

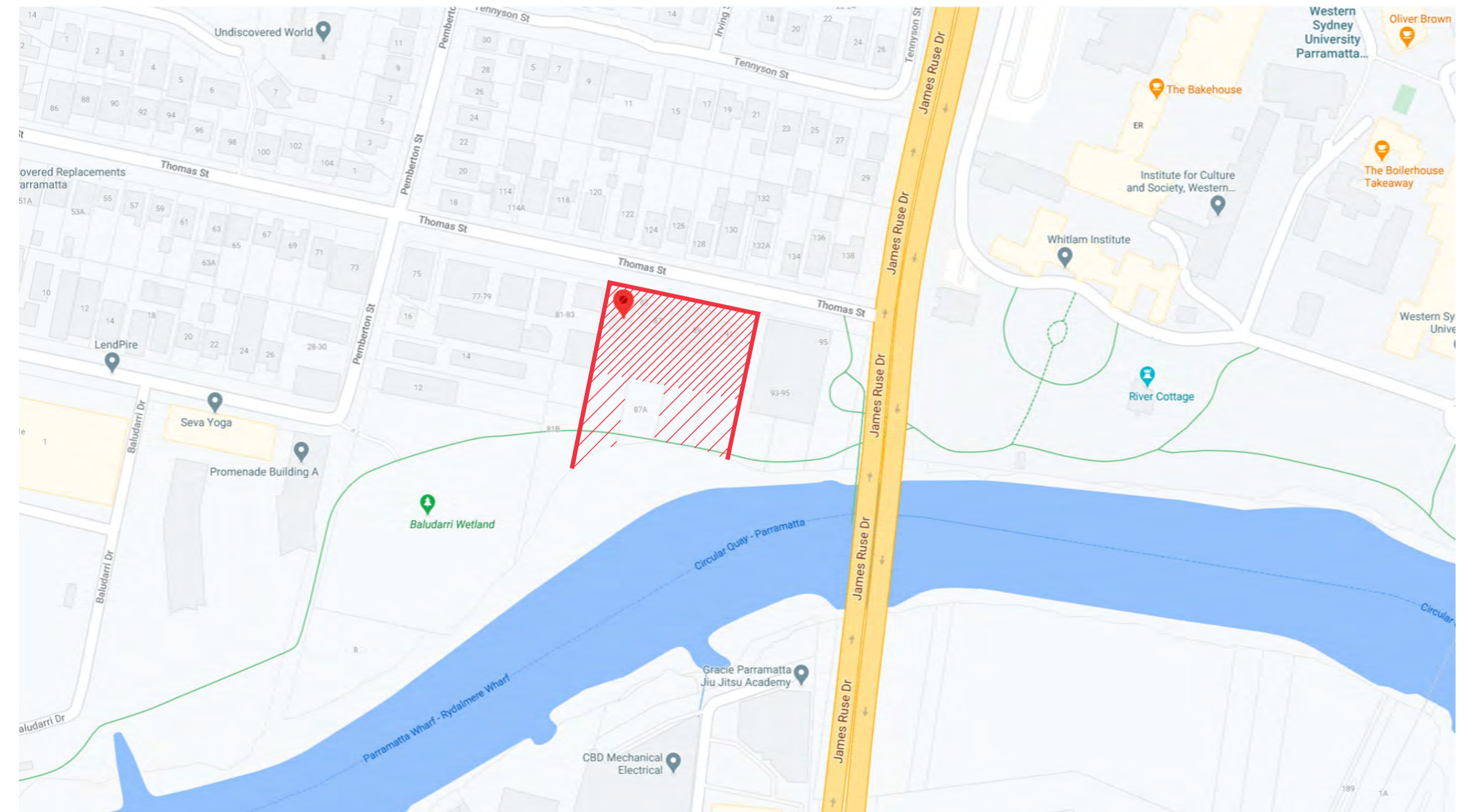
PROPOSED RESIDENTIAL DEVELOPMENT

85 - 91 Thomas Street Parramatta NSW 2150

Landscape SSDA DRAWINGS

DRAWING SCHEDULE

DWG NO.	DRAWING TITLE	SCALE
000	COVER SHEET	N/A
001	TREE CANOPY COVERAGE PLAN	1:200 @ A1
100	LANDSCAPE SITE PLAN	1:200 @ A1
C100	LANDSCAPE COMPOSITE PLAN (RENDER)	1:150 @ A1
101	LANDSCAPE PLAN - Ground Floor	1:150 @ A1
102	LANDSCAPE PLAN - Level 7	1:100 @ A1
103	LANDSCAPE PLAN - Level 8	1:100 @ A1
201	LANDSCAPE PLANTING PLAN - Ground Floor	1:150 @ A1
202	LANDSCAPE PLANTING PLAN - Level 7	1:100 @ A1
203	LANDSCAPE PLANTING PLAN - Level 8	1:100 @ A1
500	LANDSCAPE SPECIFICATION & INDICATIVE PLANT SCHEDULE	N/A
501	LANDSCAPE DETAILS	As Shown @ A1
502	LANDSCAPE DETAILS	As Shown @ A1



Location Plan

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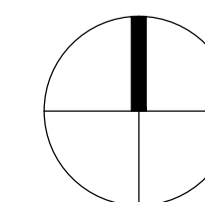
LEGEND

Issue	Revision Description	Drawn	Check	Date
K	For SSDA	HT	RS	17.10.2025
J	For SSDA	HT	RS	16.10.2025
I	For SSDA	PH	RS	18.06.2025
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C	For DA	MJW	RS	28.03.2023
B	For Approval	MJW	RS	24.03.2023
A	For Approval	MJW	RS	02.03.2023

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Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9668 2877
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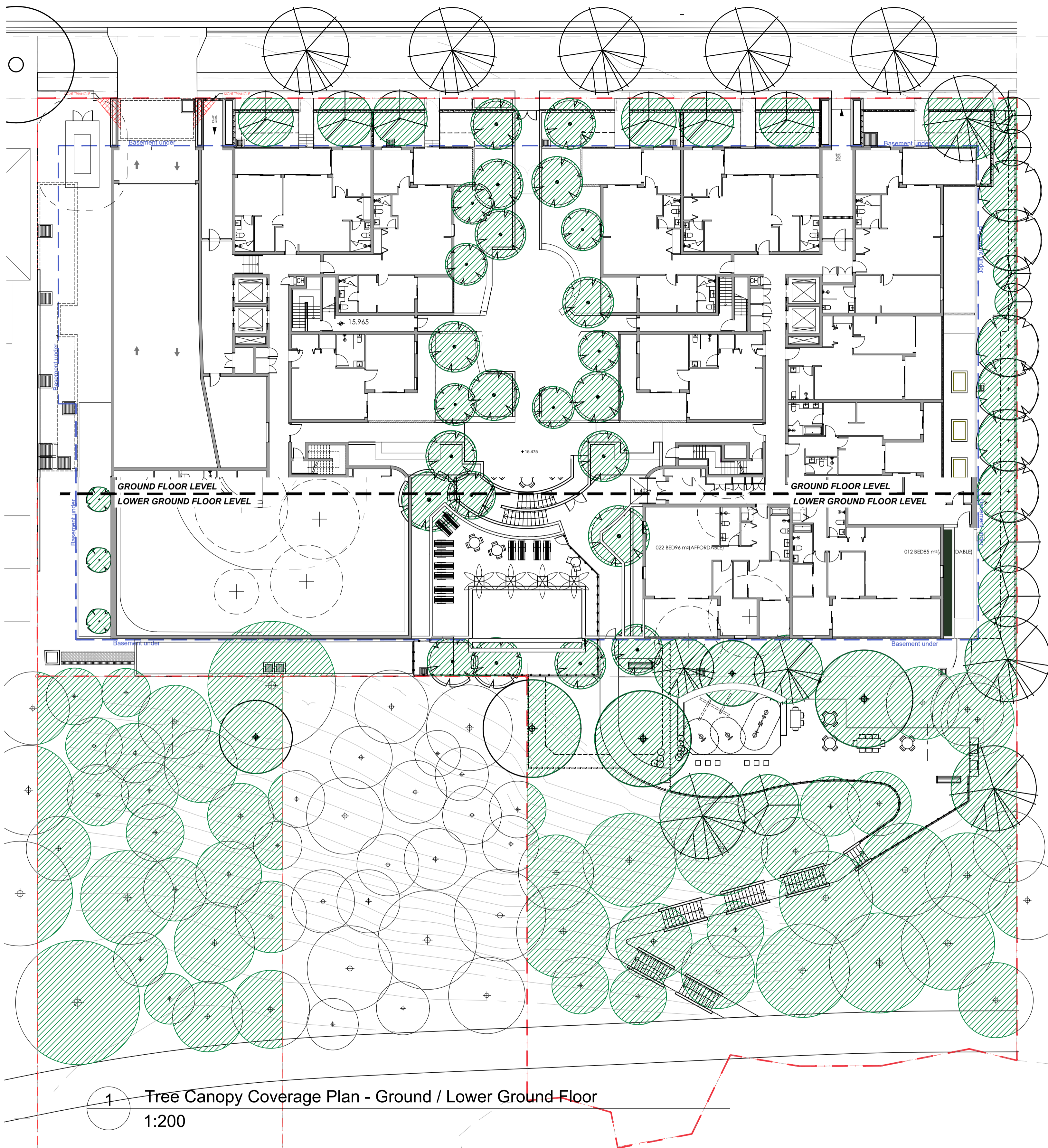


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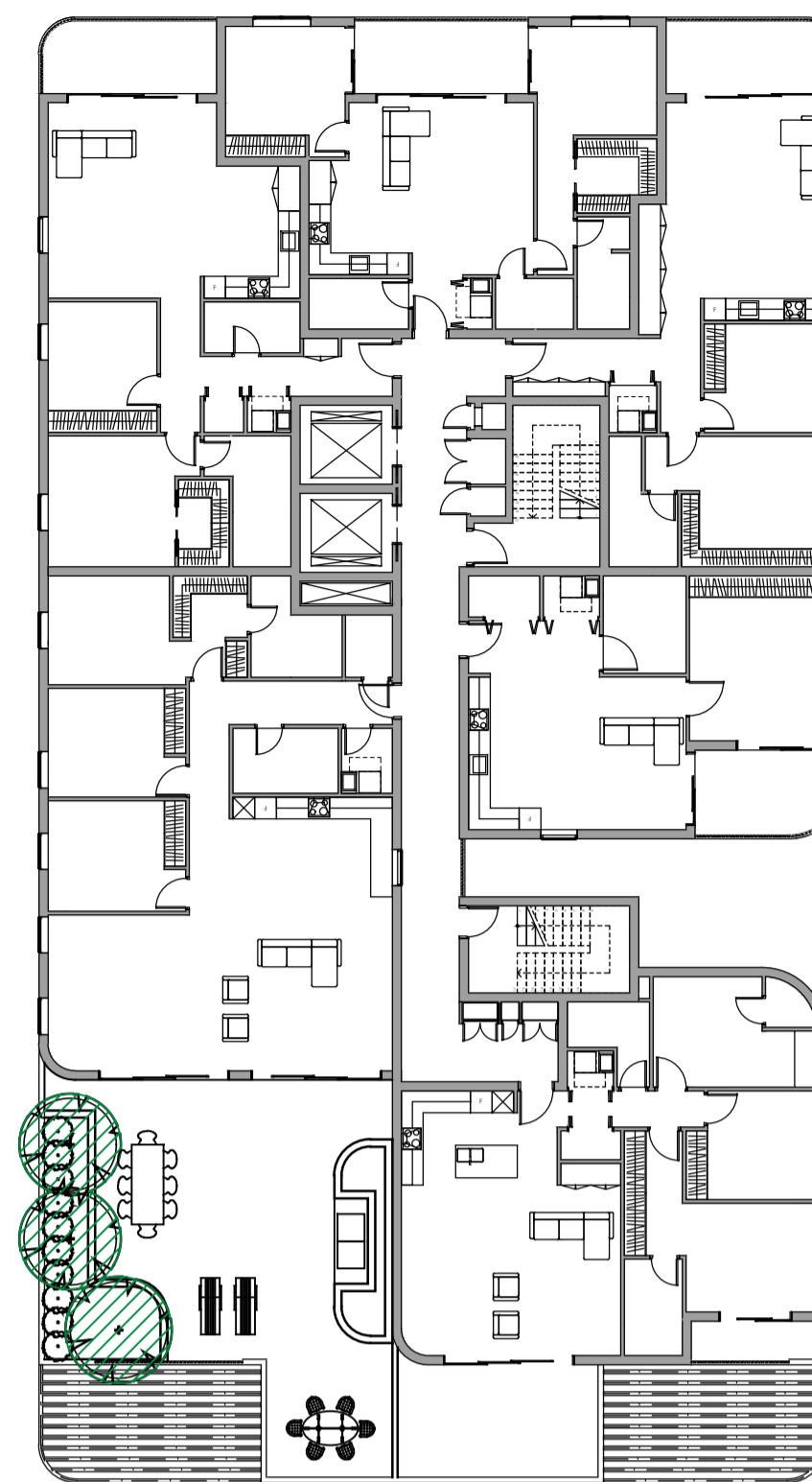
Project:
Proposed Residential Development
85-91 Thomas Street
Parramatta

Drawing Name:
Cover Sheet

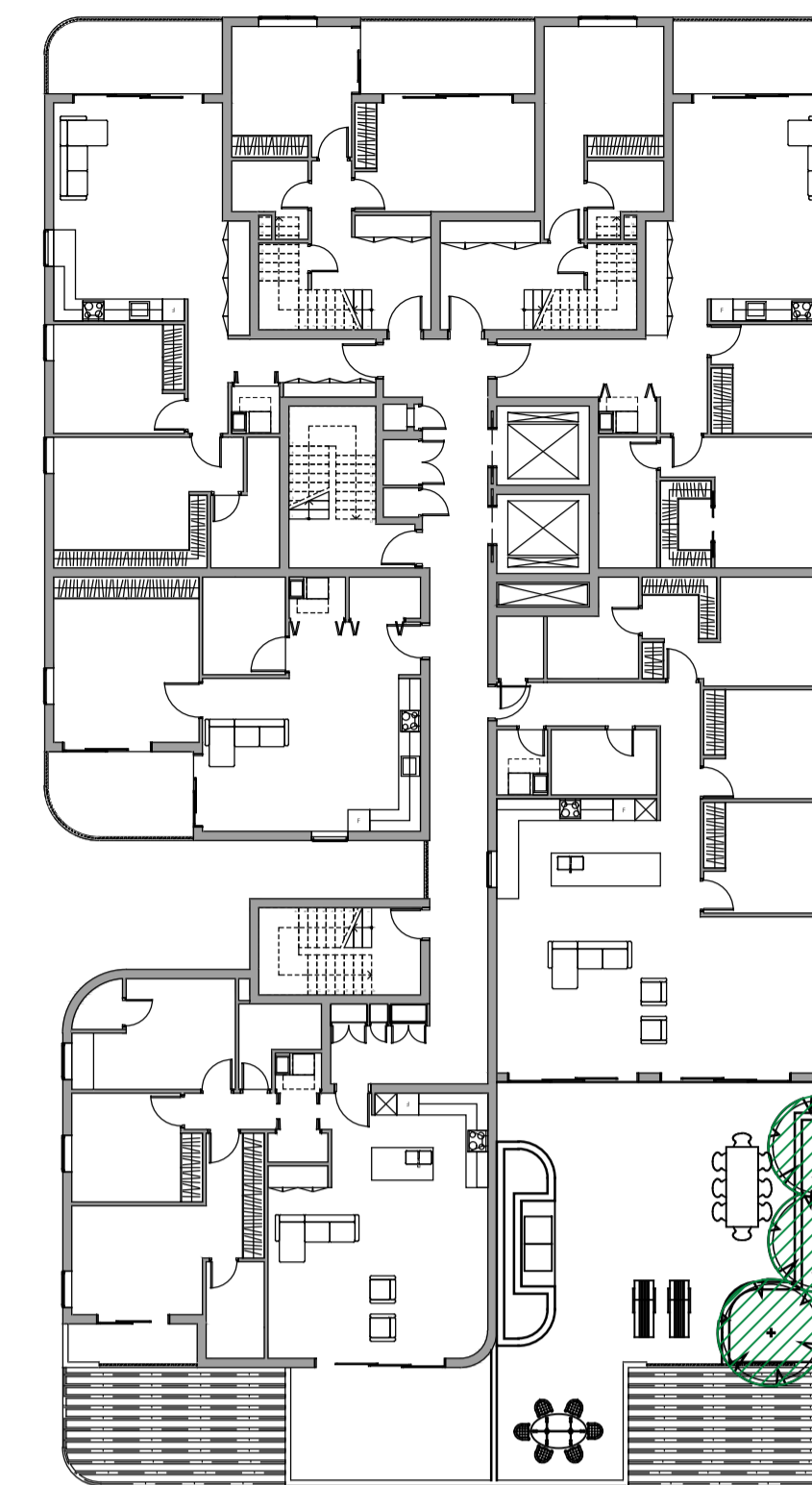
SSDA
Scale:
Job Number:
SS20-4545
Drawing Number:
000
Issue:
K



1 Tree Canopy Coverage Plan - Ground / Lower Ground Floor
1:200



2 Tree Canopy Coverage Plan - Level 7
1:200



3 Tree Canopy Coverage Plan - Level 8
1:200

Site area:	5572.15 m ²
Tree canopy area:	
Ground / Lower ground floor:	2024.43 m ²
Level 7:	37.90 m ²
Level 8:	58.17 m ²
Tree canopy as % of site area:	36.33 %
Canopy coverage target	
Medium density:	20 - 25 %

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B	For SSDA	HT	RS	16.10.2025
A	For SSDA	PH	RS	18.06.2025
Issue	Revision Description	Drawn	Check	Date

LEGEND

-  Tree canopy coverage
-  Site boundary

SITE IMAGE



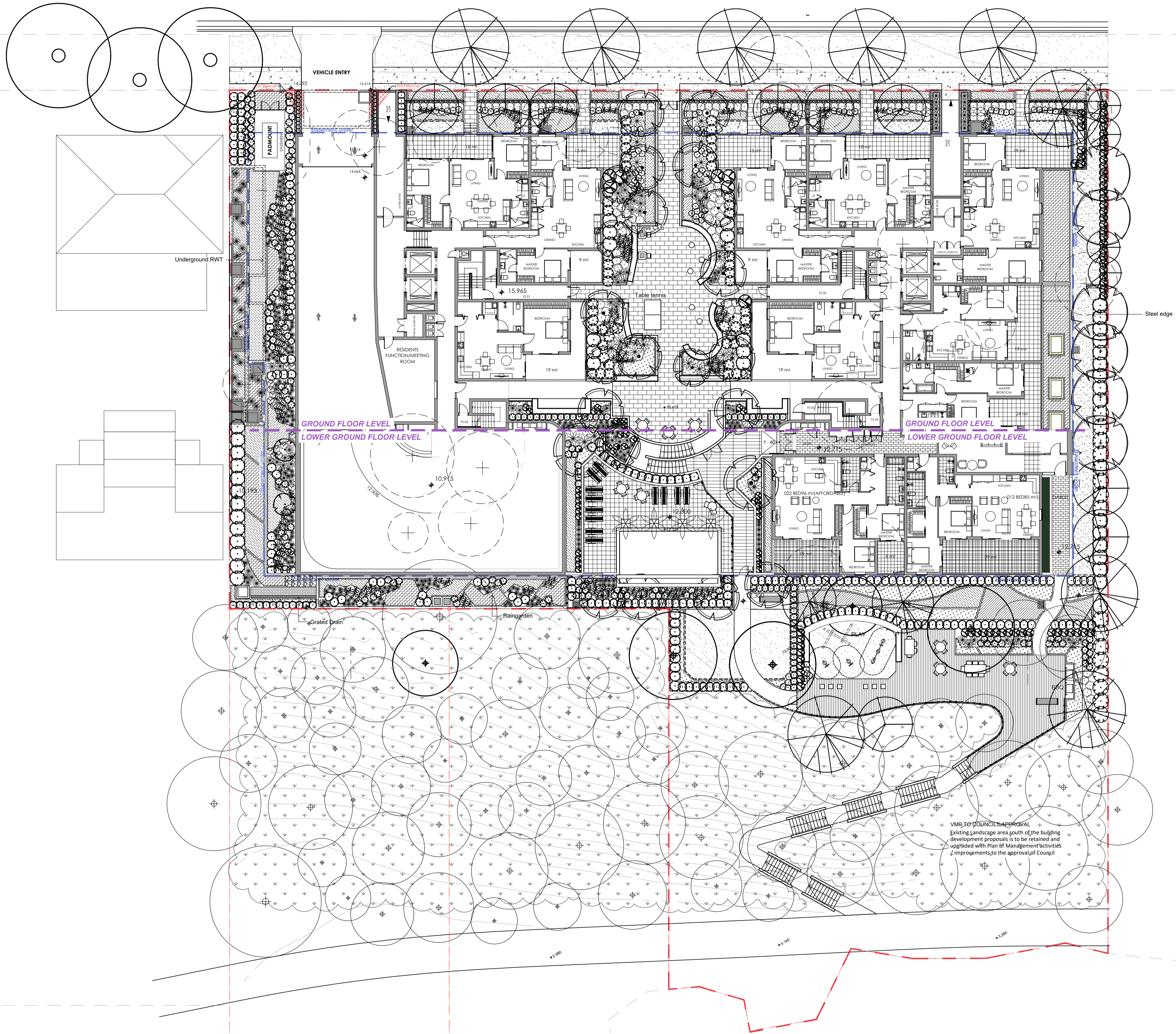
Client:
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Project:
Proposed Residential Development
85-91 Thomas Street
Parramatta

Drawing Name:
Tree Canopy Coverage Plan

Scale: 1:200 @ A1
Job Number:
SS20-4545

SSDA
0 1 2 4 6 10m
Drawing Number:
001 B



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A	For Approval	MJW	RS	02.03.2023

LEGEND

	Existing Trees to be Removed		Proposed Shrub and Accent		Proposed Courtyards (see architect's drawings)		Concrete Path
	Existing Trees to be Retained		Proposed Grasses and Groundcovers		Proposed Paving Main Entry		Basement under
	Proposed Tree Planting		Planting Areas		Proposed Bench Seating		Steel Edge
			Turf		Gravel Mulch To Level 8		Fencing

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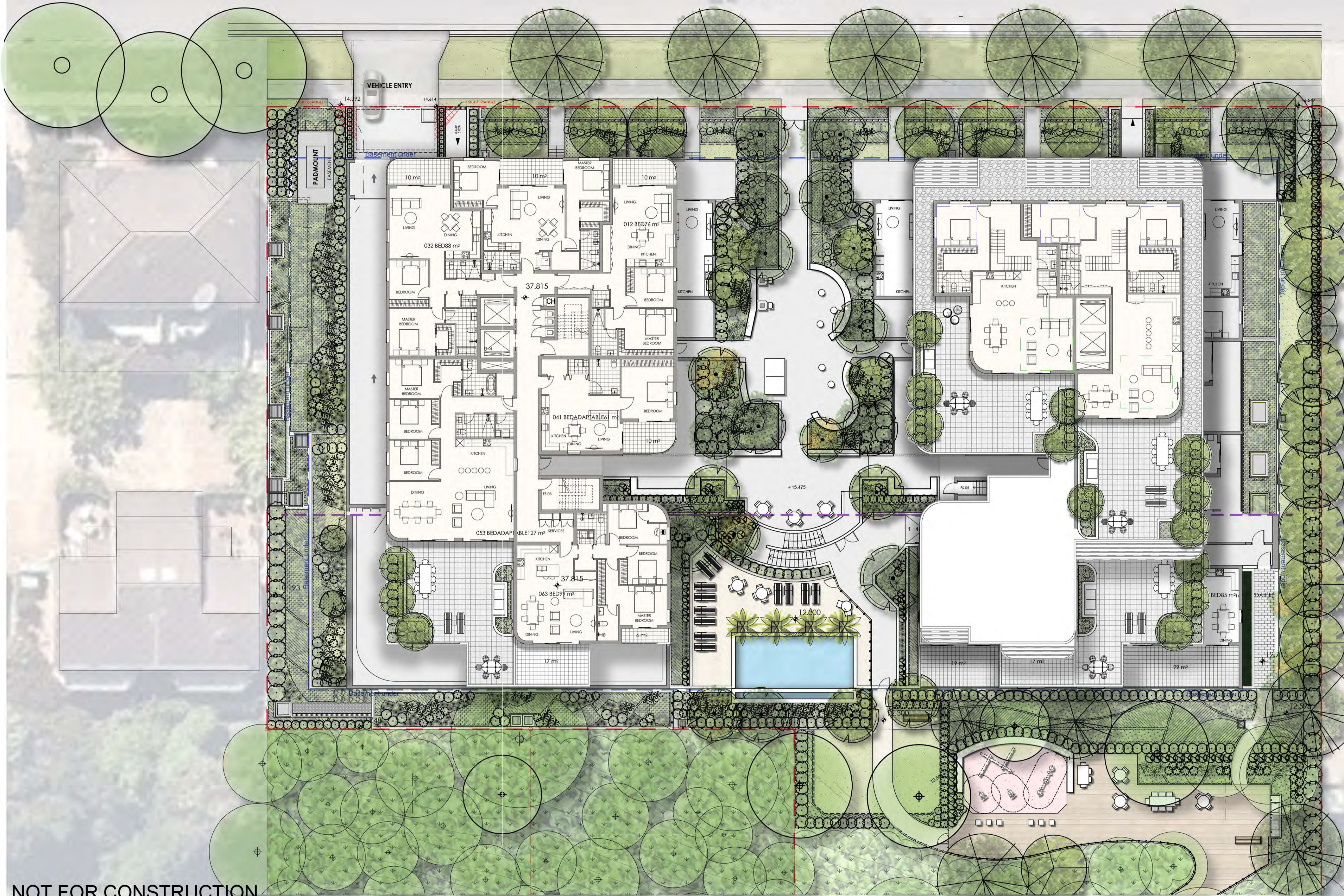
Client:
Century 888 Pty Ltd

Project:
Proposed Residential Development
85-91 Thomas Street
Parramatta

Drawing Name:
Landscape Site Plan

Scale: 1:200 @ A1
Job Number:
SS20-4545

SSDA
0 1 2 4 6 10m
Drawing Number:
Issue:
100 K



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LEGEND	
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	Existing Trees to be Retained
	Proposed Tree Planting
	Proposed Shrub and Accent
	Proposed Grasses and Groundcovers
	Planting Areas
	Turf
	Proposed Courtyards (see architect's drawings)
	Proposed Paving Main Entry
	Proposed Bench Seating
	Gravel Mulch To Level 0
	Concrete Path
	Basement under
	Steel Edge
	Fencing

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 Landscape Architects
 Level 1, 3-5 Baptist Street
 Redfern NSW 2016
 Australia
 Tel: (61 2) 8332 5600
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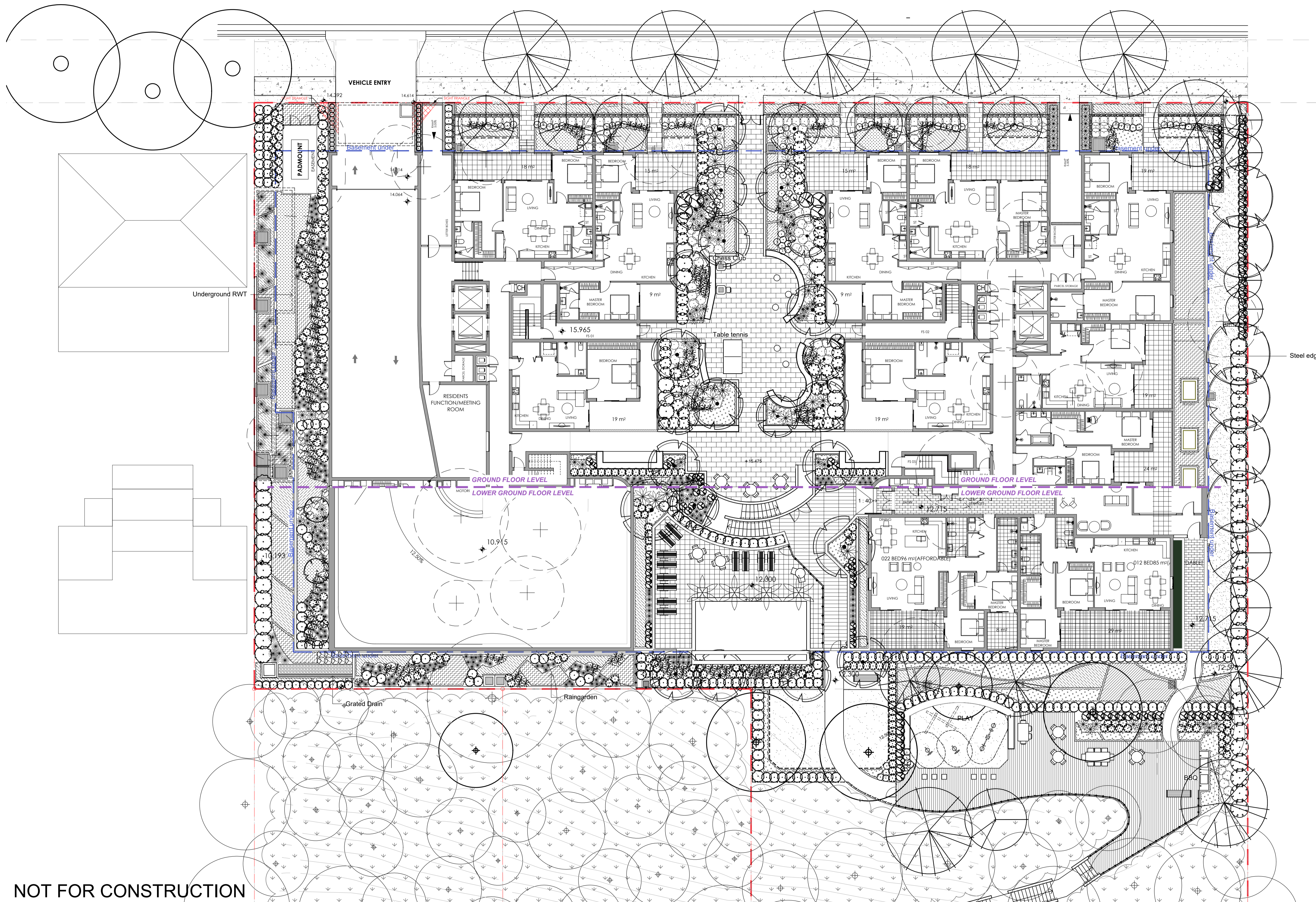
Project:
Proposed Residential Development
 85-91 Thomas Street
 Parramatta

Drawing Name:
Landscape Composite Plan (Render)

SSDA

Scale: 1:150 @ A1
 Job Number: SS20-4545

0 1 2 3 4 5m
 Drawing Number: C100
 Issue: K



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LEGEND	
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	Proposed Tree Planting
	Proposed Shrub and Accent
	Proposed Grasses and Groundcovers
	Planting Areas
	Turf
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	Proposed Paving Main Entry
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 Level 1, 3-5 Baptist Street
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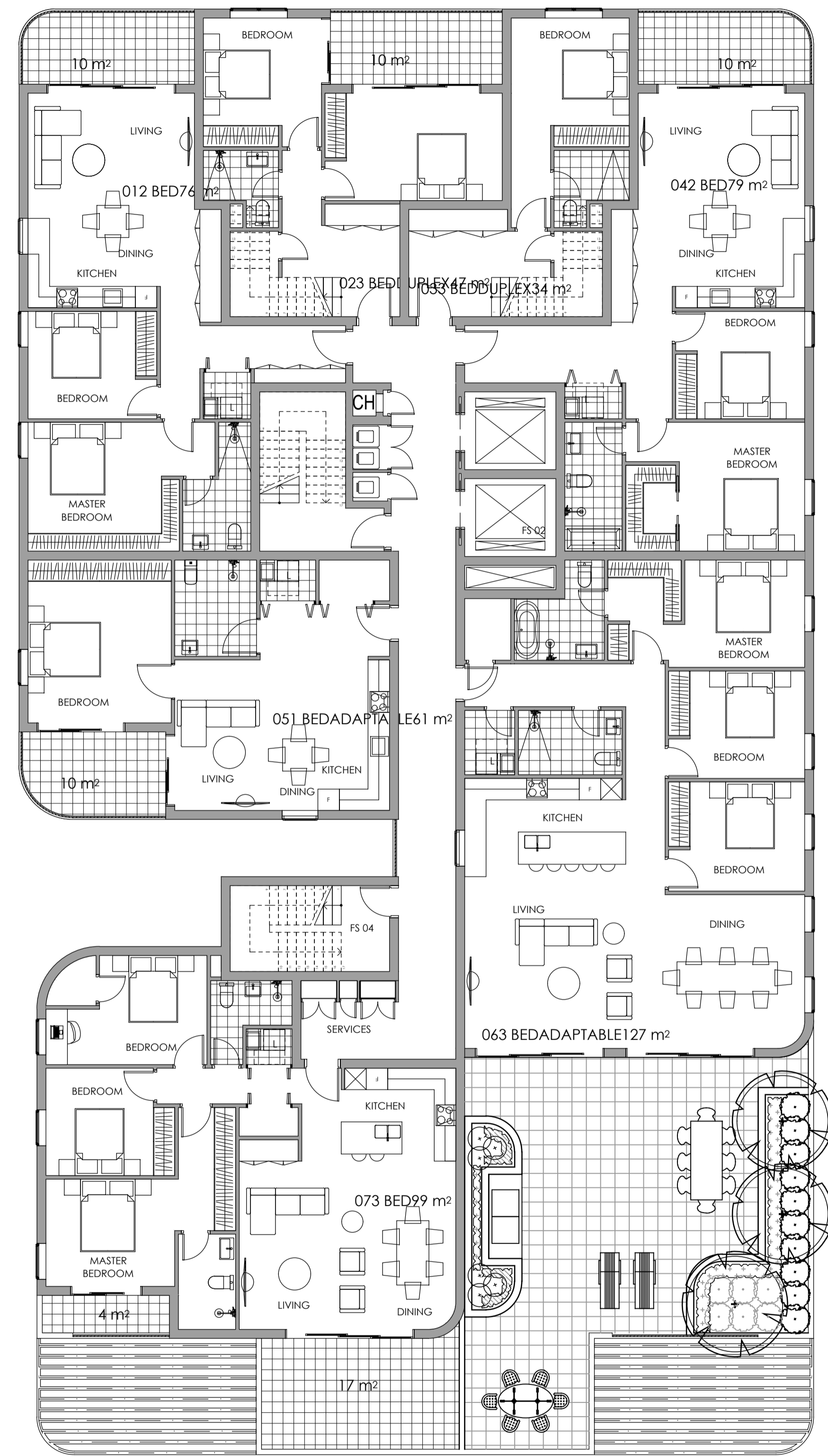
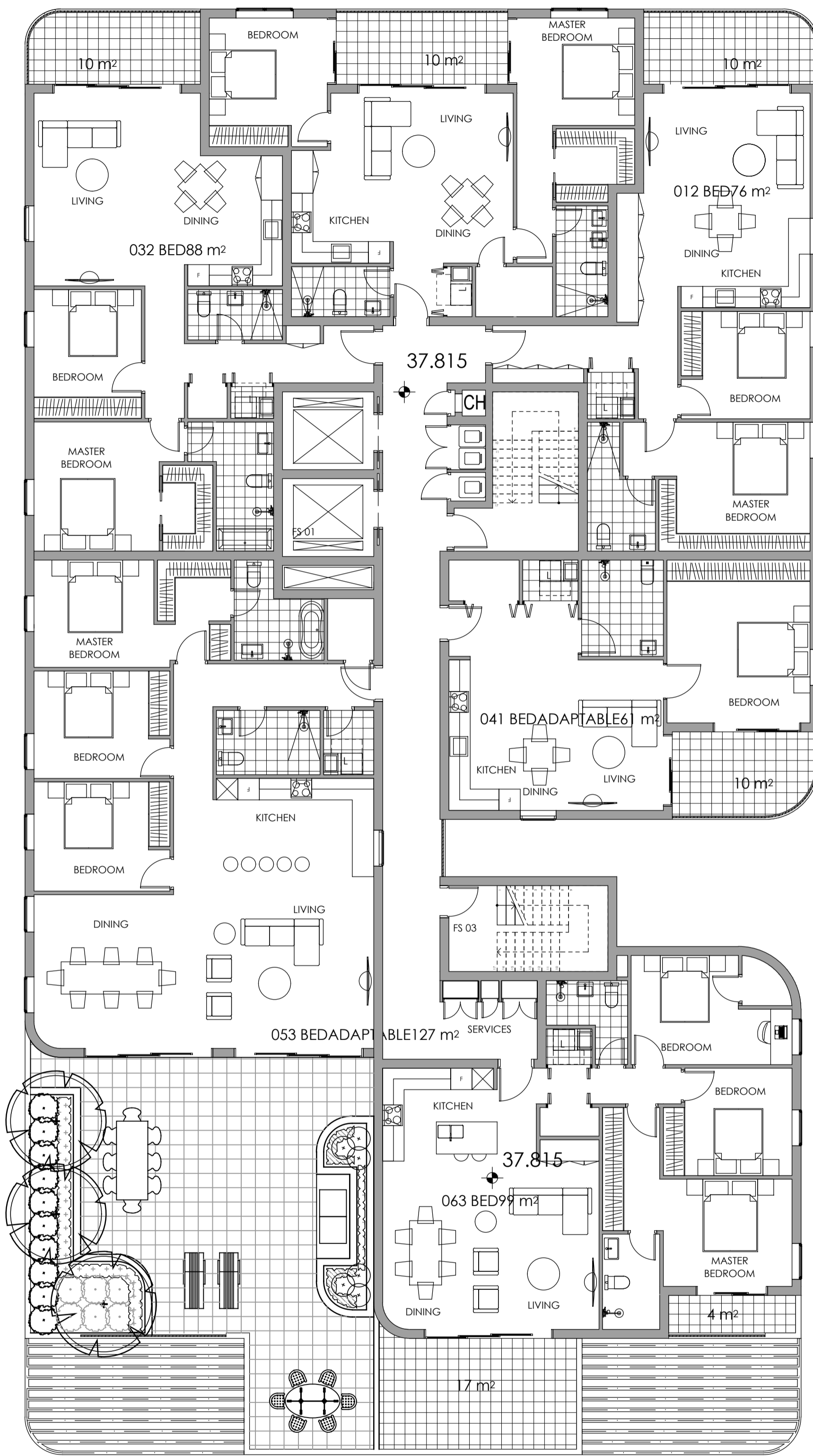
Project:
Proposed Residential Development
 85-91 Thomas Street
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Drawing Name:
Landscape Plan
 - Ground Floor

Scale: 1:150 @ A1

Job Number:
SS20-4545

Drawing Number:
101 K



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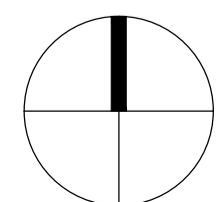
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LEGEND

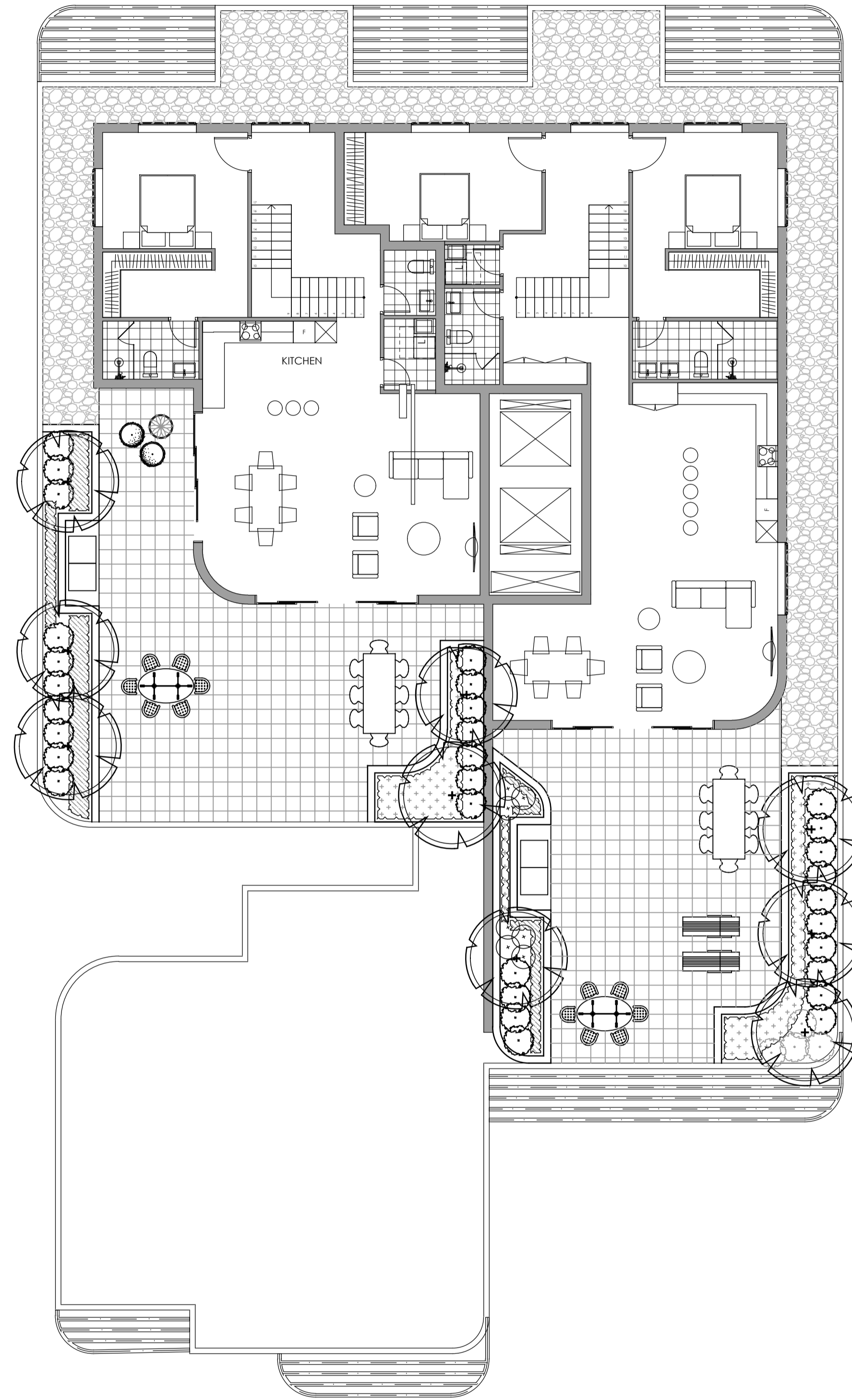
	Existing Trees to be Removed		Proposed Shrub and Accent
	Existing Trees to be Retained		Proposed Grasses and Groundcovers
	Proposed Tree Planting		Planting Areas
	Proposed Courtyards (see architect's drawings)		Turf
	Proposed Paving Main Entry		Concrete Path
	Proposed Bench Seating		Basement under
	Gravel Mulch To Level 8		Steel Edge
	Proposed Courtyards (see architect's drawings)		Fencing



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Project: **Proposed Residential Development**
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Parramatta

Drawing Name: **Landscape Plan - Level 7**
Scale: **1:100 @ A1**
Job Number: **SS20-4545**
Drawing Number: **102** Issue: **K**



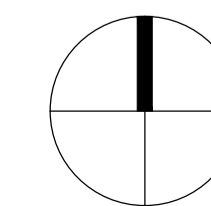
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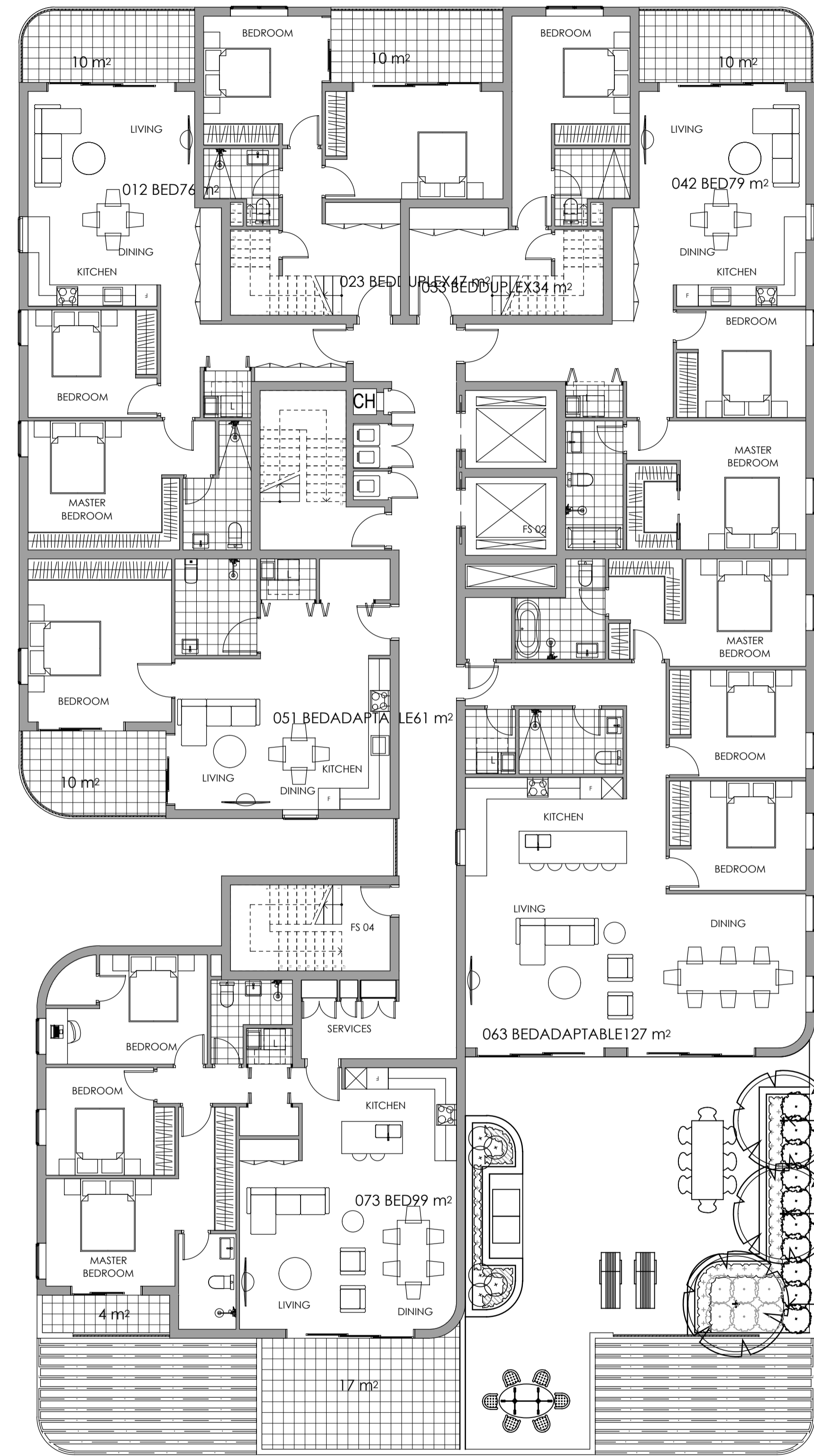
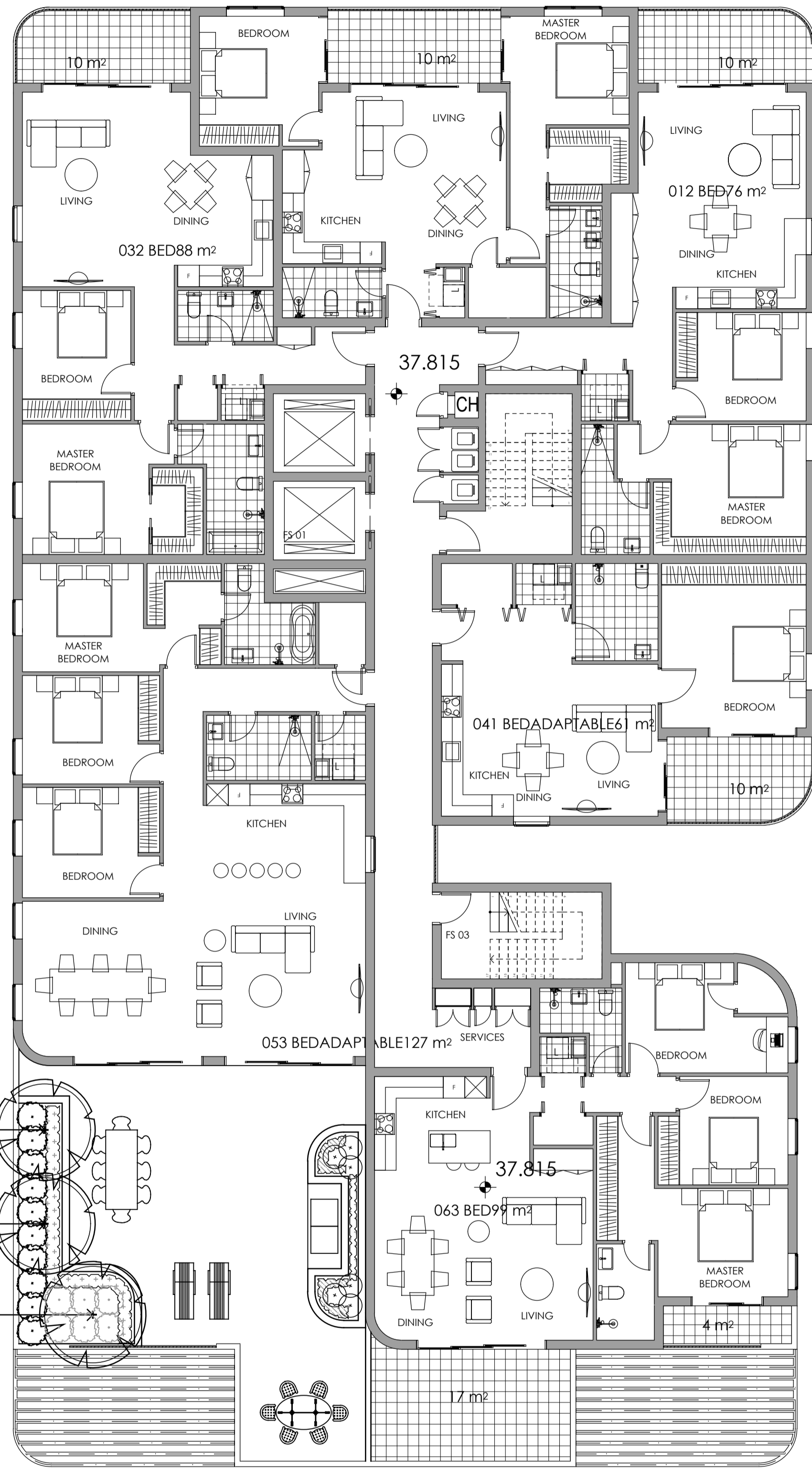
Client:
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Project:
Proposed Residential Development
85-91 Thomas Street
Parramatta

Drawing Name:
Landscape Plan - Level 8

Scale: 1:100 @ A1
 Job Number:
SS20-4545

SSDA
 0 1 2 3 4 5m
 Drawing Number:
103 A
 Issue:



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C	For DA	MJW	RS	28.03.2023
B	For Approval	MJW	RS	24.03.2023
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LEGEND

- Existing Trees to be Removed
- Existing Trees to be Retained
- Proposed Tree Planting
- Proposed Shrub and Accent
- Proposed Grasses and Groundcovers
- Planting Areas
- Turf
- Proposed Courtyards (see architect's drawings)
- Proposed Paving Main Entry
- Proposed Bench Seating
- Gravel Mulch To Level 8
- Concrete Path
- Basement under
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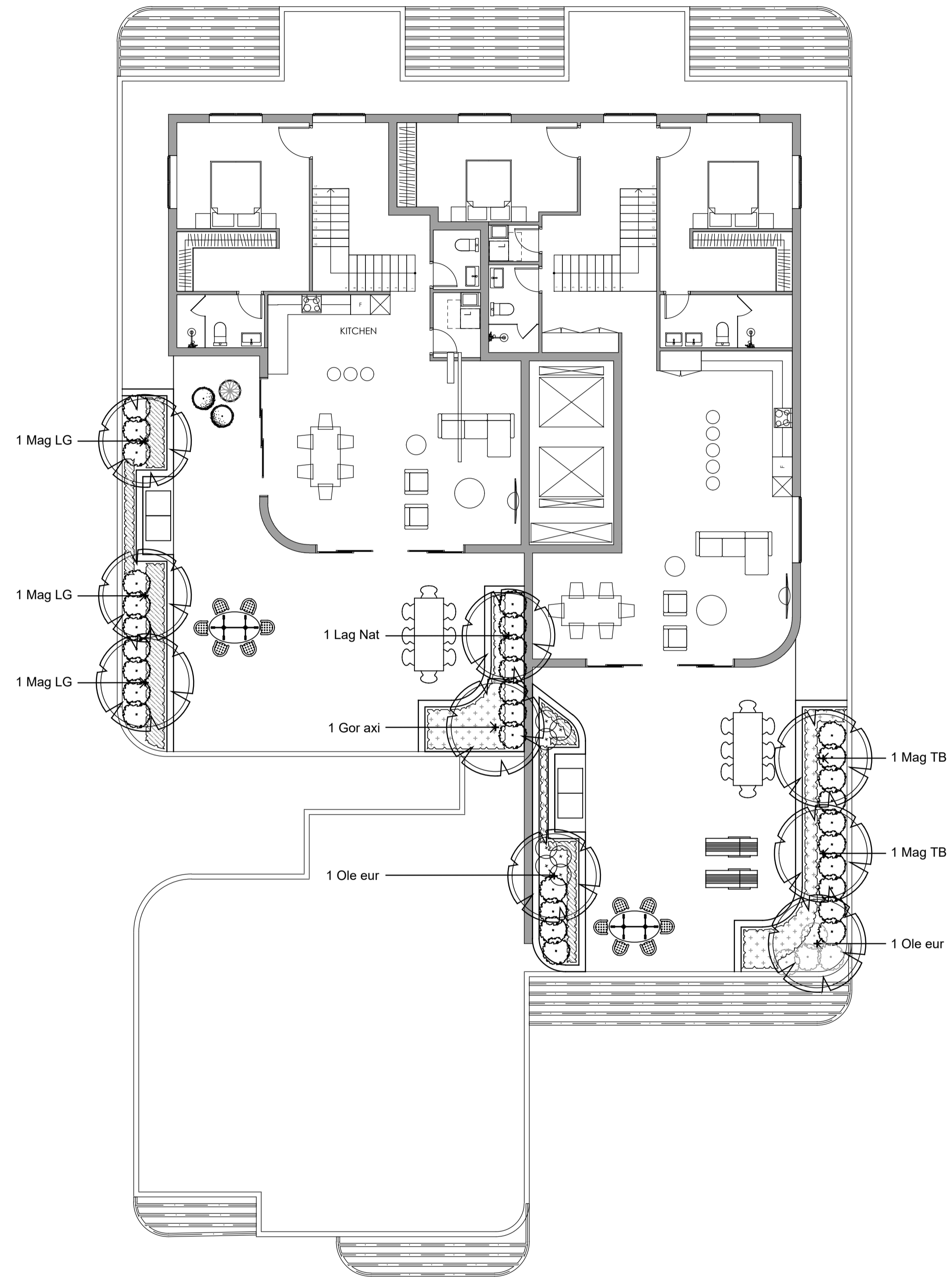
Client:
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Project:
Proposed Residential Development
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Drawing Name:
Landscape Planting Plan - Level 7

Scale: 1:100 @ A1
Job Number:
SS20-4545

SSDA
Drawing Number:
202 K



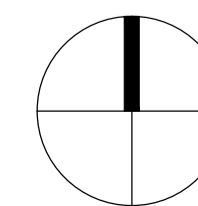
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	Existing Trees to be Retained		Proposed Grasses and Groundcovers		Proposed Paving Main Entry		Basement under
	Proposed Tree Planting		Planting Areas		Proposed Bench Seating		Steel Edge
			Turf		Gravel Mulch To Level 8		Fencing



SITE IMAGE



Client:
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Project:
Proposed Residential Development
85-91 Thomas Street
Parramatta

Drawing Name:
Landscape Planting Plan - Level 8

Scale: 1:100 @ A1
Job Number:
SS20-4545

SSDA
0 1 2 3 4 5m
Drawing Number:
203 A
Issue:

LANDSCAPE SPECIFICATION

GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

EXISTING TREES AND SHRUBS

Trees and Shrubs to be Retained and Protected

Identify and mark trees and shrubs to be retained using a suitable non-injurious, easily visible and removable means of identification. Protect from damage the trees and shrubs to be retained, including those beyond the site area, both above and below the ground. If a tree becomes damaged during the works or it is proposed to perform work on a tree, give written notice immediately and obtain instructions.

Work near Trees and Shrubs

Keep the area of the drip-line free from construction material and debris. Do not place bulk materials and harmful materials under foliage canopies or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown building materials, such as cement, from covering trees and other plants. Do not remove topsoil from, or add topsoil to, the area within the drip-line of trees.

EARTHWORKS

Excavation, Trimming and Filling

Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. After the completion of bulk excavation by others, trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Prepare the sub-grade surface as required for the various finished ground treatments.

Sub-soil Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks and course sharp aggregate backfilling of trenches.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

Garden Walls, Fences, Steps, TGSI and Edging

Construct garden walls, fences, steps, TGSI and edging as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with standards and applicable legislation. Refer to engineer's details for structural retaining walls, heavy duty slabs, concrete stairs, concrete strength, reinforcing and joint placement.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving.

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Confer with the engineer to ensure the structural integrity of the subgrade. Ensure that the base course under paved surfaces is a continuous plane offering a constant depth of bedding material not exceeding 50mm.

SOFTWORKS

Soil Testing

Where site soil is to be retrieved from and stored for reuse on site, undertake at least two (2) soil tests, in locations as advised by the Project Manager. Provide results and recommendations regarding soil additives for the benefit of healthy plant growth and to adjust the soil components to achieve an appropriate planting medium for successful plant development.

Subsoil

Excavate and/or fill all garden beds to bring the top of subsoil to at least 300mm below finished design soil levels. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. In all areas shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees and shrubs to be retained. Cultivate or rip the subsoil to a further depth of 100mm before placing top soil. Remove stones of size exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or existing tree roots. If necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels again after cultivation.

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edges;
- Smooth and free from inorganic matter, stones or clods of soil;
- Graded to drain freely, without ponding, to catchment and/or sub-soil drains;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, inorganic matter, grass, weeds and the reproductive parts of unwanted plants.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed containers marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses, application rates and safety procedures. Apply appropriate fertiliser suited to the provenance of plants (indigenous or exotic) included in the design.

Plants

Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of

appropriate size in relation to the specified plant size.

Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

Embankment Stabilisation

Where necessary and shown on the drawings prevent soil erosion or soil movement by stabilising embankments as follows. As a minimum this should be on slopes steeper than or equal to 1:3 gradient. Stabilise embankments using biodegradable fibre reinforced heavy weight jute fabric. Lay fabric from top to bottom of slope. Install in accordance with manufacturer's specification, including 300 x 300mm anchor trench at top and bottom of slope, backfilled with soil over the fabric and compacted into the trenches. Using U-shaped galvanised steel pegs at 1000 mm centres generally and 250mm centres at edge overlaps, secure the fabric to the prepared soil surface. Plant through the fabric after it is installed.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths, kerbs and all service trenches, where their proximity poses a threat to the stability of the built infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Unless noted otherwise, mulch shall be approved proprietary recycled wood fibre or pine bark material. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants (>25 lt): 1 off 38 x 38 x 1200mm;
- Semi-advanced plants (>75 lt): 2 off 50x50x 1800mm;
- Advanced (≥100 lt): 3 off 50 x 50 x 2400mm.

Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Turf shall have an even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut and lay it within 24 hours of delivery. Prevent it form drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; and
- To finish flush, after lightly tamping, with adjacent finished surfaces and design levels.

IRRIGATION

All proposed landscape areas shall be irrigated.

The irrigation system shall be an automatic permanent system, with an irrigation controller self operated via a soil moisture sensor. The system shall be calibrated to deliver the optimum rate and volume of water appropriate to the type of plants in the design. The system shall be adjustable and fully serviceable. The layout of the entire irrigation system shall focus on delivering the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Generally do not use fine mist emitters that provide a drifting mist that may wet paths and the buildings

unless specifically required by the design.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Maintaining and removing stakes and ties;
- Maintaining mulch;
- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

Maintenance Activities

During the defects maintenance period schedule the following activities to occur on a timely basis.

- Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.
- Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants on a needs basis.
- Insect, disease and pest control** - Avoid spraying:
 - if ever possible;
 - in wet weather or if wet weather is imminent;
 - if target plants are still wet after rain;
 - in windy weather; and
 - if non-target species are too close.Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:
 - Product brand / manufacturer's name,
 - Chemical / product name,
 - Chemical contents,
 - Application quantity and rate,
 - Date of application and location,
 - Results of application, and
 - Use approval authority.
- Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:
 - Product brand / manufacturer's name,
 - Fertiliser / product name,
 - Application quantity and rate, and
 - Date of application and location.
- Stakes and ties** - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting

establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.

- Maintaining mulch** - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.
- Mowing and top dressing** - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface. Mow weekly/fortnightly in warmer months. Mow monthly or as required in cooler months. Top dress at approximately 6 weekly intervals.
- Irrigation and watering** - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.

85-91 Thomas St. Parramatta				
PLANT SCHEDULE				
	Botanic Name	Common Name	Mature Size (h x w) (m)	Installation Size
Trees				
Ace pal	<i>Acer palmatum</i>	Japanese Maple	4 x 3	75L
Cal vim	<i>Callistemon viminalis</i>	Weeping bottlebrush	7 x 5	75L
Cor mac	<i>Corymbia maculata</i>	Spotted Gum	30 x 8	75L
Euc. rob	<i>Eucalyptus robusta</i>	Swamp Mahogany	25 x 8	100L
Euc fic	<i>Eucalyptus ficifolia</i>	Red Flowering Gum	5 x 5	75L
Ela eum	<i>Elaeocarpus eumundi</i>	Quandong Elaeocarpus	10 x 4	100L
Ela ret	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	12 x 5	75L
Gor axi	<i>Gordonia axillaris</i>	Gordonia	4 x 4	75L
How fos	<i>Howea fosteriana</i>	Howea Palm	5 x 4	1m trunk
Lag Nat	<i>Lagerstroemia indica 'Natchez'</i>	Crepe Myrtle - White	6.0 x 3.0	75L
Mag WVC	<i>Magnolia figo 'White Caval'</i>	Magnolia White Cavalr	3 x 3	75L
Mag Exm	<i>Magnolia grandiflora Exmouth</i>	Southern Magnolia	12 x 8	75L
Mag LG	<i>Magnolia grandiflora 'Little Gem'</i>	Dwarf Magnolia	5 x 3	75L
Mag TB	<i>Magnolia grandiflora 'Teddy Bear'</i>	Teddy Bear Magnolia	4 x 3	75L
Ole eur	<i>Olea europaea</i>	Olive Tree	6 x 6	75L
Plu rub	<i>Plumena rubra</i>	Frangipanni	4 x 4	75L
Pyu Ani	<i>Pyrus calleryana 'Anstocrat'</i>	Anstocrat Pear	11 x 7	75L
Syz lue	<i>Syzygium luehmannii</i>	Small Leaved Lillypilly	4 x 6	75L
Syz Pin	<i>Syzygium australe 'Pinnacle'</i>	Brush Cherry	6 x 3	75L
Ti Lus	<i>Tristanopsis laurina 'Luscious'</i>	Water Gum	8 x 6	75L
Wrat flo	<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	10 x 8	75L
Shrubs				
Acm Sub	<i>Acmena smithii 'Sublime'</i>	Sublime	3.0 x 1.2	300mm
Aga Ner	<i>Agave attenuata 'Nerve'</i>	Agave	1.0 x 1.0	300mm
Asp ela	<i>Aspidistra elatior</i>	Cast Iron Plant	0.9 x 0.9	300mm
Aip zer	<i>Alpinia zerumbet 'Variegata'</i>	Variegated Alpinia	1.5 x 1.2	300mm
Bux Jap	<i>Buxus microphylla Japonica</i>	Japanese Box	1.5 x 1.5	300mm
Bur spi	<i>Bursaria spinosa</i>	Blackthorn	3.0 x 2.0	300mm
Cal LJ	<i>Callistemon 'Little John'</i>	Bottlebrush	0.8 x 0.8	300mm
Cal RA	<i>Callistemon 'Red Alert'</i>	Bottlebrush	2.5 x 2.0	300mm
Gar Flo	<i>Gardenia augusta 'Florida'</i>	Gardenia Florida	1.0 x 1.0	300mm
Mel CT	<i>Melaleuca linarifolia 'Claret Tops'</i>	Honey Myrtle	1.0 x 0.8	300mm
Mel Tah	<i>Metrosideros 'Tahiti'</i>	Dwarf NZ Christmas Bush	1.0 x 1.0	300mm
Mur pan	<i>Muraya paniculata</i>	Mock Orange	3.0 x 2.0	300mm
Nan LL	<i>Nandina domestica alba 'Lem Lim'</i>	Sacred Bamboo	1.0 x 1.0	300mm
Pho Rub	<i>Photinia glabra 'Reubens'</i>	Dwarf Photinia	3.0 x 1.5	300mm
Rap OP	<i>Raphiolepis indica 'Oriental Pear'</i>	Oriental Pear/Indian Hawthorn	1.0 x 1.0	300mm
Syz AB	<i>Syzygium 'Aussie Boomer'</i>	Aussie Boomer Lilly Pilly	1.5 x 1.5	300mm
Syz Cas	<i>Syzygium 'Cascade'</i>	Pink Flowering Lillypilly	2.5 x 1.5	300mm
Syz DF	<i>Syzygium paniculata Dwarf Form</i>	Dwarf Magenta Cherry	3.0 x 1.5	300mm
Vib tin	<i>Viburnum tinus</i>	Laurestinus	3.0 x 2.0	300mm
Wes WG	<i>Westringia 'Wynabbie Gem'</i>	Wynabbie Rosemary	1.8 x 1.8	300mm
Wes AB	<i>Westringia 'Aussie Box'</i>	Coastal Rosemary	0.7 x 0.7	300mm
Wes Nar	<i>Westringia 'Naringa'</i>	Coastal Rosemary	1.0 x 1.0	300mm
Zam tur	<i>Zamia furfuracea</i>	Cardboard Plant	0.5 x 0.5	300mm
Accents / Fern				
Aib Rub	<i>Aicantharea 'Rubra'</i>	Imperial Red Bromeliad	1.8 x 1.6	200mm
Asp aus	<i>Asplenium australasicum</i>	Birds Nest Fern	1.0 x 1.0	200mm
Bes juc	<i>Beschermetia yuccoides</i>	Mexican Lily	1.0 x 1.0	200mm
Ble nud	<i>Blechnum nudum</i>	Water Fern	1.0 x 1.0	200mm
Cor RS	<i>Cordyline 'Red Sensation'</i>	Cordyline australis	1.2 x 0.6	200mm
Cri ped	<i>Cinnum pedunculatum</i>	Swamp Lily	1.5 x 1.5	200mm
Cya coo	<i>Cyathea cooperii</i>	Scaly Tree Fern	6.0 x 3.0	200mm
Dor exc	<i>Doranthes excelsa</i>	GYMEA LILY	2.0 x2.0	200mm
Phi xan	<i>Philodendron xanadu</i>	Xanadu	1.0 x 1.0	200mm
Pho BB	<i>Phormium tenax 'Bronze Baby'</i>	NZ Flax	0.7 x 0.8	200mm
Str reg	<i>Strelitzia reginae</i>	Bird Of Paradise	1.2 x 1.5	300mm
Groundcovers & Grasses				
Car gla	<i>Carpobrotus glaucescens</i>	Pigface	0.2 x 1.0	150mm
Aga ori	<i>Agapanthus orientalis</i>	African Lily	1.0 x 0.5	150mm
Car app	<i>Carex appressa</i>	Sedge	0.8 x 0.8	150mm
Clu min	<i>Clivea minima</i>	Kaffir Lily	0.45 x 0.5	150mm
Dia cae	<i>Dianella caerulea</i>	Blue Flax Lily	0.5 x 0.5	150mm
Dia SS	<i>Dianella 'Silver Streak'</i>	Silver Streak Flax Lily	0.5 x 0.4	150mm
Dia rev	<i>Dianella revoluta</i>	Maue Flax Lily	0.5 x 0.5	150mm
Gaz sp	<i>Gazania sp.</i>	Gazania	0.2 x 0.4	150mm
Hib sca	<i>Hibbertia scandens</i>	Snake Vine	0.2 x 2.0	150mm
Har vo	<i>Hardenbergia violcea 'Meema'</i>	False Sasanilla	0.2 x 2.0	150mm
Jun usi	<i>Juncus usitatus</i>	Common Rush	1.2 x 0.5	150mm
Lir JR	<i>Liriope muscari 'Just Right'</i>	Liriope	0.4 x 0.5	150mm
Lom hys	<i>Lomandra hystrix</i>	Mat Rush	1.0 x 1.0	150mm
Lom Tan	<i>Lomandra 'Tanika'</i>	Tanika Mat Rush	0.5 x 0.5	150mm
Myo pav	<i>Myoporum parvifolium</i>	Creeping Boobialla	0.2 x 1.5	150mm
Pen Naf	<i>Pennisetum alopecuroides 'Nafray'</i>	Nafray Pennisetum	0.6 x 0.8	150mm
Ros off	<i>Rosmarinus officinalis 'trene'</i>	Prostrate Rosemary	0.3 x 1.5	150mm
Tra jas	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.4 x 1.5	150mm
Vio hed	<i>Viola hederacea</i>	Native Violet	0.3 x 0.3	150mm

S I T E I M A G E



Client:
Century 888 Pty Ltd

Project:
Proposed Residential Development
85-91 Thomas Street
Parramatta

Drawing Name:
Landscape Specification
/ Indicative Plant Schedule

SSDA

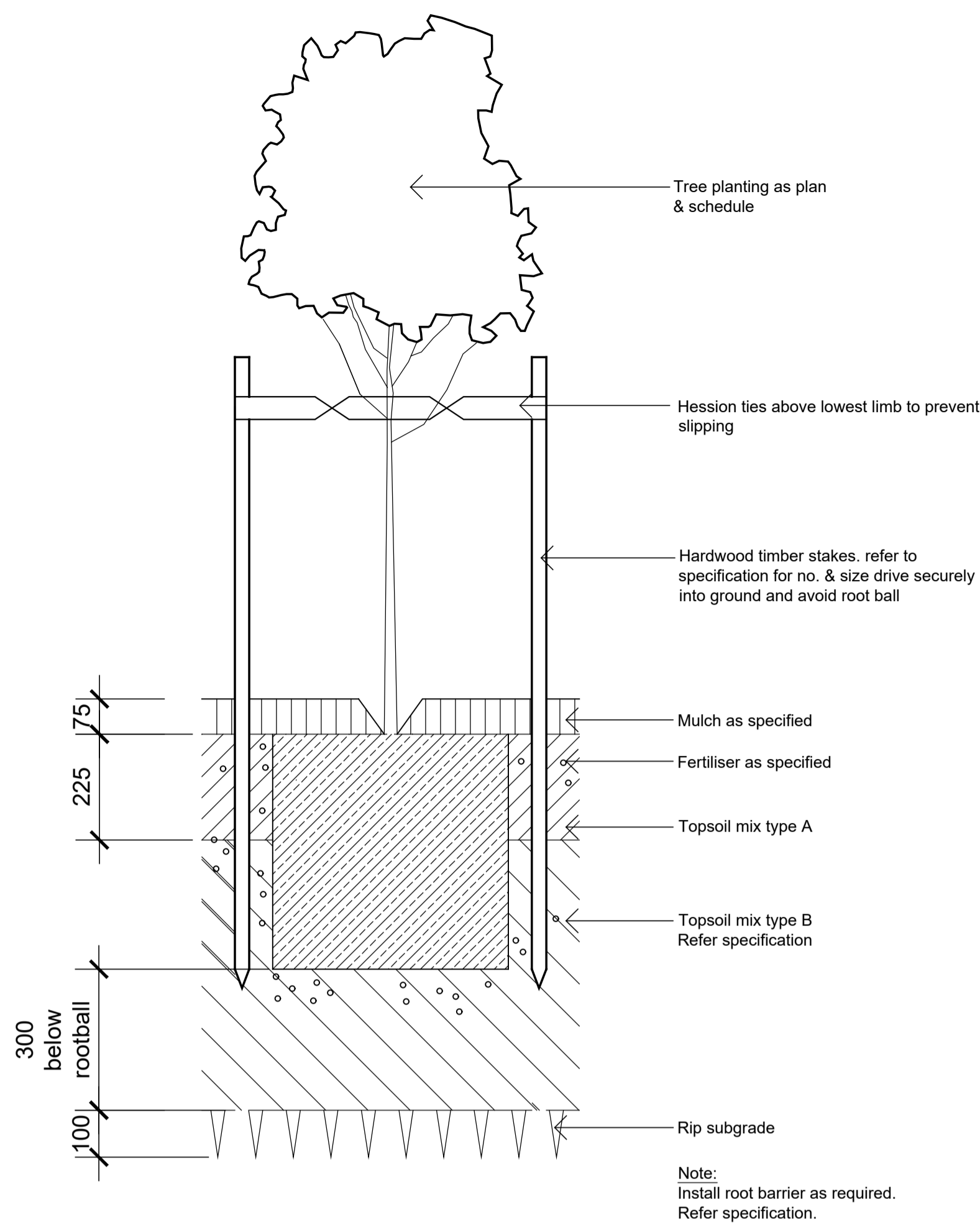
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Job Number: **SS20-4545**
Drawing Number: **500**
Issue:

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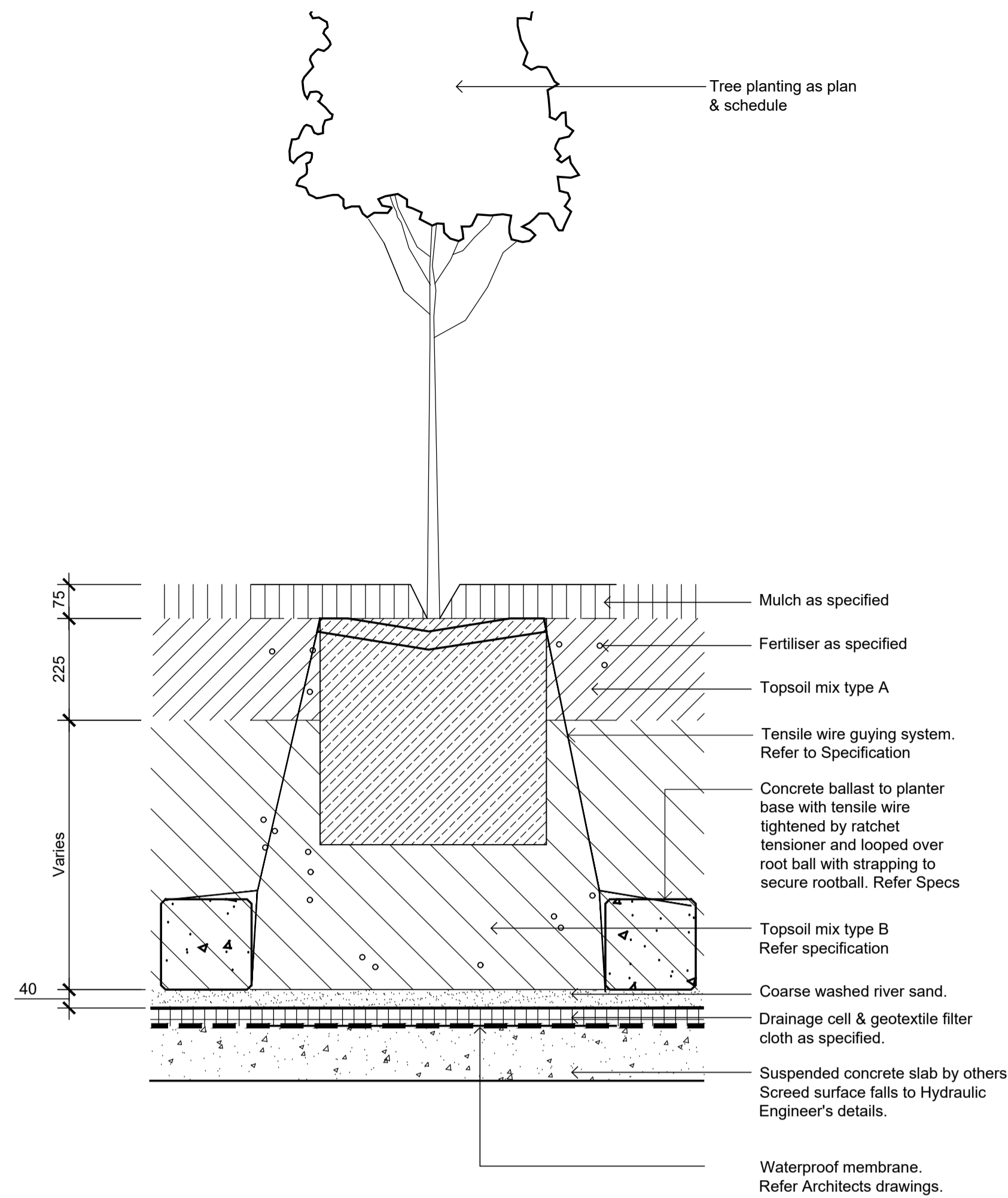
The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

J	For SSDA	HT	RS	16.10.2025
I	For SSDA	PH	RS	18.06.2025
H	For DA	PH	RS	07.11.2024
G	For DA	BS	RS	17.05.2024
F	For DA	PH	RS	07.02.2024
E	For DA	MJW	RS	11.05.2023
D	For DA	PD	RS	02.05.2023
C	For DA	MJW	RS	28.03.2023
B	For Approval	MJW	RS	24.03.2023
A	For Approval	MJW	RS	02.03.2023
Issue	Revision Description	Drawn	Check	Date

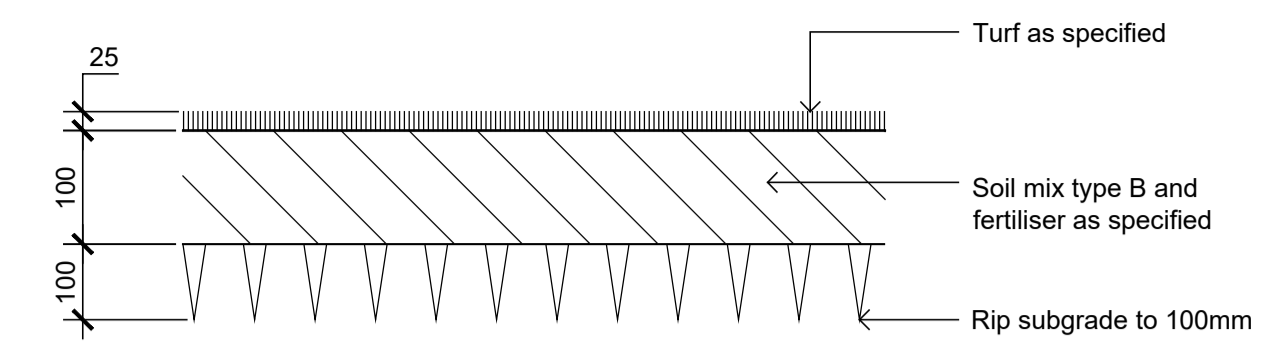
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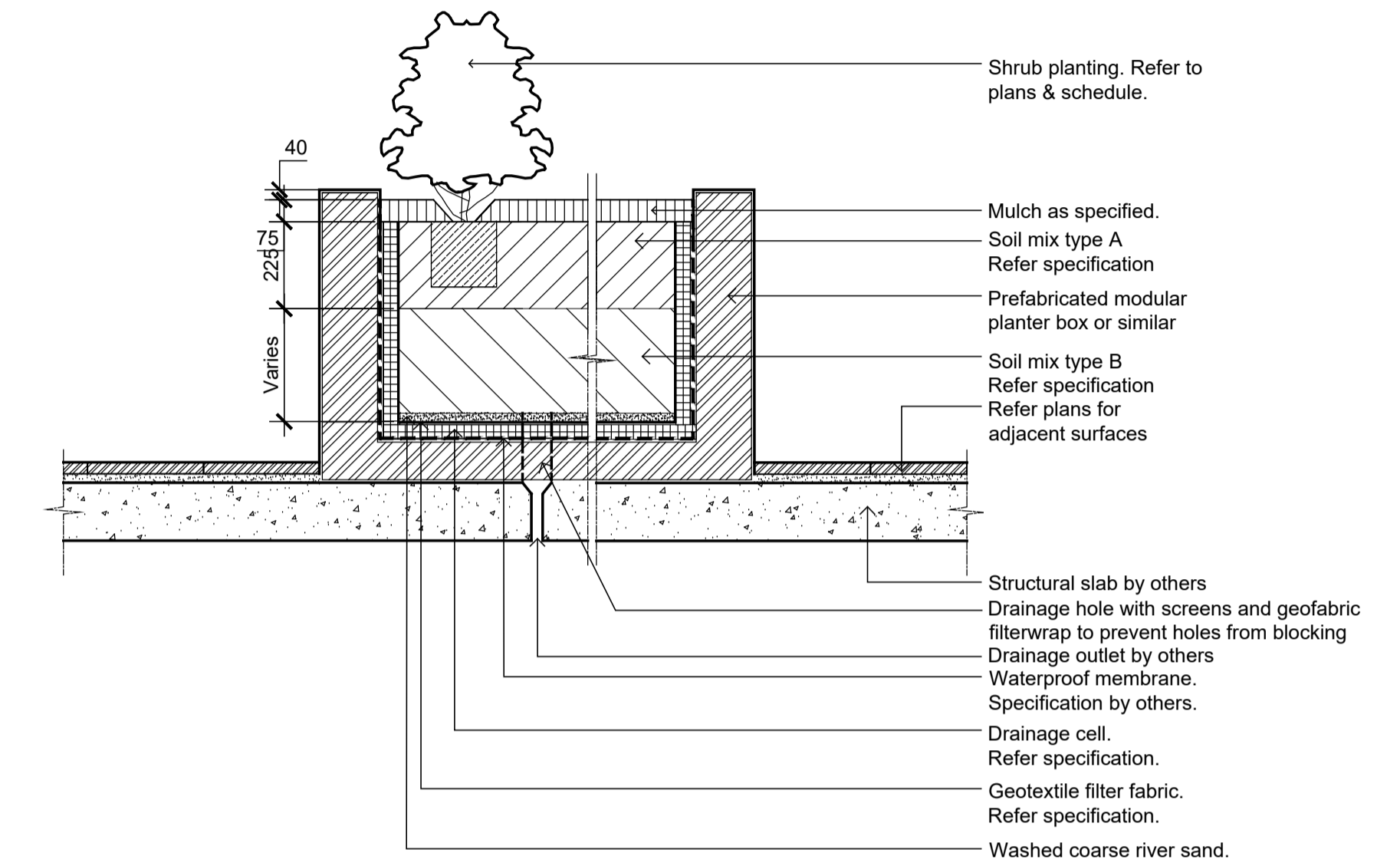
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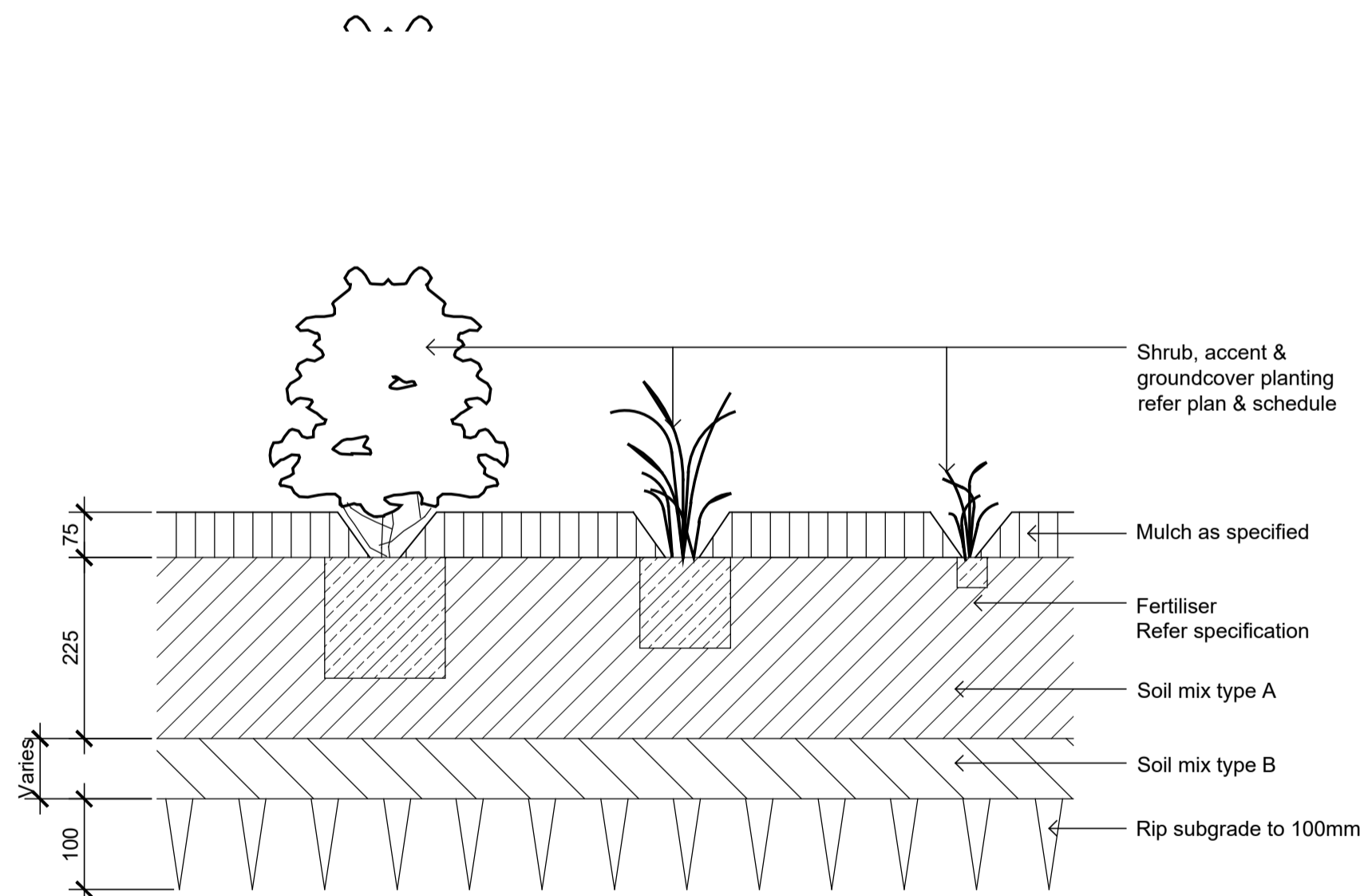
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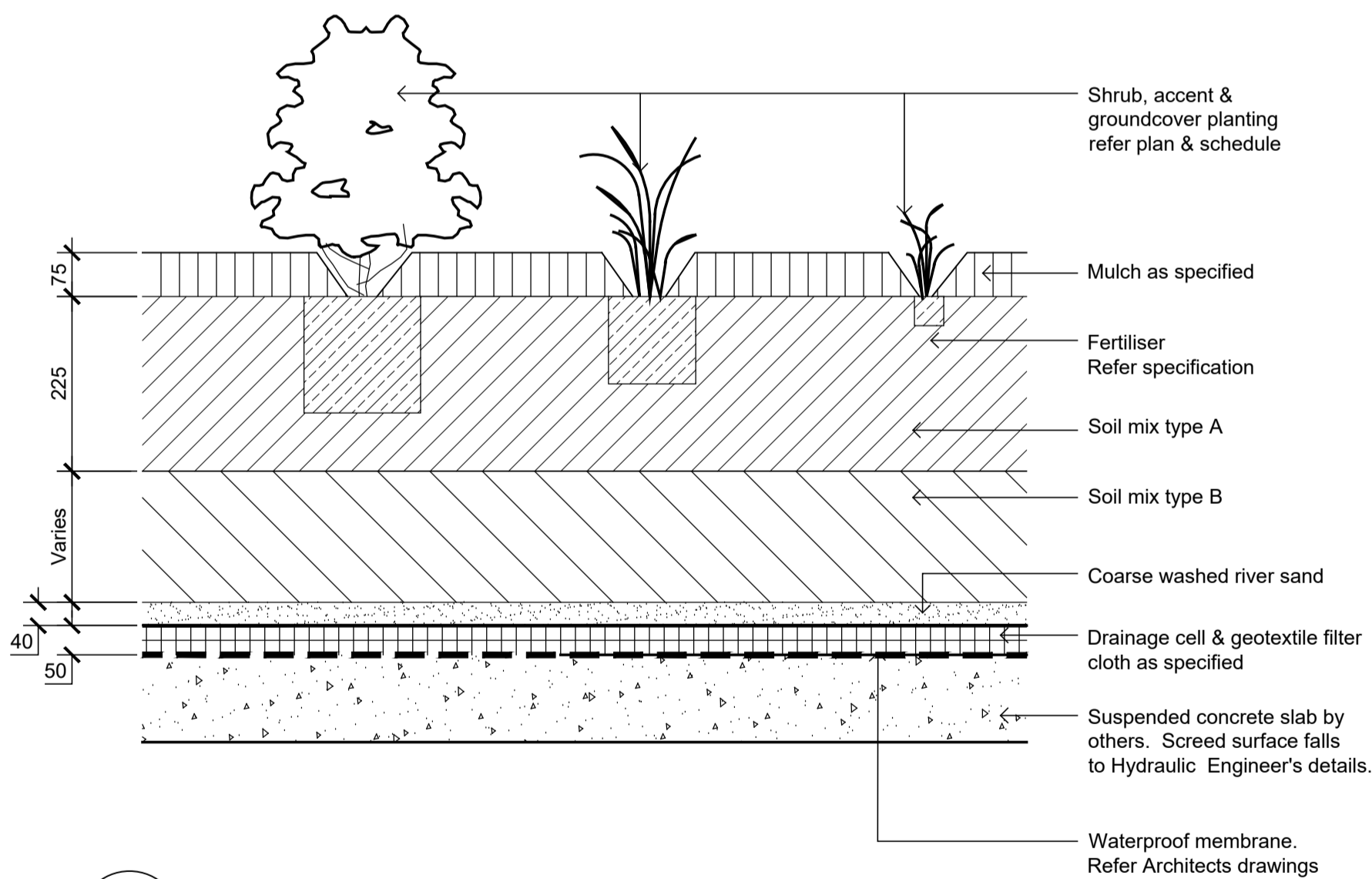
05 TURF ON EVEN GRADE
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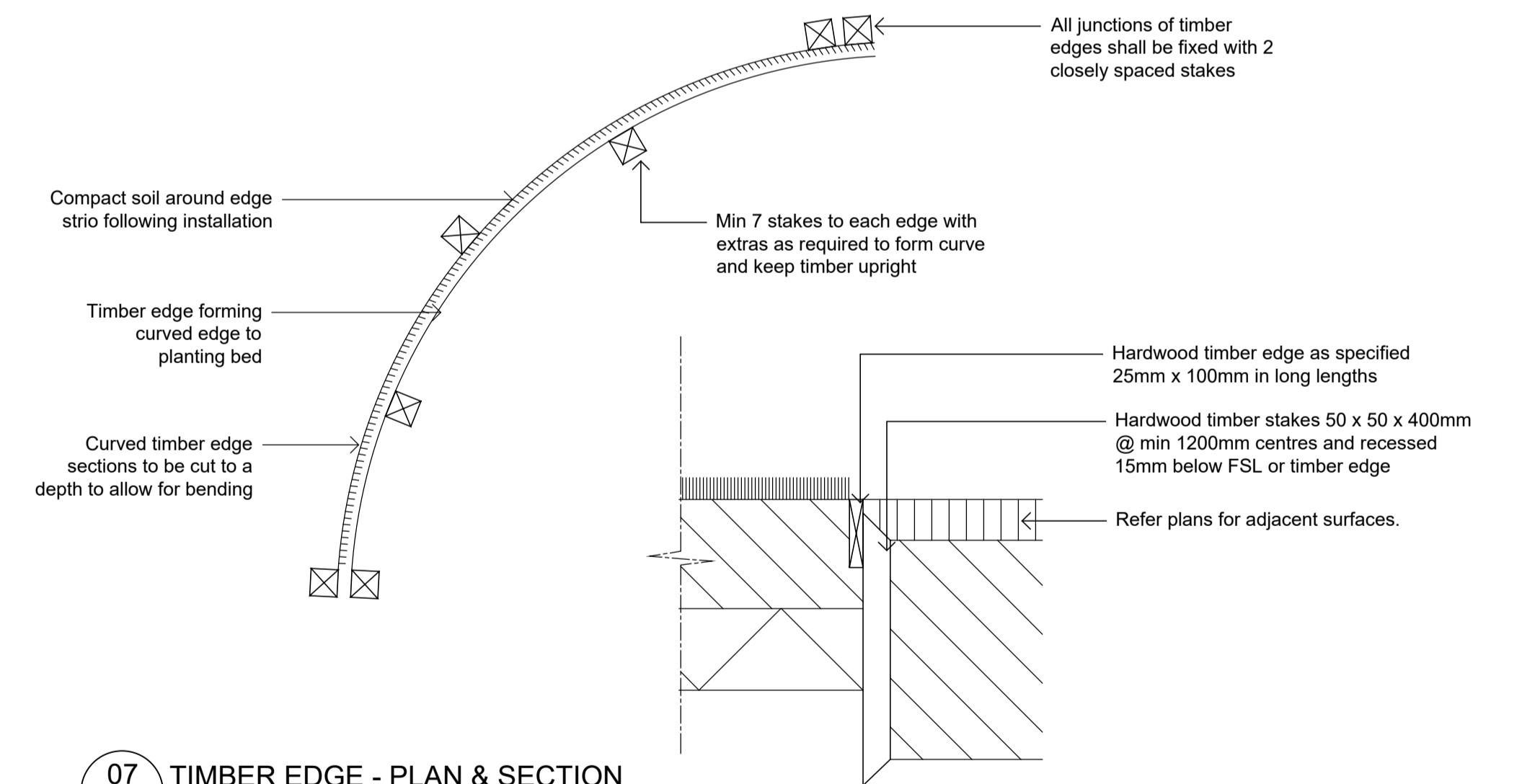
06 PREFABRICATED MODULAR PLANTER BOX ON SUSPENDED SLAB - SECTION
SCALE 1:20



03 SHRUB, ACCENT & GROUNDCOVER PLANTING ON GRADE
SCALE 1:10



04 SHRUB, ACCENT & GROUNDCOVER PLANTING ON SLAB
SCALE 1:10



07 TIMBER EDGE - PLAN & SECTION
SCALE 1:10

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Issue	Revision Description	Drawn	Check	Date
F	For SSSA	HT	RS	16.10.2025
E	For SSSA	PH	RS	18.06.2025
D	For DA	PH	RS	22.10.2024
C	For DA	MJW	RS	28.03.2023
B	For Approval	MJW	RS	24.03.2023
A	For Approval	MJW	RS	02.03.2023

LEGEND

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Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Client:
Century 888 Pty Ltd

Project:
**Proposed Residential Development
85-91 Thomas Street
Parramatta**

Drawing Name:
Landscape Details

Scale: **As Shown**

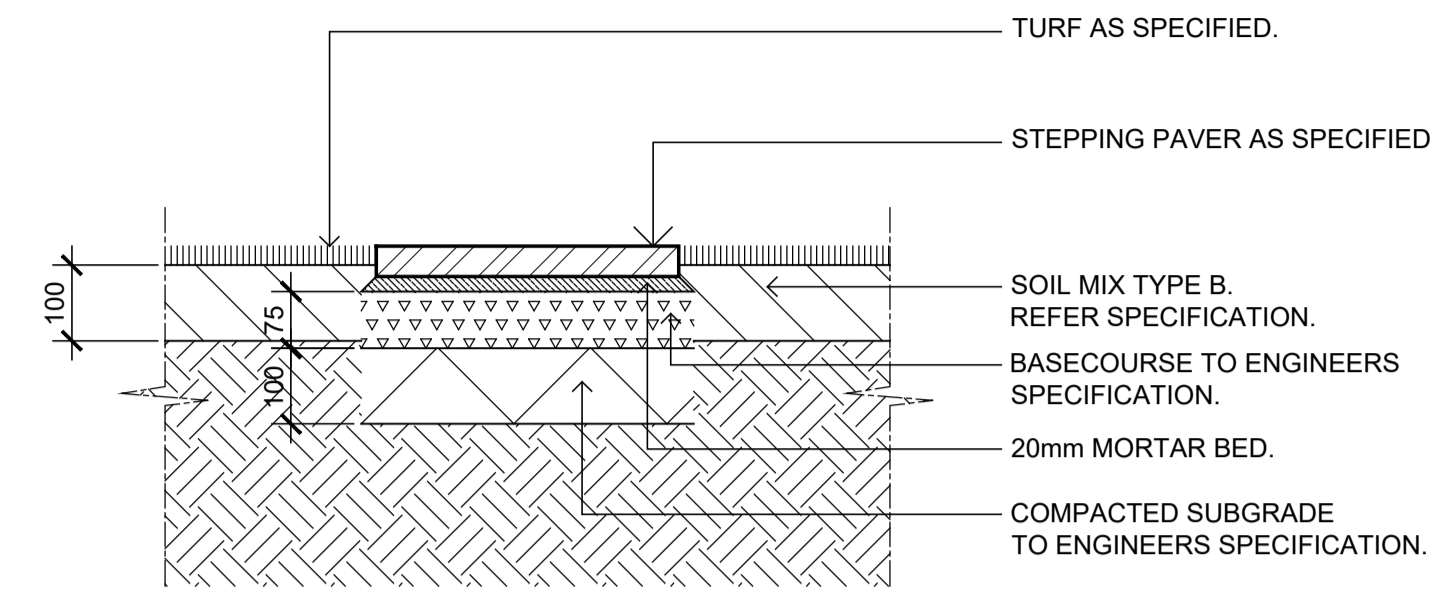
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SS20-4545

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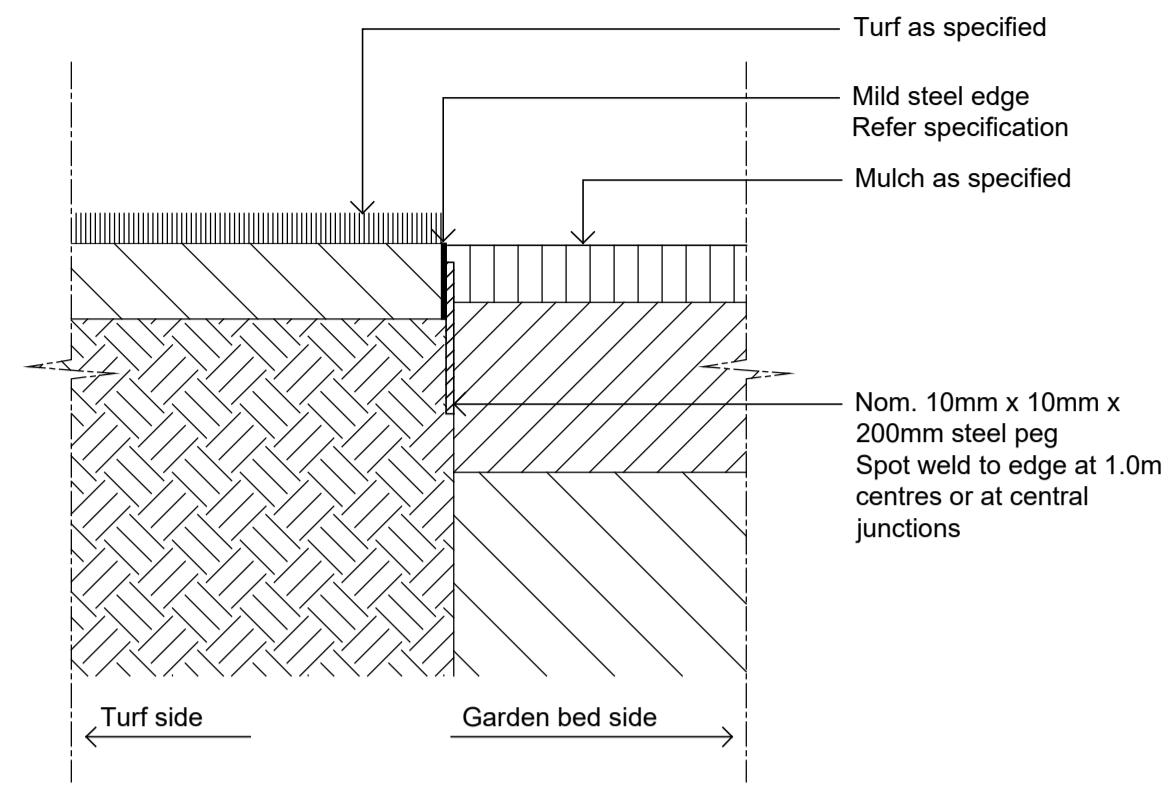
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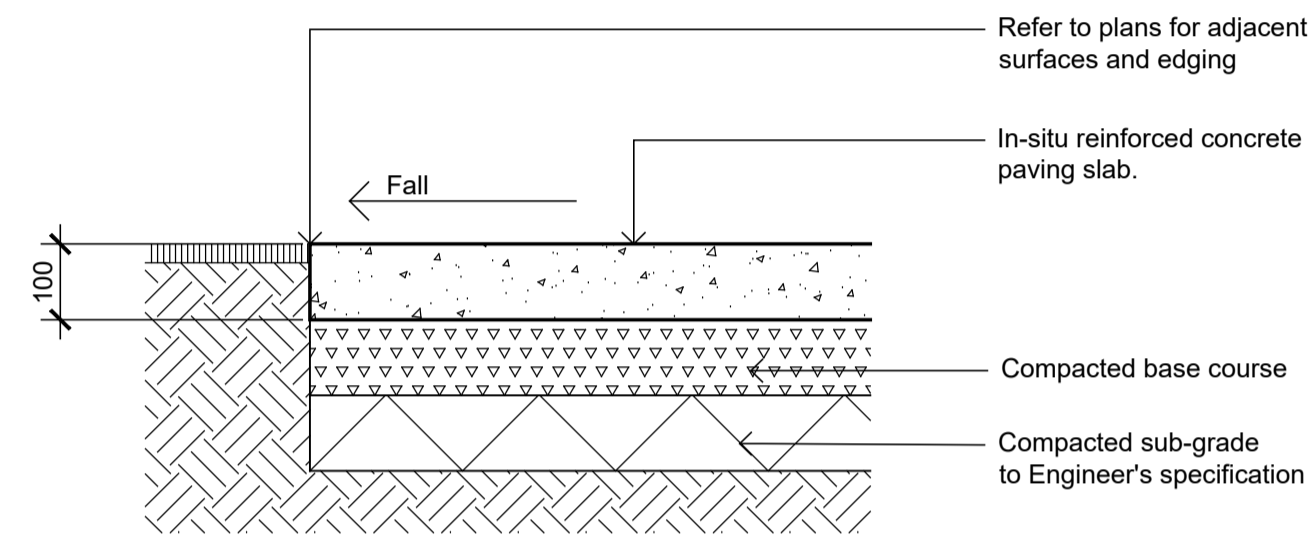
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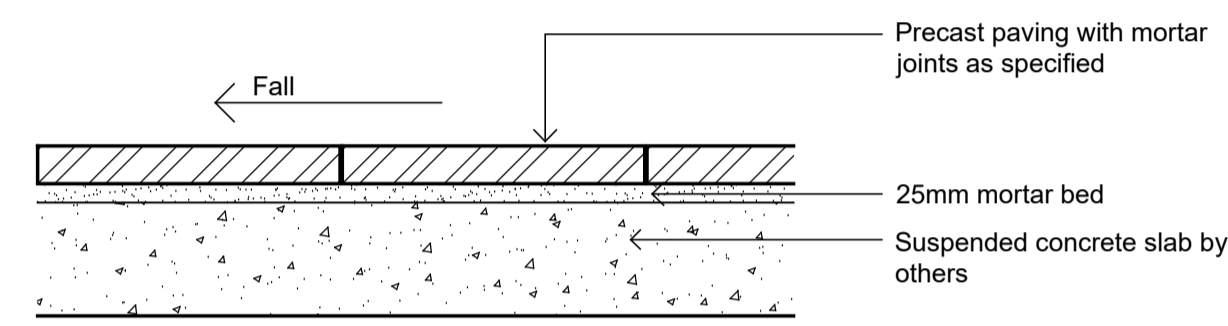
01 STEPPING PAVER IN TURF ON GRADE
SCALE 1:10



02 TYPICAL MILD STEEL EDGE
SCALE 1:10



03 INSITU CONCRETE PAVING
SCALE 1:10



04 PRECAST UNIT PAVERS ON CONC SLAB
SCALE 1:10

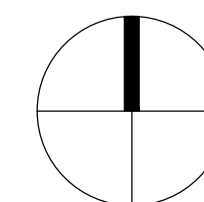
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Landscape Architects
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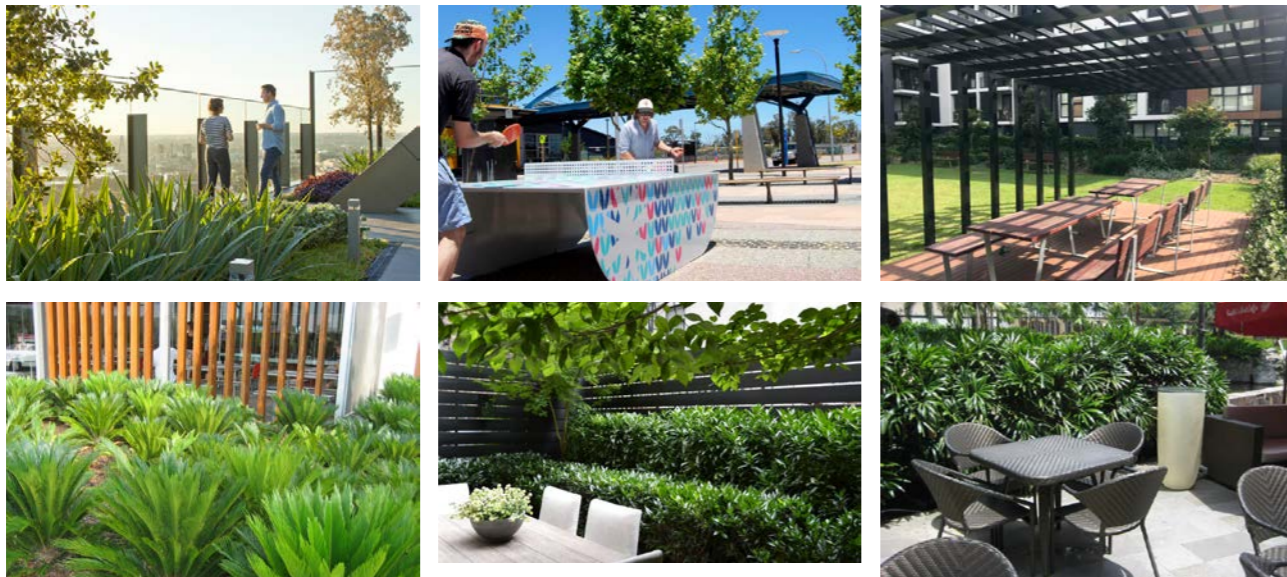
Client:
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Project:
Proposed Residential Development
85-91 Thomas Street
Parramatta

Drawing Name:
Landscape Details

Scale: **As Shown**
Job Number:
SS20-4545

SSDA
Drawing Number:
502 E
Issue:



85-91 Thomas Street, Parramatta

Residential Development

Landscape SSDA Design Report

Prepared for: Century 888 Pty Ltd
By: Site Image Landscape Architects
Date: 17th October 2025



SITE IMAGE
Landscape Architects

Project Overview

Site Image have been engaged by Century 888 Pty Ltd to work in conjunction with the project team lead by PTI Architects on design proposals in support of SSDA documents for the Residential / Co-Living development at 85-91 Thomas Street, Parramatta.

The site is located on Thomas Street and adjoins the Parramatta River Corridor on its Southern Boundary. It sits in an elevated position and well located to take advantage of the continued renewal of the area.

The whole site currently consists of 4 low density residential lots, which will be consolidated and redeveloped as shown on the Architectural plans, with landscape amenity including:

- communal landscape areas at ground level including gathering spaces, pool and seating areas
- retention and protection of canopy trees to the south in the open space leading down to the pedestrian boardwalk along the Parramatta River;
- rooftop communal open spaces to each tower
- vegetation management plan for part of site adjoining Baludari Wetland

This report provides a description and analysis of the site and context, noting that the lower part of the site will be resumed by Council to expand the Baludari Reserve environs. The report then describes the landscape design with SSDA plans, specific site area plans and supporting design imagery to illustrate proposals.



Site Context

The site is located in the suburb of Parramatta in the Parramatta Council LGA. It consists of four residential lots located on Thomas Street with medium density residential development adjoining its western and eastern site boundaries. The Parramatta River environs occurs on its southern site boundary. The site is accessible via major arterial roads including James Ruse Drive to the east and Victoria Road to the north. It connects to Parramatta CBD via Macarthur Street.

A number of new multi-storey residential units occupy sites nearby towards the west between the site and Parramatta CBD. Western Sydney University's Parramatta Campus occurs on the eastern side of James Ruse Drive, a 10 minute walk, whilst the Parramatta CBD is approximately 1.6km to the west. Macarthur Girls High School is also located on Thomas Street further west towards Parramatta CBD.

The site is well served by passive parkland, due to its prime location adjoining the Parramatta River corridor and the substantial open space network which occurs along the river. It is immediately north of the Baludarri Wetland which connects westwards to Rangihou Reserve, Stewart Street Reserve and the River Foreshore Reserve in the heart of Parramatta itself. Open space foreshore connections continue eastwards under James Ruse Drive to provide a contiguous regional open space network which also accommodates active transport.



85-91 Thomas Street, Parramatta
Residential Development
Landscape Design Proposals

Client
Architect
Site Image Job Number

Century 888 Pty Ltd
PTI
SS20- 4545

Drawing Number 003
Date 17.10.2025

Understanding Country

The NSW Government Architect’s Connecting with Country policy establishes a framework for embedding First Nations knowledge, values, and design thinking into the built environment. The policy recognises that Country is a living, interconnected system of land, water, culture, and story, and that meaningful engagement with Traditional Custodians must inform all stages of planning and design. Within this context, the following analysis explores the First Nations cultural heritage of the Parramatta area—particularly in relation to the river corridor.

85-91 Thomas Street, Parramatta is intrinsically linked to the Parramatta River, occupying an elevated position immediately above the riverine corridor. Situated on the Country of the Burramattagal people, a clan of the Darug Nation, the river is considered a vital artery of life. The name “Burramatta” (meaning “place of eels”) reflects the deep cultural significance of the river and its ecosystem. This Country holds ceremonial, spiritual, and ecological value that continues to be recognised and respected by local Aboriginal communities today. The river supported eel and fish harvesting and informed seasonal movement with surrounding wetlands managed through sensitive land stewardship practices.

Today the Baludarri Wetland forms a key component of the riverine corridor. Located directly below Thomas Street, this constructed but ecologically valuable wetland has been designed to filter stormwater runoff and enhance biodiversity through the reintroduction of native wetland species. It also provides refuge and foraging habitat for waterbirds, frogs, and aquatic life, contributing to the functioning of the Parramatta River’s green-blue network. The name “Baludarri,” celebrates the eldest son of Burramattagal elders and means “leatherjacket fish” which would have been caught along the river, and reinforces the wetland’s significance in providing sustenance for local clans. Baludarri was one of the first indigenous persons to develop friendly relations with early colonists and was considered a friend of Governor Phillip. Landscape design for the proposed development should respond sensitively to this important asset cultural and environmental asset, by minimising downstream impacts, supporting riparian planting, and incorporating interpretive connections to local ecology and First Nations heritage.



SITE IMAGE
Landscape Architects

85-91 Thomas Street, Parramatta
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Landscape Context

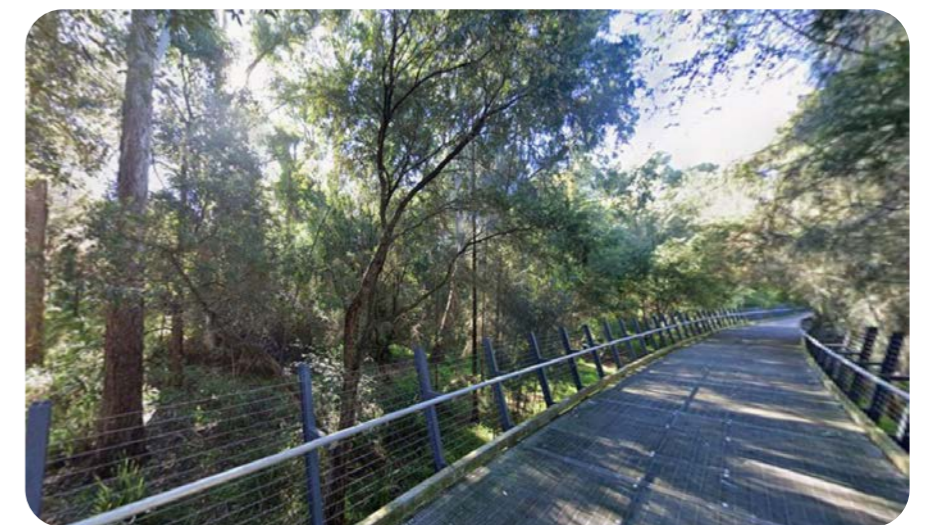
Biodiversity and Vegetation

The broader landscape setting includes a mix of highly modified urban vegetation and remnant native species associated with riparian and floodplain ecological communities. Historically, this area supported *River-Flat Eucalypt Forest* and *Swamp Oak Floodplain Forest*, both of which are listed as endangered ecological communities under the NSW Biodiversity Conservation Act 2016. While much of the native vegetation has been cleared or altered due to urbanisation, fringing vegetation on the sites southern boundary contributes to connected a vegetation along the river.

Mapping (Ecological Assessment Report, Travers Bushfire and Ecology May 2024) indicates the site is dominated by exotic vegetation with Regenerated Native Vegetation planted as a part restoration works for Baludari Wetlands. This interfaces with PCT 4097 Samphire Saltmarsh and to a much lesser extent PCT 4091 Grey Mangrove. Remnant and regrowth species such as *Casuarina glauca* (Swamp Oak), *Melaleuca spp.* (Paperbarks), and native grasses persist along the riverbank and open space corridors.

Local Topography

The site occupies an elevated position that naturally falls to the west and more dramatically southward towards the Parramatta River. This descending topography reflects the broader fluvial valley system that characterises much of the Parramatta landscape, with alluvial terraces and floodplain deposits along the river edge. Geologically, the area is underlain by the Wianamatta Group - Ashfield Shale. The soil profile is typically shallow to moderately deep, comprising of red brown podzols on upper ground and yellow podzols in areas of poor drainage. The landform provides both visual and physical connectivity to the river and drains overland into the Baludari Wetlands and adjoining Parramatta River.



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Site Character

Frontage and Streetscape

The site occurs in an area which supports a mix of low to medium density residential development, with medium density unit developments occurring to its immediate western and eastern site boundaries. Thomas Street is typical of historic urban patterns of development with a generous road carriage framed by a mix of exotic and native street trees of varying age and quality. Tree canopy cover is constrained on one side due to the prevalence of overhead powerlines. Pedestrian footpaths occur to both sides of the street and the road is marked as shared with cyclists.

The development will address Thomas Street. The street runs perpendicular to James Ruse Drive, a major six lane arterial road. Access to and from Thomas street for the the drive is confined to northbound traffic only. A small reserve beside James Ruse Drive allows for pedestrain connectivity to the riverfront and under the drive itself. These links provide continuity of access to the river's open space network for both pedestrians and active transport use.



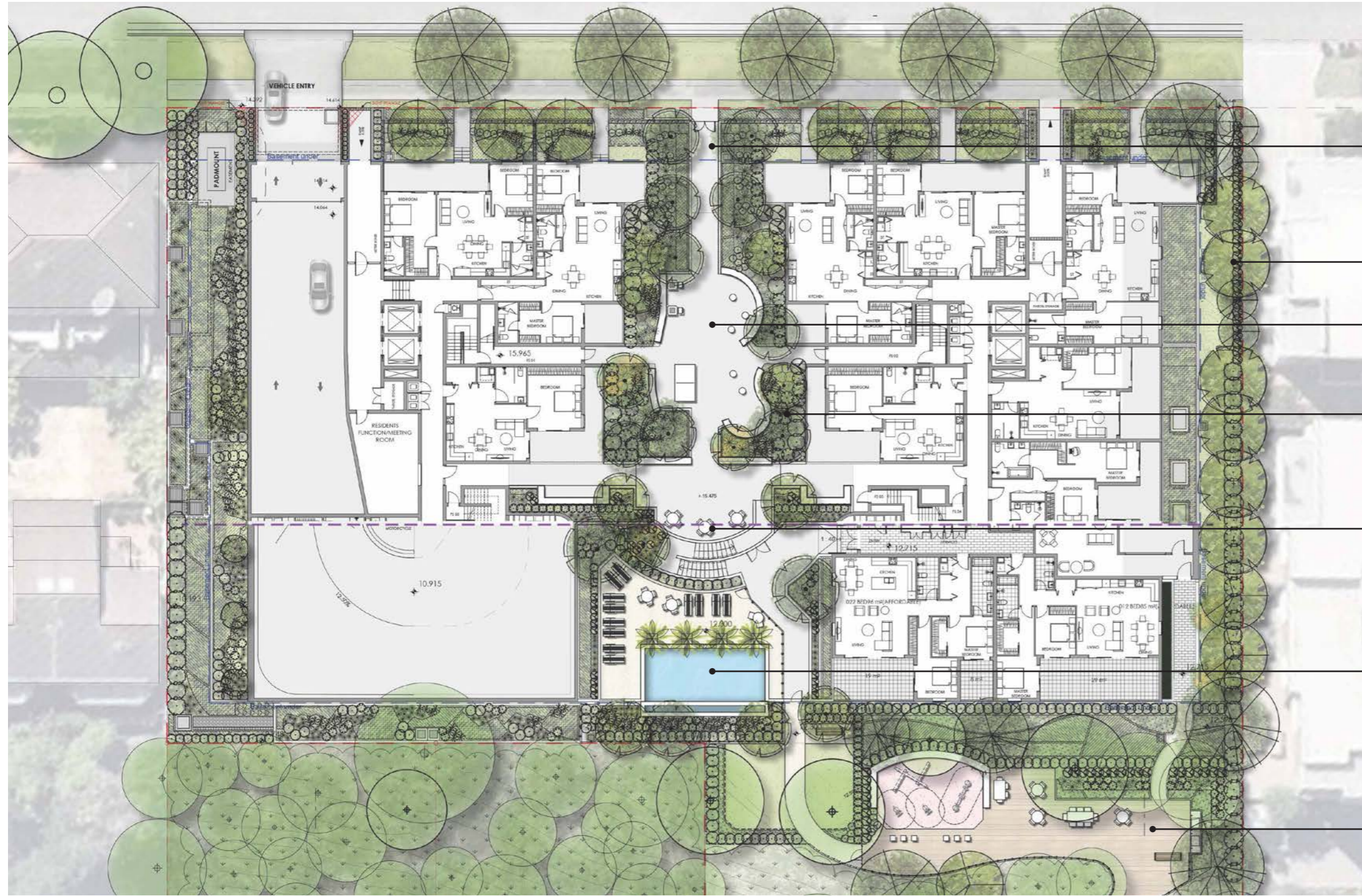
85-91 Thomas Street, Parramatta
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Drawing Number 006
Date 17.10.2025

Landscape Master Plan - Ground Floor



Building entry and street address marked with wide pathway & flanking feature landscape

Buffer planting around the base of the building provides a green edge

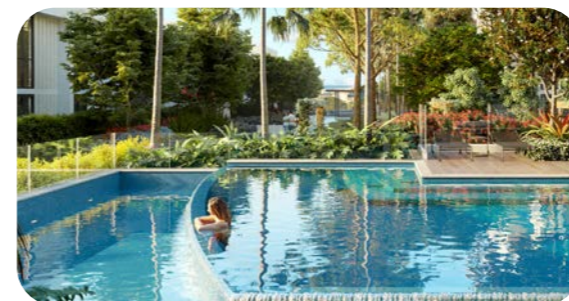
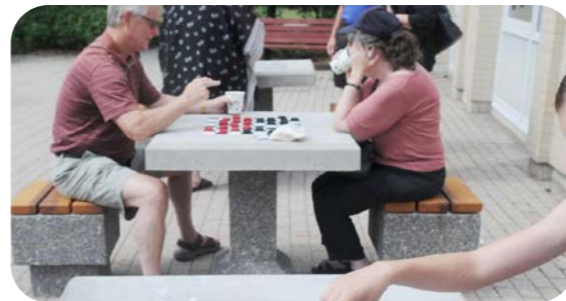
Social and meeting areas with seating, games tables and table tennis

Planters down the sides and middle of the central space for greening and screening of units

Outlook seating locations

Pool area and sun lounges to surrounds

Open space amenity to the south faces the river views, with detail of content subject to VPA dialogue with Council



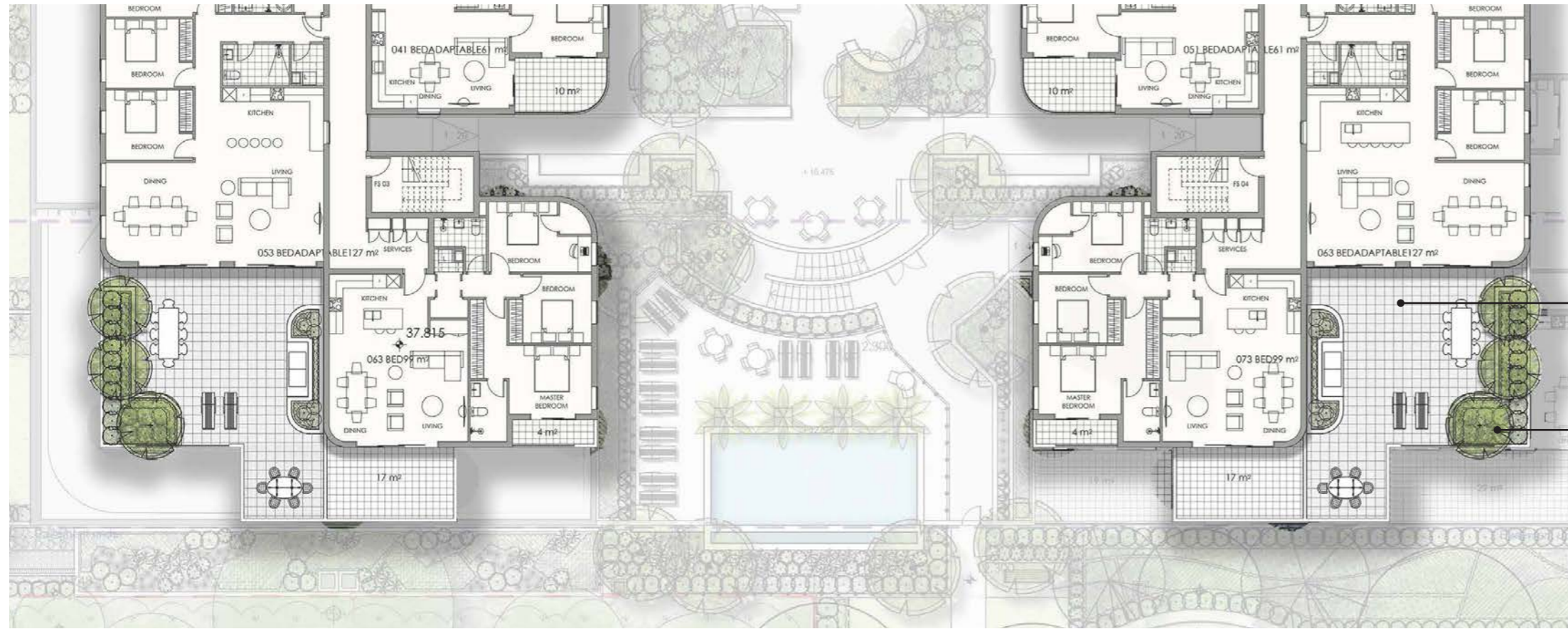
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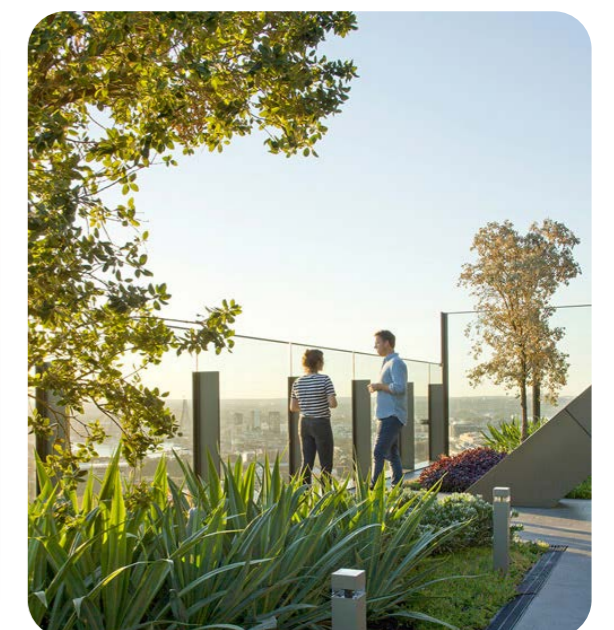
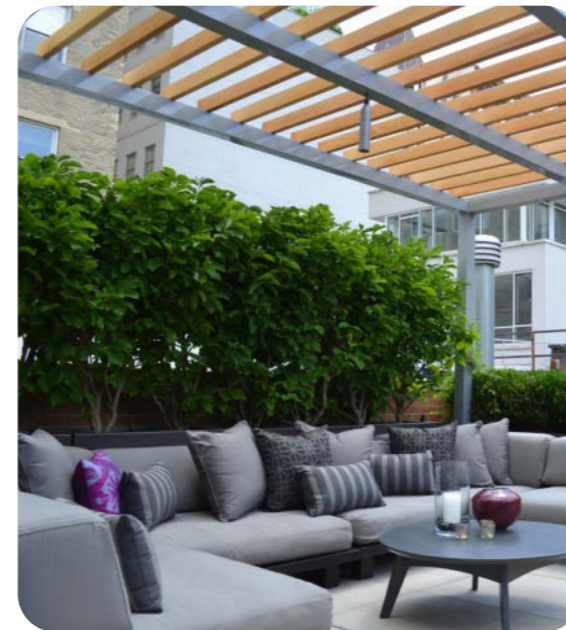
Drawing Number 007
Date 17.10.2025

Landscape Master Plan -Level 7



Flexible outdoor open space zoned to accommodate barbecue facilities, outdoor dining and lounging spaces

Side boundaries have layered tall, medium and understorey screen planting to neighbours



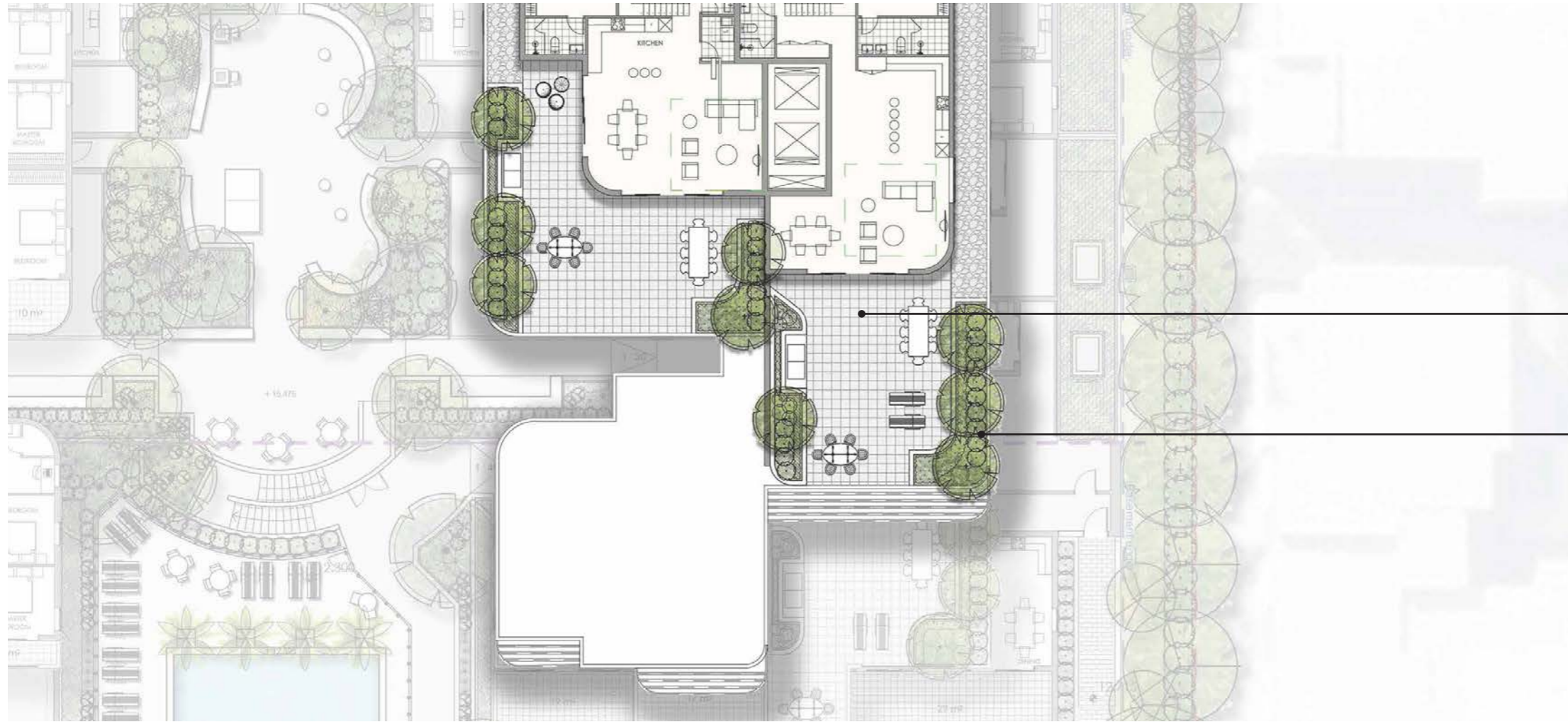
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SS20- 4545

Drawing Number 008
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Landscape Master Plan -Level 8



Open space amenity to the south faces the river views, with detail of content subject to VPA dialogue with Council

Side boundaries have layered tall, medium and understorey screen planting to neighbours



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SS20- 4545

Drawing Number 009
Date 17.10.2025



16th October 2025

c/o Conquest
Level 1, 15 George St
Burwood NSW 2134

Attention: Joseph Puckeridge

Re: EIS and concurrent rezoning for SSD - 81300458 at
85-91 Thomas Street, Parramatta
Council Reference: NCA/9/2025

Dear Joseph,

Site Image Landscape Architects have prepared responses to City of Parramatta's letter to Dept of Planning and Environment (dated 25th August, 2025) regarding the above EIS submission and in particular Landscape and Tree Management and a Vegetation Management Plan. Council responses are stated below with Site Image responses following;

Landscape and Tree Management

1. A lot of the trees shown within the ground floor planters are too close to the adjacent infrastructure. All proposed trees are to be checked to ensure the following tree spacings are met:

- *All trees are to be setback a minimum 3m from the edge of a building or building façade, unless they are fastigiate (narrow form) trees, then they can be setback 1.5m from the building façade.*
- *Ensure the location of the trees within the planters have enough clearance from the adjacent retaining wall or paving edge to ensure the rootballs will not clash with the infrastructure, footing and/or haunching. Council does not support root balls being 'cut to fit' a space.*
- *Trees are to be located a minimum 2m from any stormwater line of pit.*

Site Image Response

We note Council's reference to the guideline of tree planting being offset from buildings by 3m and note that this normally applies to trees in natural ground where root conflicts and also canopy can interfere with building facade. The proposed landscape being in raised planters separated from buildings and using smaller trees towards the building edges is understood to address the objectives of Council's comment in that design eliminates significant conflict of trees and buildings and instead creates a green edge that is valuable to both residents and users of the adjoining common space.

Tree locations have been reviewed and co-ordinated with stormwater infrastructure throughout. As a result, some tree species have been shifted to comply with a 2 metre minimum offset to stormwater while a minor number have been removed to avoid clashes. Where necessary we have utilised fastigiate species such as *Eleaocarpus eumundii* in closer proximity to the building but complying with the 2 metre offset from stormwater. Refer to updated Planting Plans.

2. All trees are to be checked to ensure the following tree spacings are met:

- *All small trees (5m-9m mature height) are to be separated minimum 3.5-4m+ apart to ensure they will have adequate space to grow*
- *All medium trees (10-14m in height) are to be separated minimum 5-6m+ apart.*
- *All large trees (15m+ in height) are to be spaced minimum 8-12m+ apart.*

Site Image Response

Tree spacings as per tree sizes have been reviewed throughout the plans. Small trees spacings comply with a typical separation of 3.5 metres apart. Medium tree spacings have been reviewed and shifted to adhere to a separation of 5 metres. Large trees have been located a minimum 8 metres from each other.





3. Underground guying is recommended to secure the new trees on the podium structure as opposed to the tree stakes. Trees are to be self-supporting from the nursery.

Site Image Response

We have updated the tree on podium detail to a guying system for trees on podium as part of the landscape set of drawings. Please refer to Dwg No. 501 Landscape Details for further information.

4. Street trees - Replace the proposed small street trees (*Callistemon viminalis* 75L) with *Eucalyptus robusta* 100L

Site Image Response

We have substituted the *Callistemon viminalis* 75L for *Eucalyptus robusta* at 100L at Council's recommended spacing on the planting plan. Please refer to Dwg No. 201 Planting Plan for further information.

Vegetation Management Plan

The site is defined as 'waterfront land' (within 40m of the Mean High-Water Mark) and requires a controlled activity approval under the Water Management Act 2000, which typically requires a minimum 40m vegetated riparian zone (VRZ) consistent with Department of Planning & Environment 'Controlled Activities: Guidelines for Riparian Corridors on Waterfront Land' as the Parramatta River is a tidal 4th order watercourse.

Council requests a vegetation riparian zone (VRZ) to be guided by a detailed Vegetation Management Plan (VMP) that is to be prepared by a suitably qualified ecologist and provide for a complete native vegetation stratum. The Vegetation Management Plan (VMP) should complement the adjoining landscape plan and is to detail existing vegetation, planting densities / schedule, weed removal, mulching and maintenance within the VRZ.

Site Image Response

It is intended that the southern site area adjoining Parramatta River Corridor (to boardwalk) will be managed under the guidance of a separate but complementary detailed Vegetation Management Plan prepared by qualified ecologist. The plan would also identify a vegetation riparian zone understanding its proximity to the Baludarri Wetland.

We trust the above information along with the updated set of landscape plans sufficiently responds to Council's queries. Do not hesitate to contact us if any further clarification is required.

Yours sincerely

Ross Shepherd BLArch AILA
Director

Site Image (NSW) Pty Ltd as agent for Site Image NSW Partnership

