buildings may be required to support the second and third production lines, subject to additional approval.

Detailed planning for the second production line has identified the need for a number of minor external works to support ancillary services. No new buildings would be required to accommodate these services, which can be accommodated through minor augmentation of existing site facilities.

3.2 Proposed Modification

CCA is seeking to modify the project approval to allow a number of ancillary services associated with the second production line to be installed in areas external to the existing warehouse, including:

- replacement and expansion of the spring water tanks and associated infrastructure;
- new cooling towers; and
- a new electrical transformer.

The locations of the proposed facilities are shown on **Figure 4**. The spring water tanks are shown in more detail on **Figures 5 and 6**, and the cooling towers location is shown on **Figure 7**.



The new spring water tanks would be located within the existing tank farm, and would replace two of the existing tanks, which would be demolished. The tanks have a maximum height of 11.83 metres (including gantry handrail) and a diameter of 4.15 metres. The tanks would be supported by associated infrastructure, including a new pipe bridge, bunded loading area, and ancillary services.

The new cooling towers would be installed on a platform on the roof of the existing building 128-E. CCA is currently investigating two different cooling system designs, one of which would involve two larger cooling towers (4m high and 5m x 5m in plan), and the other involving six smaller cooling units (1.2m high and 2m x 2m in plan). The platform indicated on Figure 4 would accommodate the largest footprint of the possible designs.

The new pad mounted electrical transformer would be installed adjacent the eastern side of building 128-D.

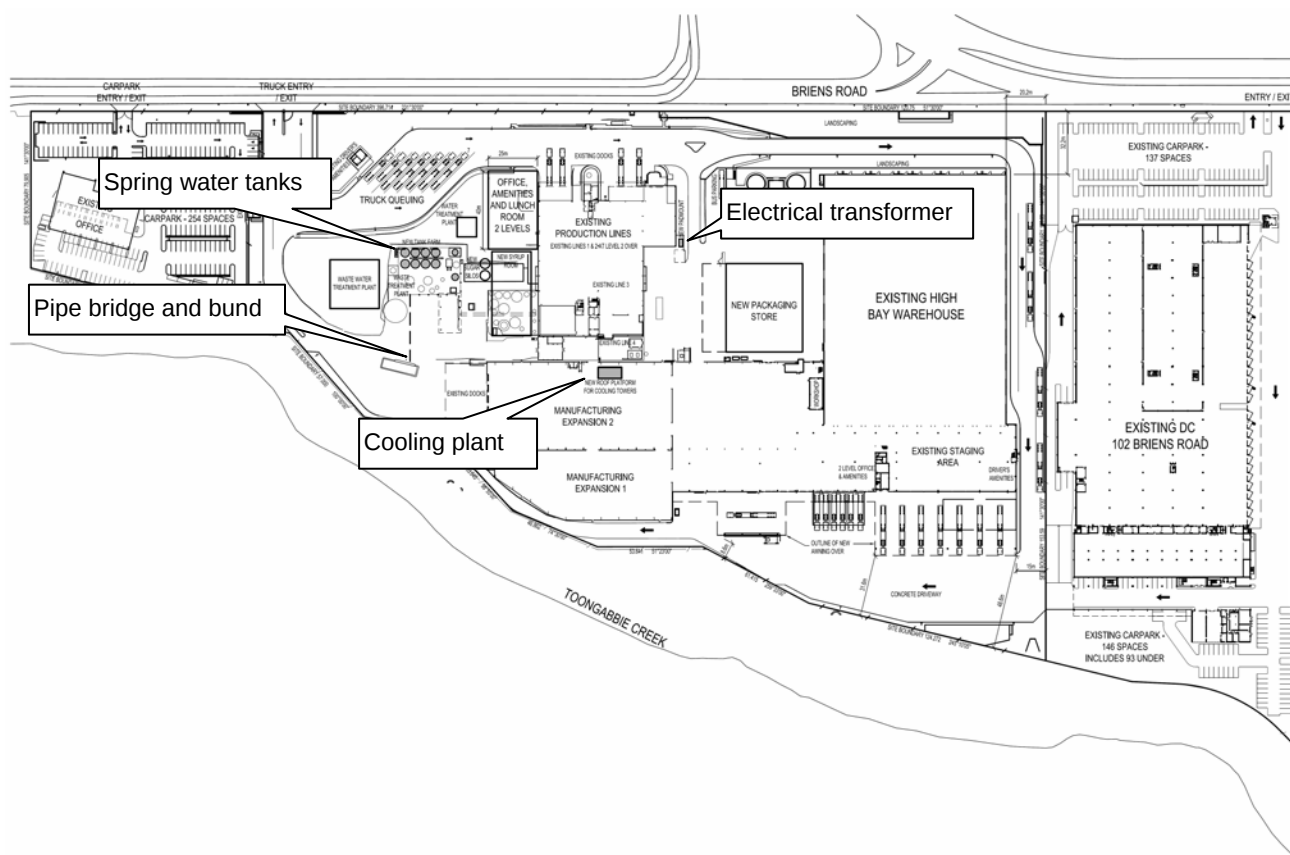


Figure 4: Site Plan – As Proposed

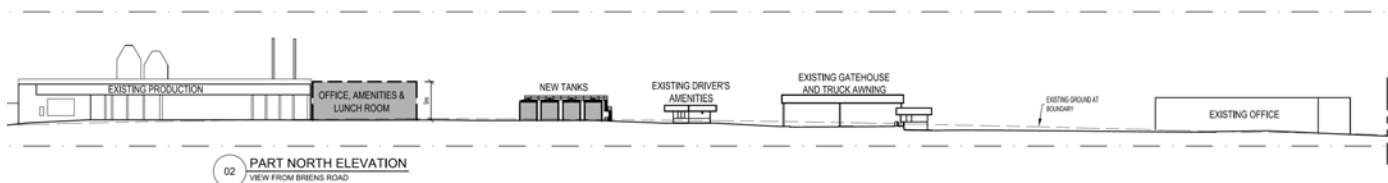
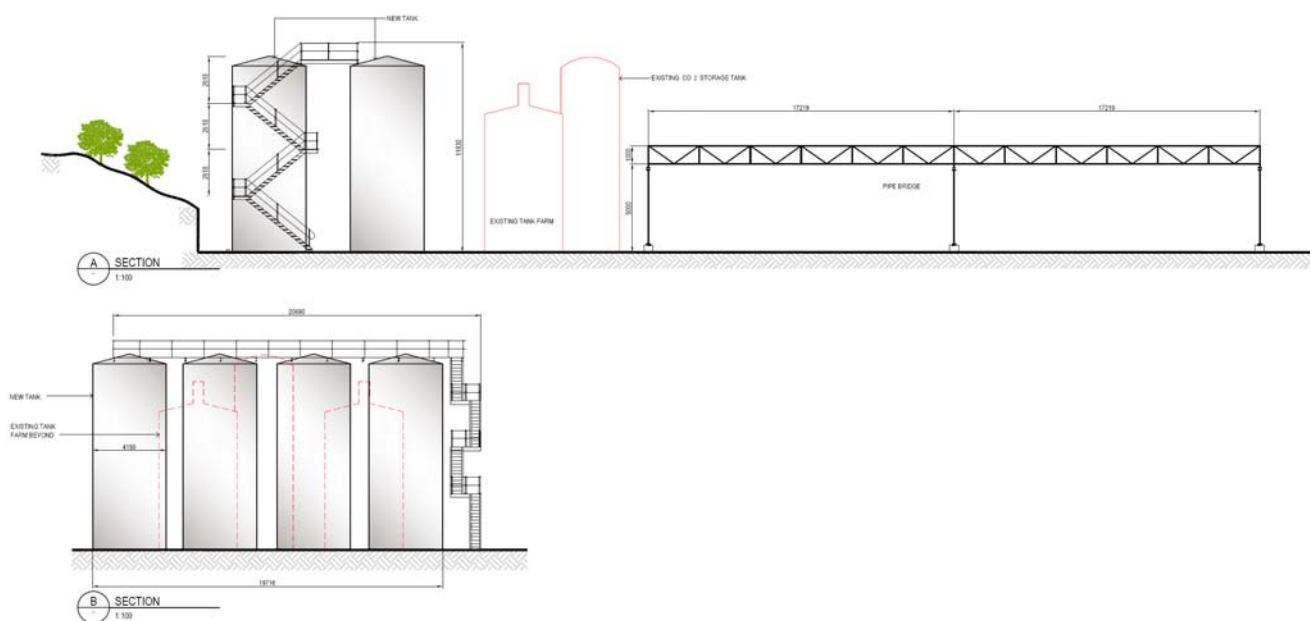


Figure 5: Site Elevations (North)





4 PLANNING CONTEXT

4.1 Environmental Planning and Assessment Act, 1979

Section 75W of the EP&A Act allows the Minister for Planning to modify a project approval granted under Part 3A of the Act.

It is considered that the proposal represents a minor modification of the project as approved, as it:

- would not affect or alter the approved use;
- would not affect the approved production rate;
- would only require minor changes to the external fabric of the facility; and
- would not result in any significant change to the environmental effects of the project (see Section 5).

4.2 Environmental Planning Instruments

Given the minor nature of the proposed modification, the proposal is considered able to be undertaken in a manner that is consistent with applicable environmental planning instruments. Consideration of applicable instruments (and instruments that would be applicable but for the provisions of Part 3A) is presented in the following table.

Table 1: *Consideration of Environmental Planning Instruments*

Instrument	Consideration
<i>SEPP (Major Development) 2005</i>	The proposal represents a minor modification of a project to which the SEPP applies.
<i>SEPP (Infrastructure) 2007</i>	The proposal does not meet the thresholds in Schedule 3 of the SEPP, and therefore does not require referral to the RTA.
<i>SEPP 33 – Hazardous and Offensive Development</i>	The proposal does not significantly alter the storage or handling of dangerous goods (ie. hazards) associated with the project, or significantly alter the environmental emissions (ie. offensiveness) associated with the project.
<i>SEPP 55 – Remediation of Land</i>	The proposal does not involve any significant ground disturbance, nor would it affect any known areas of contamination.
<i>Sydney REP No.28 - Parramatta</i>	The proposal is consistent with the aims and provisions for the Parramatta Primary Centre and Westmead Precinct as set out in the REP.
<i>Parramatta LEP 2001</i>	The site is zoned 4 Employment under the LEP and the proposal is permissible with consent. The proposal is consistent with the aims, objectives and provisions of the LEP.
<i>Parramatta DCP 2005</i>	The proposal is consistent with the development controls in the DCP, including building height (ie. 12 metre DCP control).



5 ENVIRONMENTAL ISSUES

Consideration of the environmental effects of the proposed modification is presented in the following table.

In summary, it is considered that the proposal would not result in any significant change to the environmental effects of the project as approved.

Table 2: *Consideration of Environmental Effects*

Issue	Consideration
<i>Soil and Water</i>	<i>Erosion and Sedimentation</i> The proposal would be restricted to existing hardstand areas of the site, and would not involve any soil disturbance other than minor disturbance associated with construction of footings for the new spring water tanks and associated services. The risk of erosion and sedimentation associated with these works is minimal.
	<i>Contamination</i> A Preliminary Environmental Site Assessment undertaken by Douglas Partners Pty Ltd for the original EA indicated that the site is suitable for continued commercial/industrial land use. The assessment included recommendations to investigate and/or remediate a small number of areas, none of which are in the vicinity of the area affected by the proposed modification. Given the findings of the site assessment, and that the proposal would be restricted to existing hardstand areas and would not involve any significant site disturbance, it is considered that the risk of site contamination is minimal and the site is suitable for the proposal.
	<i>Surface and Ground Water</i> The proposal would be restricted to existing hardstand areas which drain to the facility's stormwater system, which was upgraded as part of the approved project. This upgrade included a number of measures to improve stormwater quality and quantity, including installation of on-site detention facilities and Stormwater Quality Improvement Devices (SQIDs). The proposal would not affect the capacity or performance of these facilities, and does not involve any additional potentially-polluting activities. Although not a polluting substance, the spring water tanks and loading facilities would be appropriately bundled.
	<i>Noise</i> <i>Operational Noise</i> A Noise Impact Assessment was undertaken for the original EA by Heggies Pty Limited. The assessment found that the new production lines would comfortably comply with the applicable noise criteria established under the <i>NSW Industrial Noise Policy</i> (ie. at least 6 dB below the applicable criteria at surrounding receivers). The proposed modification would not result in any significant changes to operational noise emissions, including production activities and internal traffic circulation and loading activities.



<i>Issue</i>	<i>Consideration</i>
	However, the proposal does involve the installation of external noise generating plant, particularly cooling towers. This plant is not expected to result in any appreciable increase in noise levels at sensitive receivers, the nearest of which are approximately 250 metres to the north-east, across Briens Road/Cumberland Highway. It is noted that the project approval includes a condition requiring CCA to implement a Noise Monitoring Program for the project. This program would help ensure that the project as modified continues to comply with the operational noise criteria in the project approval. <i>Construction Noise</i> The proposed modification would not result in any significant change to construction-related noise emissions associated with the approved project (which was based on internal and external construction activities). The noise assessment for the original EA indicated that the project-construction could exceed applicable construction noise criteria when working close to the site boundary. It is noted that the construction activities associated with the proposed modification are well set back from the site boundaries, and considerably further away from sensitive receivers than elements of the original project (inc. the high bay warehouse). To mitigate and manage construction noise, the project approval includes a condition requiring CCA to undertake construction in accordance with an approved Construction Noise Management Plan. The construction activities associated with the proposed modification would be undertaken in accordance with this approved plan. <i>Traffic Noise</i> The proposal would not result in any significant change to internal or external traffic noise.
<i>Air Quality</i>	The proposed modification would not involve any significant change to air emissions from the project as approved. It is noted that the new production line will include a PET bottle moulding process as part of the packaging equipment. This process will generate warm dry air which will be exhausted to atmosphere via a small ventilation duct (at roof level) following some heat recovery. The moulding process would not generate any significant emissions of volatile organic compounds (VOCs) or other contaminants. The proposal does not involve any additional storage of gaseous or dust-generating materials.
<i>Flora and Fauna</i>	The proposal would be restricted to existing hardstand areas of the site, and would not affect any site vegetation or habitat.
<i>Heritage</i>	The proposal would be restricted to existing disturbed and hardstand areas of the site, and would not affect any heritage items.
<i>Traffic and Parking</i>	The proposal would not have any significant effect on traffic volumes, access and circulation arrangements, parking or loading activities associated with the approved project.



<i>Issue</i>	<i>Consideration</i>
	The project approval includes a condition requiring CCA to manage construction and operational traffic in accordance with an approved Traffic Management Plan. The traffic-related activities associated with the proposed modification would be undertaken in accordance with this approved plan.
<i>Greenhouse Gas (GHG) and Energy Efficiency</i>	The proposal would not significantly alter the GHG emissions or energy efficiency measures associated with the project as approved. The GHG Assessment undertaken for the original EA indicated that the project would result in significant GHG savings – of more than 50% – mainly due to the reduced off-site product transfer, and reduction in double and triple-handling of product prior to delivery.
<i>Visual Amenity and Landscaping</i>	The proposal would alter the visual appearance of the approved project, due to the additional external plant including the upgraded spring water tank farm and additional cooling plant. The new spring water tanks would have a height of approximately 11.8 metres (including gantry) and a width of 4.2 metres, which is around 3 metres higher than the existing spring water tanks, but of similar height to the existing CO2 storage tank located in the tank farm. The increase in spring water tank height is not expected to result in any significant adverse visual impacts, given that: • the tank farm is well separated from the site boundaries (see Figure 4) including Briens Road which is the key public location from which the tank farm is visible; • the tank farm is located well below the level of Briens Road. Given the site slope, the height of the proposed spring water tanks is only around 6 metres above the level of Briens Road (see Figure 5); • the proposed tank height is lower than the heights of adjacent facilities on the site, including the existing warehouse buildings, gatehouse and the approved but as yet unbuilt office building (see Figure 5); • there are no residential or other sensitive receivers on the northern side of Briens Road with views to the tank farm; and • the proposed tank height complies with the 12 metre height limit in the Parramatta DCP 2005. The additional cooling towers would be located on the roof of the existing building 128-E, but would not be readily visible from any sensitive receiver locations. The cooling plant would have a height below the level of adjacent plant on the site (see Figure 7).
<i>Hazards</i>	The proposal would not significantly alter the storage and handling of dangerous goods and hazardous substances associated with the approved project.
<i>Waste</i>	The proposal would not significantly affect waste generation or management associated with the approved project. The existing spring water tanks to be demolished would be salvaged and on-sold if possible, or otherwise recycled by a scrap metal contractor. Waste management would be undertaken in accordance with the Solid Waste and Waste Water Management Plan in the original EA.
<i>Utilities and Services</i>	The proposal would not affect the capacity of utilities and services associated with the approved project.



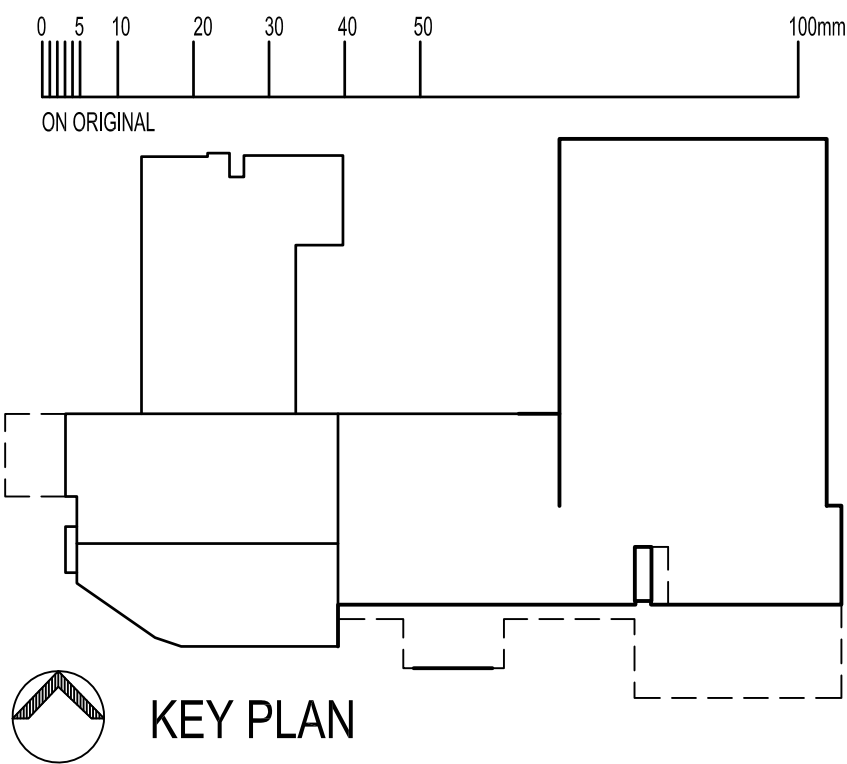
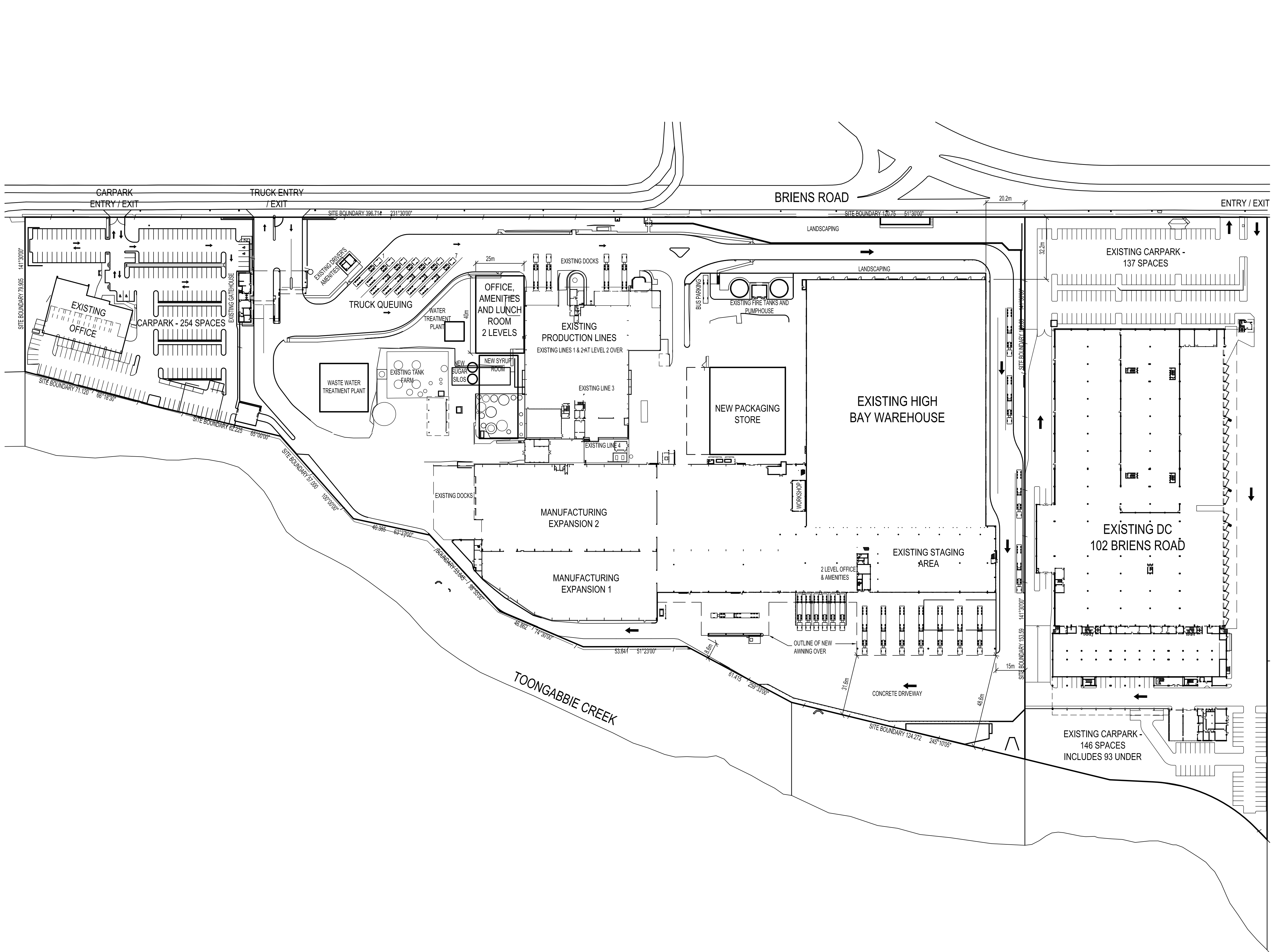
6 CONCLUSION

It is considered that the proposal represents a minor modification of the project as approved.

Having regard to all the salient environmental, social and economic issues, it is considered that the proposed modification represents continued orderly use of the land. It is respectfully requested that the Minister for Planning (or her delegate), having due regard for the information submitted in this document, grant approval to the proposed modification.



APPENDIX A



A	01-10-09	APPROVED SITE PLAN BASED ON EA01/A	JTC
REV.	DATE	AMENDMENT	SIGNED

CLIENT

COCA-COLA AMATIL

Coca-Cola Amatil (Aust) Pty Ltd
Level 15, 71 Macquarie Street Sydney NSW 2000

PROJECT

**COCA-COLA AMATIL
NORTHMEAD
REDEVELOPMENT PROJECT**

ARCHITECT

M N I A ARCHITECTS

Level 4, 8 Help Street
PO Box 1212
Chatswood NSW 2067

Telephone (02) 9495 6400
Facsimile (02) 9495 6444
mail@mnia.com.au

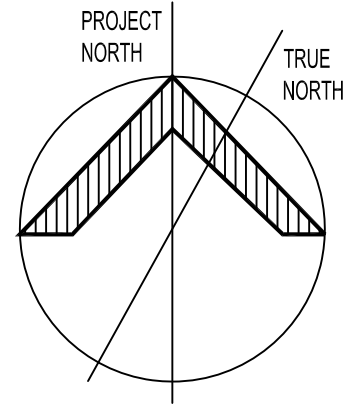
PROJECT MANAGER

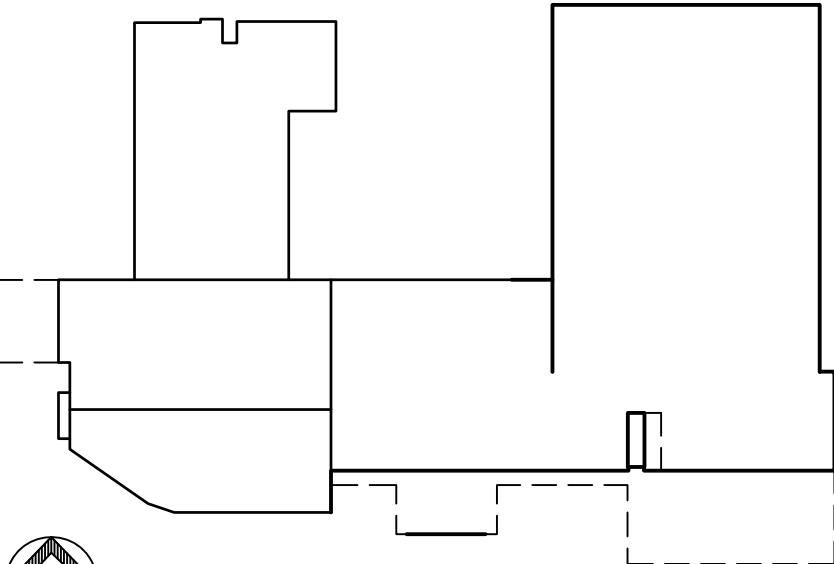
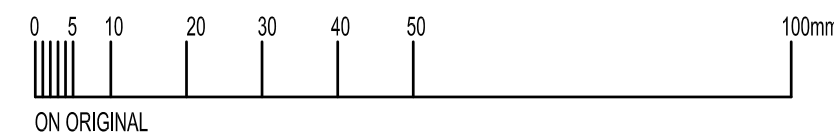
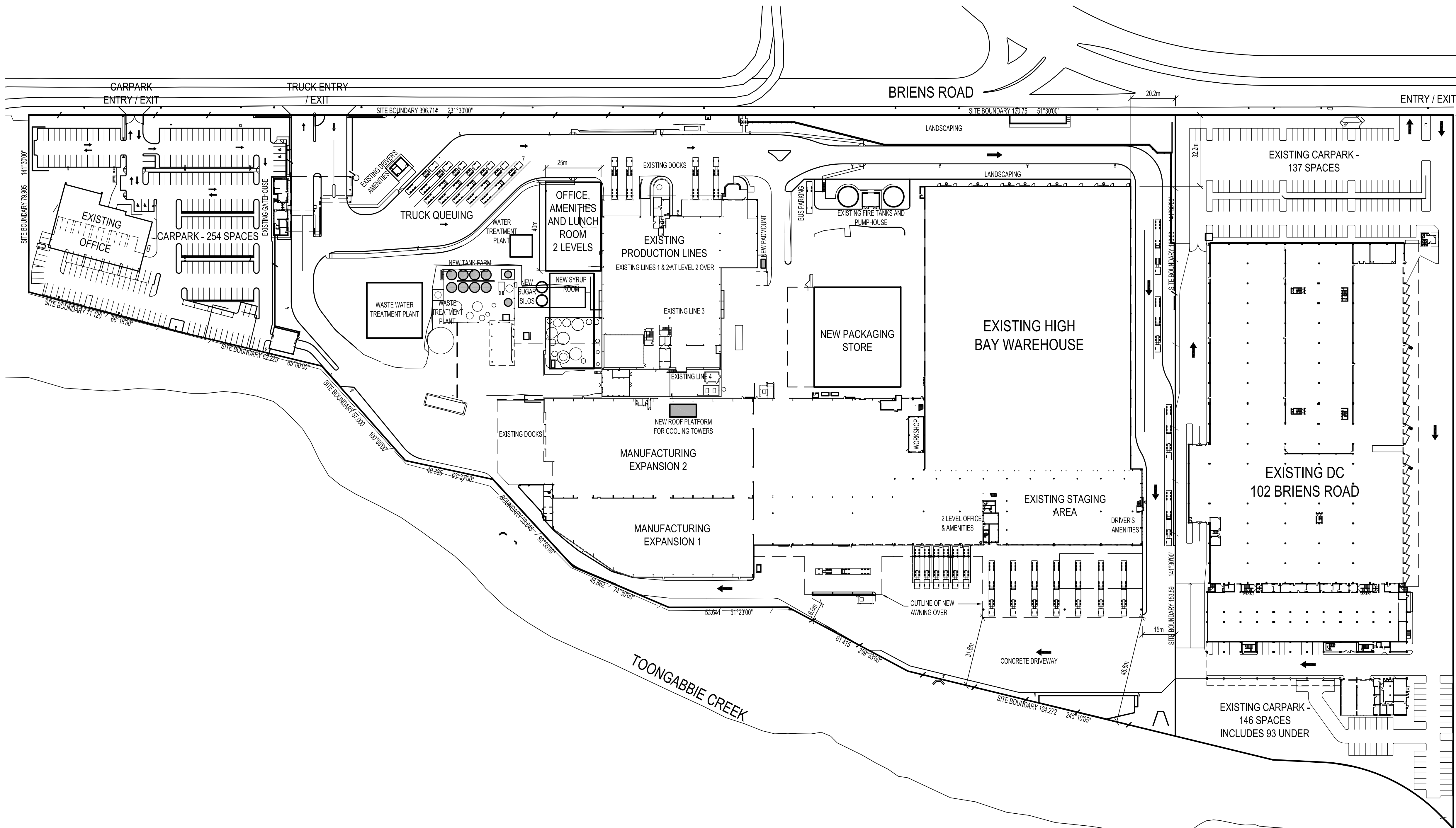
BURNS BRIDGE SERVICES PTY LTD
Level 9, 8-10 Loftus Street Sydney NSW 2000
Tel: (02) 8220 0800 Fax: (02) 8220 0800

TITLE

SITE PLAN - AS APPROVED

DATE	24-07-06	PROJECT No.	0538	STATUS	AR/EA
SCALE	1:1000 A1 - 1:2000 A3				
DRAWN	JTC				
CHECKED		DWG No.		REV No.	
APPROVED			EA 08	/A	





KEY PLAN

B	01-10-09	PROPOSED TANK FARM, ROOF PLATFORM AND PADMOUNT ADDED	JTC
A	16-08-08	NEW DRAWING	JTC
REV.	DATE	AMENDMENT	SIGNED



Coca-Cola Amatil (Aust) Pty Ltd
Level 15, 71 Macquarie Street Sydney NSW 2000

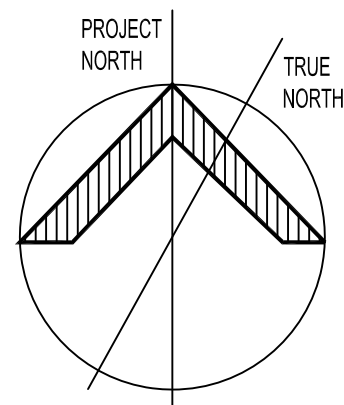
PROJECT
**COCA-COLA AMATIL
NORTHMEAD
REDEVELOPMENT PROJECT**

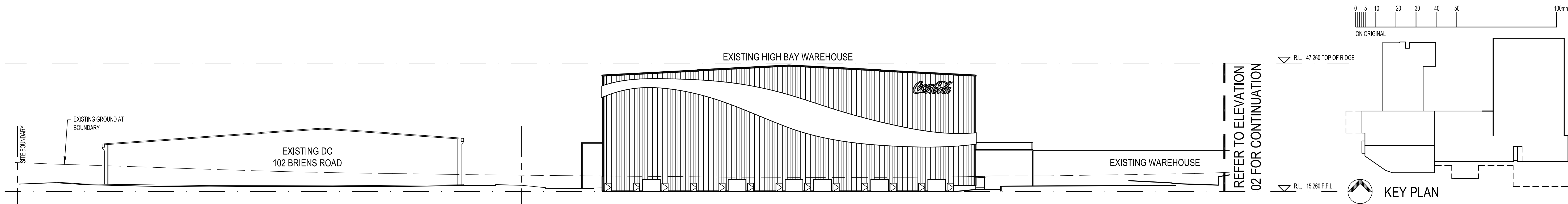
ARCHITECT
M N I A ARCHITECTS
Level 4, 8 Help Street
PO Box 1212
Chatswood NSW 2067
Telephone (02) 9495 6400
Facsimile (02) 9495 6444
mail@mnia.com.au

PROJECT MANAGER
BURNS BRIDGE SERVICES PTY LTD
Level 9, 8-10 Loftus Street Sydney NSW 2000
Tel: (02) 8220 0800 Fax: (02) 8220 0800

TITLE
**MASTER SITE PLAN
- AS PROPOSED**

DATE	24-07-06	PROJECT No.	0538	STATUS	AR/EA
SCALE	1:1000 A1 - 1:2000 A3				
DRAWN	JTC	DWG No.		REV No.	
CHECKED					
APPROVED			EA 01	/B	



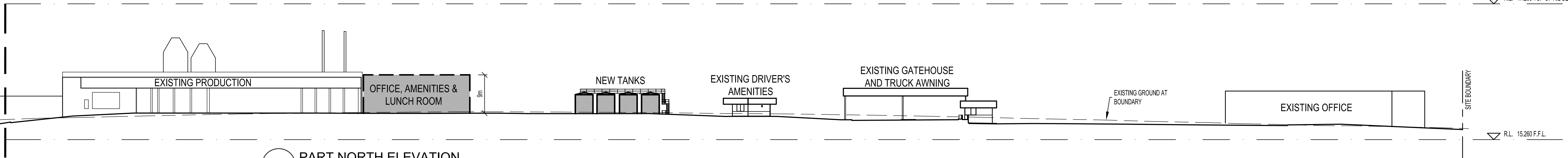


01 PART NORTH ELEVATION
VIEW FROM BRIENS ROAD

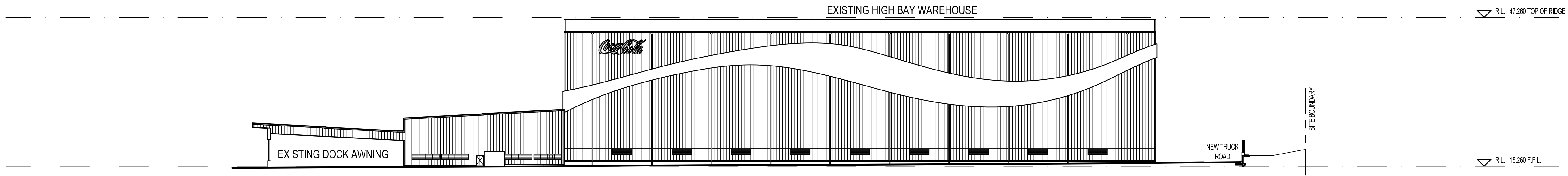
REFER TO ELEVATION
02 FOR CONTINUATION

KEY PLAN

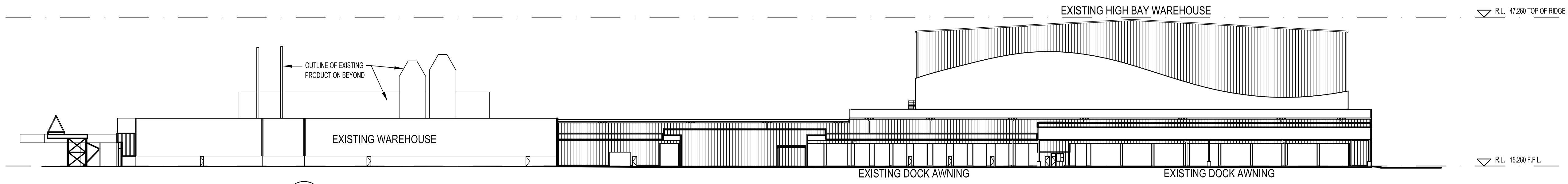
REFER TO ELEVATION
01 FOR CONTINUATION



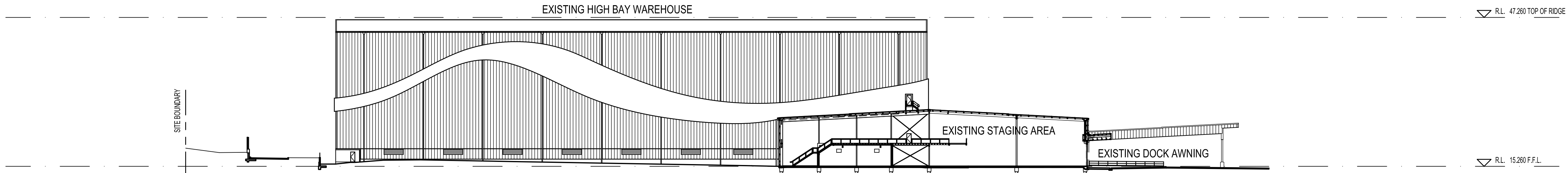
02 PART NORTH ELEVATION
VIEW FROM BRIENS ROAD



03 EAST ELEVATION



04 SOUTH ELEVATION
VIEW FROM TOONGABBIE CREEK



05 WEST ELEVATION

B	01-10-09	PROPOSED TANKS SHOWN	JTC
A	16-06-06	NEW DRAWING	JTC
REV.	DATE	AMENDMENT	SIGNED

CLIENT



Coca-Cola Amatil (Aust) Pty Ltd
Level 15, 71 Macquarie Street Sydney NSW 2000

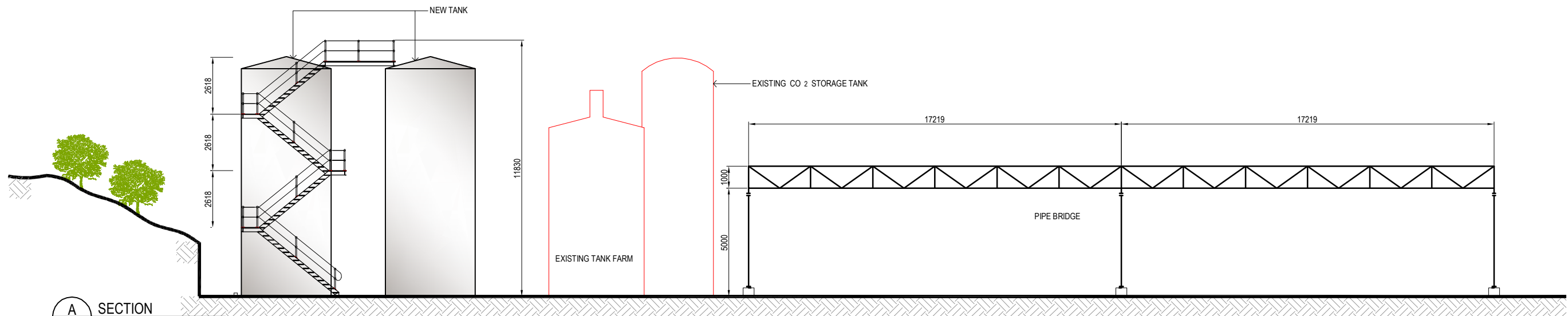
PROJECT
COCA-COLA AMATIL
NORTHMEAD
REDEVELOPMENT PROJECT

ARCHITECT
M NIA ARCHITECTS
Level 4, 8 Help Street
PO Box 1212
Chatswood NSW 2067
Telephone (02) 9495 6400
Facsimile (02) 9495 6444
mail@mnia.com.au

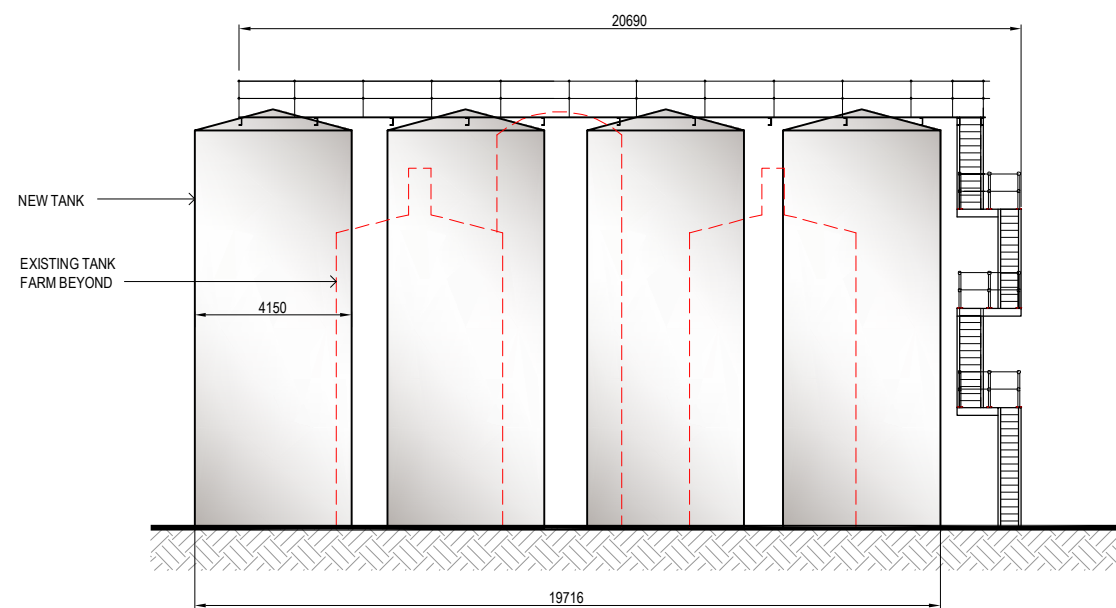
PROJECT MANAGER
BURNS BRIDGE SERVICES PTY LTD
Level 9, 8-10 Loftus Street Sydney NSW 2000
Tel: (02) 8220 0800 Fax: (02) 8220 0800

TITLE
ELEVATIONS

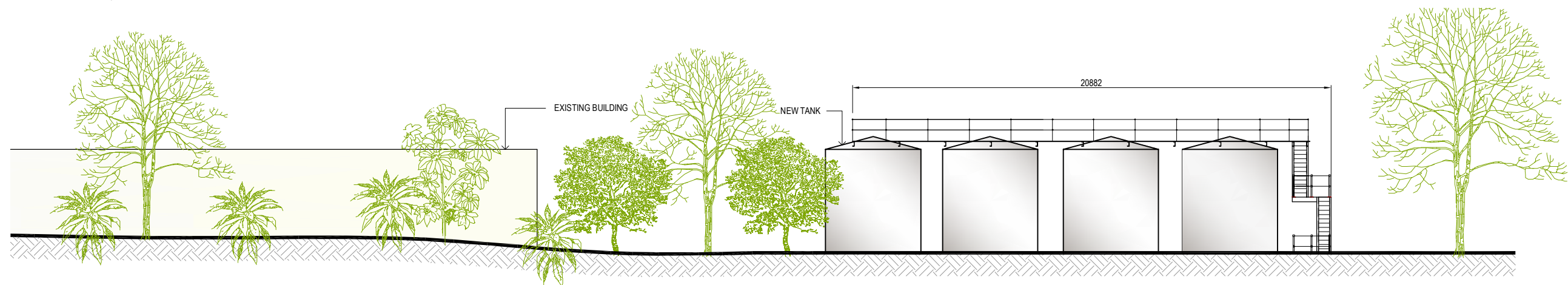
DATE	24-07-06	PROJECT No.	0538	STATUS	AR/EA
SCALE	1:500 A1 - 1:1000 A3				
DRAWN	JTC	DWG No.		REV No.	
CHECKED					
APPROVED			EA 04	/B	



A SECTION
1:100



B SECTION
1:100



C SECTION
1:100

No.	Revision	By	Chk	Appd	Date
B	ISSUED FOR INFORMATION	SP	JL	PC	18.09.09
A	ISSUED FOR INFORMATION	SD	JL	PC	11.09.09

Drawing Originator:



Original Scale (A1)	Design	JL	30.07.09	Approved For Construction*
AS SHOWN	Drawn	SD	30.07.09	
Reduced Scale (A3)	Dsg. Verifier	PC	30.07.09	
	Dwg. Check	SE	30.07.09	Date
* Refer to Revision 1 for Original Signature				

Client:



Project:

PROJECT FLINT
NORTHMEAD

Title:

SPRING WATER PROJECT
STORAGE AREA SECTIONS

Discipline

ARCHITECTURAL

Drawing No.

2570726-A-003

Rev.

B

FOR INFORMATION
NOT FOR CONSTRUCTION