

FOR INFORMATION  
NOT FOR APPROVAL

Key:	
	Site Boundary
	Lot Boundary
	LEP Maximum Building Height Plane (Interpreted from LEP Map PDF)
	Creek line (approximate) with Top of Bank (approximate)
	Existing Buildings
	Building Above
	Building Below

Colour Key:	
	Balconies, Lobbies & Circulation Spaces
	Back of House / Substations
	Studio / 1 Bed Dwellings
	2 Bed Dwellings
	3 Bed Dwellings
	Community

E P P I N G R O A D

10	24.08.18	Respond to Submissions	YL	MA
9	17.08.18	Respond to Submission - DRAFT	YL	MA
8	31.07.18	Respond to Submission - DRAFT	YL	MA
7	27.07.18	Road Layout Update - DRAFT	YL	MA
6	26.07.18	Response to Submissions - DRAFT	YL	MA
5	23.07.18	Response to Submissions - DRAFT	YL	MA
4	XX.XX.18	Post SSDA lodgement amendments	WM	MA
3	14.12.17	Proposed adjoining site information omitted	WM	MA
2	27.11.17	Submission for LAHC Assessment	WM	MA
1	20.11.17	Stage 1 DA Submission	WM	MA
Revision	Date	Description	Initial	Checked

7	27.07.18	Road Layout Update - DRAFT	YL	MA
6	26.07.18	Response to Submissions - DRAFT	YL	MA
5	23.07.18	Response to Submissions - DRAFT	YL	MA
4	XX.XX.18	Post SSDA lodgement amendments	WM	MA
3	14.12.17	Proposed adjoining site information omitted	WM	MA
2	27.11.17	Submission for LAHC Assessment	WM	MA
1	20.11.17	Stage 1 DA Submission	WM	MA
Revision	Date	Description	Initial	Checked

Ivanhoe Estate Masterplan  
Macquarie Park, NSW  
Indicative Reference Scheme  
Typical Floor Plan (Upper)

0 2.5 5 10 15 25 m

Check all dimensions and site conditions prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and/or the fabrication of any components.  
All drawings to be read in conjunction with all architectural documents and all other consultants documents.  
Do not scale drawings - refer to figured dimensions only. Any discrepancies shall immediately be referred to the architect for clarification.  
All drawings may not be reproduced or distributed without prior permission from the architect.

Scale	1:500@B1, 1:1,000@B3		
Drawn	WM	Checked	MA
Project No.	S12067		
Status	For Information		
Plot Date	23/8/2018 5:42 PM		
Plot File	S:\12000-120896\12057_fraser_swanhoe\9_Cad\Plot\DA02.dwg - MP_31 5 [10].dwg		
Drawing No.			[Revision]

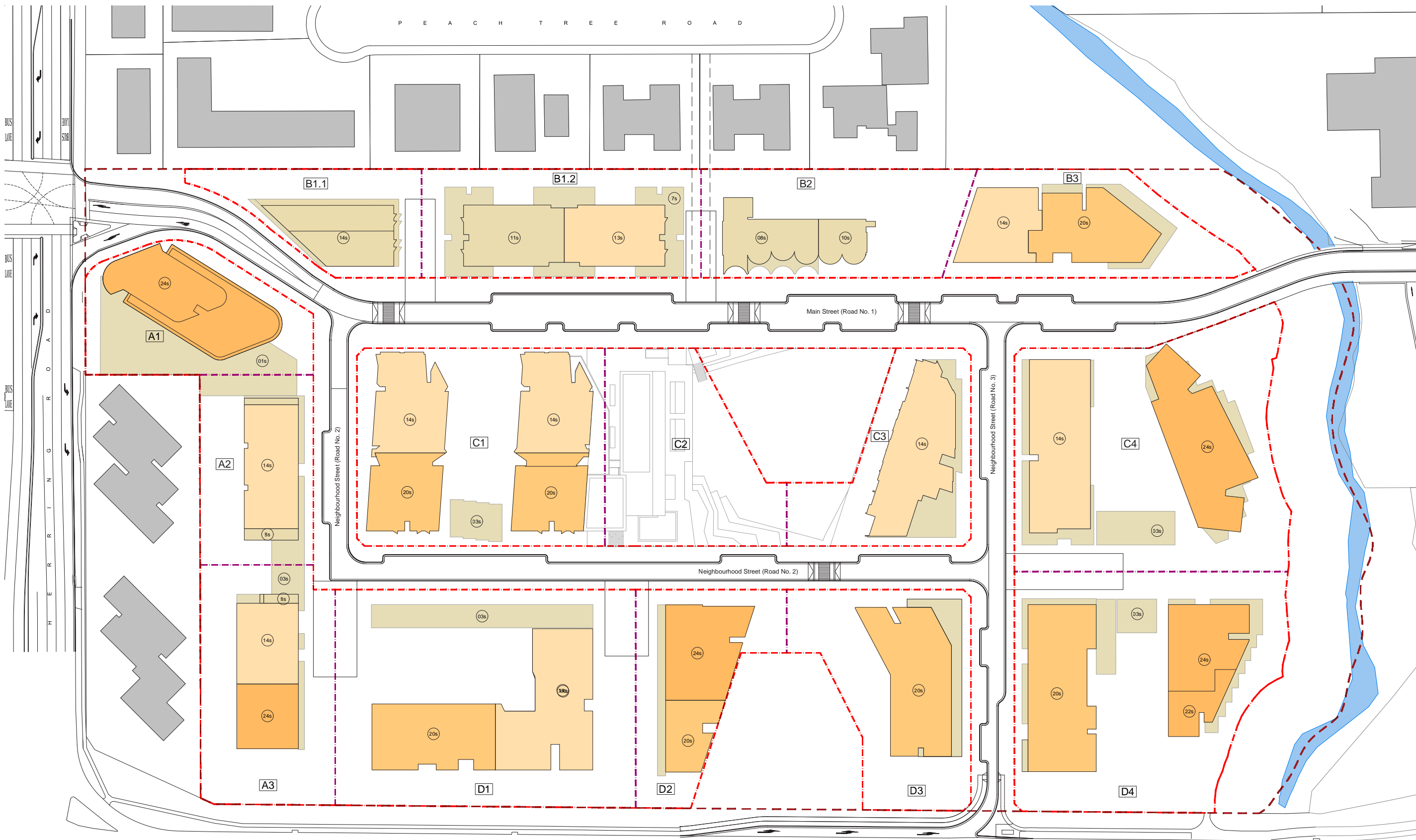
DA02.MP.015[10]

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Block	For Approval Min GFA Range (m²)	Indicative Scheme GFA (m²)	For Approval Max GFA Range (m²)
A1	19,000	21,730	24,500
A2	6,000	8,583	11,500
A3	13,000	15,529	18,000
B1.1	4,000	6,530	9,000
B1.2	12,000	14,964	17,500
B2	7,000	9,704	12,500
B3	16,000	18,932	21,500
C1	31,000	33,899	36,500
C2	700	2,011	2,500
C3	9,000	11,563	14,500
C4	33,000	35,837	38,500
D1	24,500	27,421	30,000
D2	17,500	20,123	23,000
D3	14,000	16,811	19,500
D4	32,500	34,727	37,500
Total		278,364	

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Key:
Site Boundary
Lot Boundary
LEP Maximum Building Height Plane (interpreted from LEP Map PDF)
Creek line (approximate) with Top of Bank (approximate)
Existing Buildings
Building Above

Colour Key:
Generally 24 Storeys Building Height
Generally 20 Storeys Building Height
Generally 14 Storeys Building Height
Generally below 14 Storeys Building Height

Revision	Date	Description	Initial	Checked
5	24.08.18	Respond to Submissions	YL	MA
4	17.08.18	Respond to Submission - DRAFT	YL	MA
3	14.12.17	Proposed adjoining site information omitted	WM	MA
2	27.11.17	Submission for LABC Assessment	WM	MA
1	20.11.17	Stage 1 DA Submission	WM	MA

Revision	Date	Description	Initial	Checked
5	24.08.18	Respond to Submissions	YL	MA
4	17.08.18	Respond to Submission - DRAFT	YL	MA
3	14.12.17	Proposed adjoining site information omitted	WM	MA
2	27.11.17	Submission for LABC Assessment	WM	MA
1	20.11.17	Stage 1 DA Submission	WM	MA

Ivanhoe Estate Masterplan  
Macquarie Park, NSW  
Indicative Reference Scheme  
Roof Plan

0 2.5 5 10 15 25 m

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Scale	1:500@B1, 1:1,000@B3		
Drawn	WM	Checked	MA
Project No.	S12067		
Status	For Information		
Plot Date	23/8/2018 5:10 PM		
Plot File	S:\12067\12067\2017_insetm_vannoel\70_Cat\Plot\DA02.dwg --> MP.030[5].dwg		
Drawing No.	[Revision]		

DA02.MP.030[5]

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H E R R I N G R O A D

P E A C H T R E E R O A D

E P P I N G R O A D

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5	24.08.18	Respond to Submissions	YL	MA
4	14.12.17	Proposed adjoining site information omitted	WM	MA
3	27.11.17	Submission for LAHC Assessment	YL	MA
2	27.11.17	Submission for LAHC Assessment	WM	MA
1	20.11.17	Stage 1 DA Submission	WM	MA

Ivanhoe Estate Masterplan  
Macquarie Park, NSW  
Indicative Reference Scheme  
Typical Lower Basement Plan

0 2.5 5 10 15 25 m

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Scale	1:500@B1, 1:1,000@B3		
Drawn	WM	Checked	MA
Project No.	S12067		
Status	For Information		
Plot Date	23/8/2018 2:26 PM		
Plot File	S:\12000-12089\12067_Ivanhoe\170_Cad\Plans\DA\DA2.dwg ■ MP B.2[5]		
Drawing No.	[Revision]		

DA02.MP.B02[5]

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