

FOR INFORMATION  
NOT FOR APPROVAL

Key:
Site Boundary
Lot Boundary
LEP Maximum Building Height Plane (interpreted from LEP Map PDF)
Check line (approximate) with Top of Bank (approximate)
Existing Buildings
Building Above
Building Below

Colour Key:
Back of House / Substations
Studio / 1 Bed Dwellings
2 Bed Dwellings
3 Bed Dwellings
Community

Revision Date	Description	Initial	Checked
7 27.07.18	Road Layout Update- DRAFT	YL	MA
5 26.07.18	Response to Submissions- DRAFT	YL	MA
5 23.07.18	Response to Submissions- DRAFT	YL	MA
4 XX.XX.18	Post SSDA lodgement amendments	WM	MA
3 14.12.17	Proposed adjoining site information omitted	WM	MA
2 27.11.17	Submission for LABC Assessment	WM	MA
1 20.11.17	Stage 1 DA Submission	WM	MA
Revision Date	Description	Initial	Checked

Revision Date	Description	Initial	Checked
10 24.08.18	Respond to Submissions	YL	MA
9 17.08.18	Respond to Submission- DRAFT	YL	MA
8 31.07.18	Respond to Submission- DRAFT	YL	MA
Revision Date	Description	Initial	Checked

Ivanhoe Estate Masterplan  
Macquarie Park, NSW

Indicative Reference Scheme

Typical Floor Plan (Upper)

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any structures. All drawings to be read in conjunction with all architectural documents and other consultant documents. Do not use these drawings for construction purposes. Any dimensions shown should be referred to the architect for clarification. All drawings are to be reproduced or distributed without prior permission from the architect.

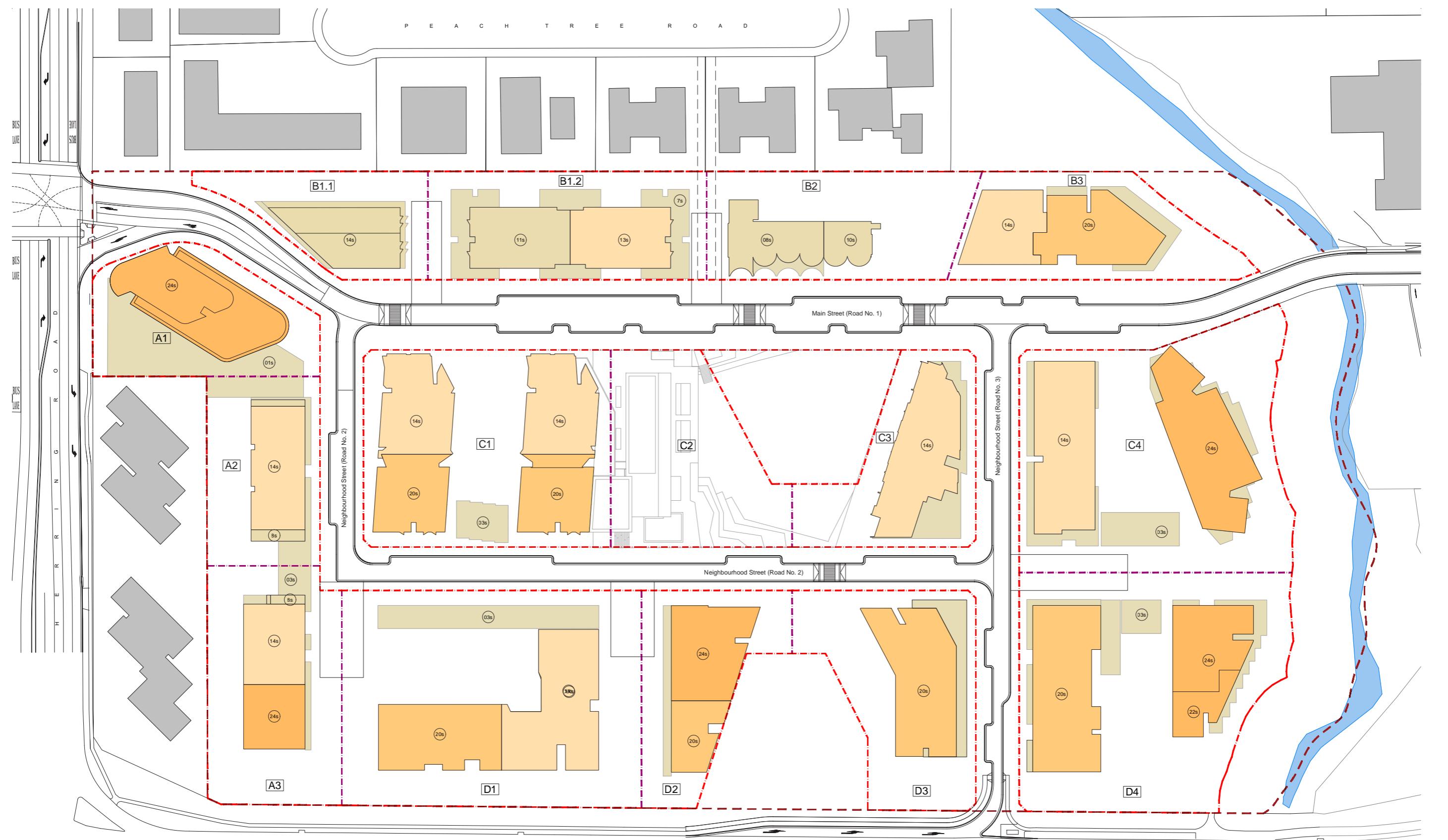
Scale	1:500 @ B1, 1:1,000 @ B3
Drawn	WM
Checked	MA
Project No.	S12067
Status	For Information
Plot Date	23/8/2018 5:42 PM
Plot File	S12067-12099e12357_Faser_Ivanhoe70_CadPlot.DWG
Drawing No.	DA02.MP.015[10]

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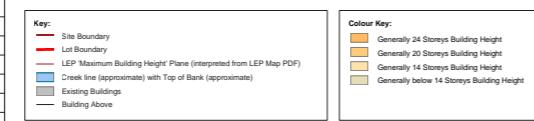
Bates Smart Architects Pty Ltd ABN 68 094 740 986

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Block	For Approval Min GFA (m <sup>2</sup> )	Indicative Scheme GFA (m <sup>2</sup> )	For Approval Max GFA (m <sup>2</sup> )
A1	19,000	21,730	24,500
A2	6,000	8,583	11,500
A3	13,000	15,529	18,000
B1.1	4,000	6,530	9,000
B1.2	12,000	14,964	17,500
B2	7,000	9,704	12,500
B3	16,000	18,932	21,500
C1	31,000	33,899	36,500
C2	700	2,011	2,500
C3	9,000	11,563	14,500
C4	33,000	35,837	38,500
D1	24,500	27,421	30,000
D2	17,500	20,123	23,000
D3	14,000	16,811	19,500
D4	32,500	34,727	37,500
Total		278,364	

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5	24.08.18 Respond to Submissions	YL	MA
4	17.08.18 Respond to Submission - DRAFT	YL	MA
3	14.12.17 Proposed adjoining site information omitted	WM	MA
2	27.11.17 Submission for LABC Assessment	WM	MA
1	20.11.17 Stage 1 DA Submission	WM	MA

### Ivanhoe Estate Masterplan Macquarie Park, NSW

Indicative Reference Scheme  
Roof Plan



Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or fabrication of any components. All drawings to be read in conjunction with all architectural, structural and other consultants documents. Do not use these drawings to figure dimensions only. Any dimensions shown may be referred to the architect for clarification.  
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1	20.11.17 Stage 1 DA Submission	WM	MA

Ivanhoe Estate Masterplan  
Macquarie Park, NSW  
Indicative Reference Scheme  
Typical Lower Basement Plan

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Scale 1:500@B1, 1:1,000@B3  
Drawn WM Checked MA  
Project No. S12067  
Status For Information  
Plot Date 23/8/2018 2:26 PM  
Plot File S112000-120991a12067\_Ivanhoe70\_CadPlotsDA/DAc...  
Drawing No. DA02.MP.B02[5] [Revision]

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