

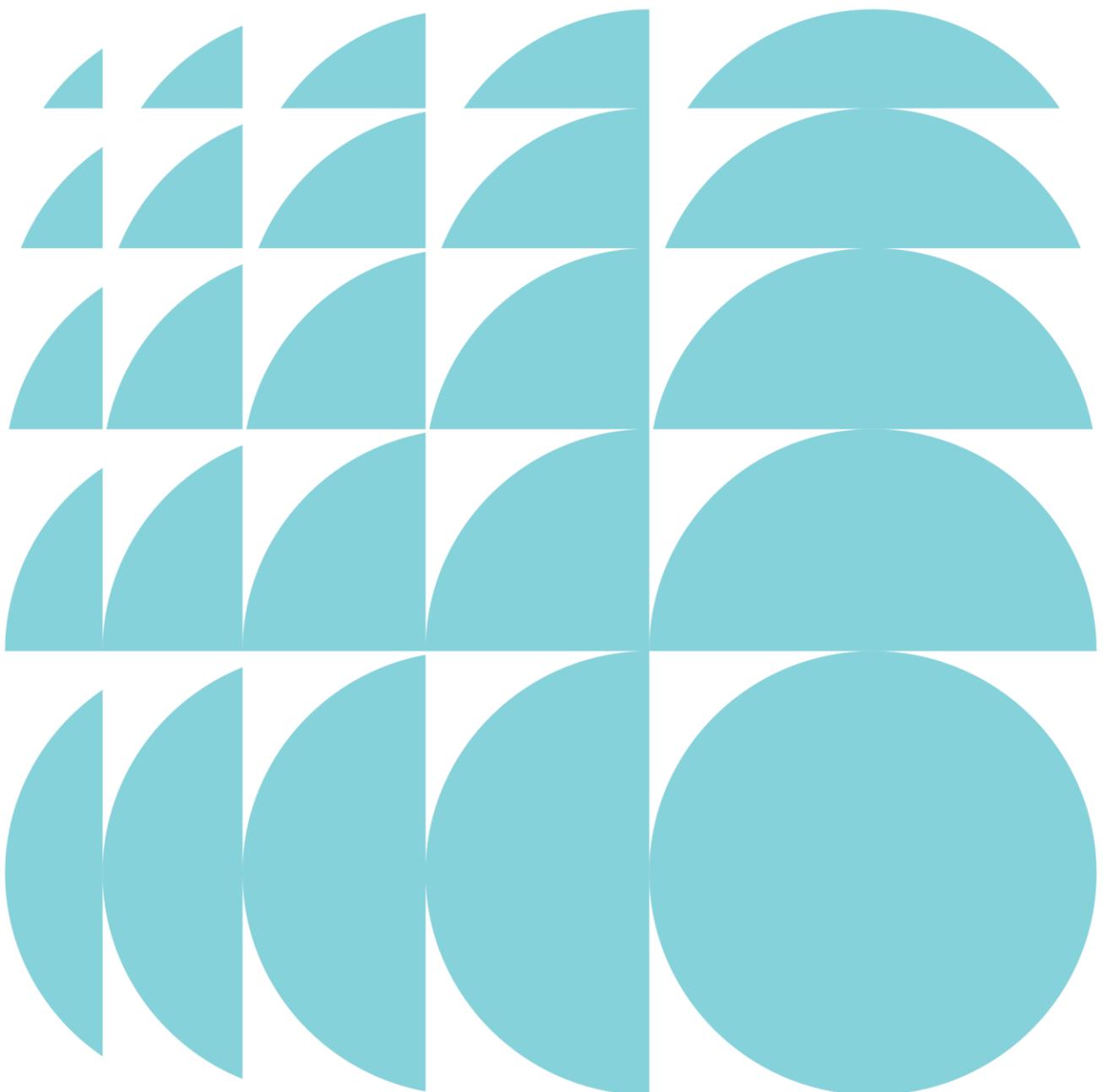
ETHOS URBAN

Design Excellence Strategy

Stage 1 - Ivanhoe Estate, Macquarie Park

Submitted to Department of Planning and Environment
On behalf of Aspire Consortium

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1.0 Introduction

This Design Excellence Strategy has been prepared by Ethos Urban on behalf of the proponent, Aspire Consortium. It supports the staged redevelopment of the Ivanhoe Estate, in accordance with the State Significant Development (SSD) Development Application (DA) for the Ivanhoe Estate Masterplan (SSD 17_8707).

The redevelopment of the Ivanhoe Estate is part of the NSW Government Communities Plus program, which seeks to deliver new communities where social housing blends with private and affordable housing, and benefits from good access to transport, employment, improved community facilities and open space. The Masterplan will create a new integrated neighbourhood of approximately 3,400 dwellings (including market, social, seniors and affordable housing), community facilities, a school, childcare centres, retail, and public open space. The design and delivery of this new neighbourhood will occur in stages over a 10-15 year period.

This Design Excellence Strategy outlines the principles and procedures that will be followed for the Masterplan delivery program. This will ensure that the architectural and urban design of the future stages achieves design excellence and positively contributes to the broader Macquarie Park Corridor and Ryde Local Government Area.

The Strategy more specifically articulates the proposed design excellence process and demonstrates how design excellence will be achieved during the future stages of the development.



Figure 1 Indicative Ivanhoe Estate Masterplan

Source: Bates Smart

2.0 Site Description and Development

The Ivanhoe Estate is located in Macquarie Park near the corner of Epping Road and Herring Road within the Ryde Local Government Area (LGA). The site is approximately 8.2 hectares in area and until recently accommodated 259 social housing dwellings.

The site is earmarked for redevelopment under the Ivanhoe Estate Masterplan (SSD 17_8707) which will deliver a range of residential dwellings and supporting recreation and community facilities, delivered over several stages. The Estate is divided into 15 development blocks, within 4 precincts, that establish the framework for future buildings, infrastructure and public domain within the Estate:

- Precinct A accommodates three building lots on the north western edge of the Estate;
- Precinct B accommodates four building lots along the north eastern edge of the Estate;
- Precincts C runs though the centre of the site and accommodates three building lots,; and
- Precinct D fronts Epping Road and also accommodates four building lots’.

Within each of these development blocks, the Masterplan defines specific building envelopes, desired uses, and the location of roads, public domain and open space, that together inform the detailed design and delivery of each stage of the development.



Figure 2 Development blocks and precincts within the Masterplan

Source: Bates Smart

3.0 Design Excellence Approach

It is important to note that design excellence was a major component of the NSW Land and Housing Corporation's (LAHC) tender process to select a development team for the Ivanhoe Estate. This process ran from March 2016 until August 2017 and as part of the process, three proponents submitted detailed Masterplans that were prepared by established Australian Architectural practices. These submissions were then evaluated by LAHC in consultation with their expert design advisors. The Aspire Consortium and their Ivanhoe Estate Masterplan were ultimately selected from this competitive process.

Aspire Consortium is committed to a Design Excellence Strategy and process to ensure that the Ivanhoe Estate Masterplan positively contributes to the Macquarie Park Corridor. A combination of proven techniques is proposed to deliver on these design excellence targets.

This Strategy sets out techniques that follow a clear and iterative process and enable the exchange of ideas between the Aspire Consortium team and independent design experts external to the Consortium.

The approach is consistent with what has been adopted in other areas of Sydney, and other major State Significant Development projects within Sydney and beyond. By following this Framework and its design development process, the community and the consent authority can have confidence that an excellent design outcome will be achieved.

The design excellence strategy, as set out in this document, revolves around four key elements:

- the engagement of an expert and varied design team;
- the use of an expert Design Review Panel (DRP) for Stage 1 and the State Design Review Panel (SDRP) thereafter;
- the adoption of Design Guidelines that will guide the design development and assist the DRP/SDRP in its deliberations; and
- the implementation of reporting and review processes to safeguard design excellence and design integrity.

3.1 The Design Team

3.1.1 Core Design Team

The core Aspire Consortium 'Design Team' comprises of leaders in the field of architecture and urban design, being Bates Smart, Candalepas Associates, Cox, Hassell and McGregor Coxall. These high-calibre firms bring together a wealth of skills and experience in both local and international contexts to ensure that design diversity, innovation, and the best possible design solution is achieved for the Masterplan.

In terms of design and delivery, the design team will operate as follows:

- Blocks will be allocated across the site to encourage design diversity and create visual interest. No architect will be involved in more than five blocks. Architects outside of the Core Design Team will be selected from the Government Architect's 'Pre-qualification Scheme for Strategy and Design Excellence' or collaborate with a pre-qualified Architect.
- Hassell are engaged for the delivery of the public domain and urban design components. This ensures a high-quality and consistent design standard and public domain treatment is delivered across the site. It will enable the Estate to read as one integrated community.

3.1.2 Other Design Advisors

To provide additional technical advice, and design rigour on tenure integration, community, and educational aspects of the proposal, the Consortium have also engaged a number of specialist consultants to act as expert advisors to the Design Team. These advisors have been tasked with providing on-going advice on technical matters and specialised operational matters as the design progresses, including critically evaluating the design and providing feedback to the Design Team at key milestones. This ensures that the final design achieves the relevant engineering, social, cultural and functional standards for specific uses/users.

3.1.3 Design Collaborations

In order to encourage greater architectural diversity, a minimum of 2 development blocks will include smaller / emerging architects that collaborate with a larger practice.

3.1.4 Architectural Design Competitions

A minimum of 2 development blocks will be the subject of an invited architectural design competition. The key elements of the competition process are as follows:

- The competition will be managed by the Aspire Consortium.
- The competition brief will be prepared by the Aspire Consortium and provided to the SDRP for comment prior to finalisation.
- The design competition will have a minimum of 3 architects competing.
- The selection panel will comprise the following:
 - Government Architect NSW nominated representative;
 - Aspire Consortium nominated Architect; and
 - Aspire Consortium nominated development representative.
- The Department of Planning and Environment will be invited as an observer.

The specific location of blocks that will be the subject of a Design Competition has not been determined as part of this Design Excellence Strategy. Development blocks will be selected by the Aspire Consortium and nominated as part of the request for the Secretary's Environmental Assessment Requirements.

3.2 Design Review Panels

3.2.1 Stage 1 Design Review Panel

As it preceded the creation of the State Design Review Panel (SDRP), a project specific Design Review Panel (DRP) was formed to ensure design excellence is achieved in Stage 1 of the development. The DRP is tasked with providing independent, impartial advice on the design of buildings, infrastructure, landscapes and public spaces being delivered as part of Stage 1.

The detailed process, governance, and composition of the DRP forms part of the Stage 1 Design Excellence Strategy and associated Terms of Reference which forms part of SSD.

3.2.2 State Design Review Panel

The recently established SDRP is convened by the NSW Government Architect and its role is to provide independent, expert and impartial design advice on significant development proposals across the State. The SDRP evaluates the design quality of a proposal by reviewing it against the objectives of *Better Placed* and the requirements of any relevant planning instruments.

The Aspire Consortium is committed to meaningful engagement with the SDRP for this significant project and endeavours to meet with the SDRP at key stages throughout the design process in accordance with their Terms of Reference and the project SEARs for each stage.

Where possible, members of the SDRP will continue across stages to provide continuity of project understanding.

Feedback provided by the SDRP both verbally and through written minutes will be considered by the design team and applied to the project where practicable.

3.3 Design Guidelines

To guide the architectural and urban design of the Ivanhoe Estate development, specific design principles and objectives have been developed for the site. These will be used as part of the evaluation and assessment process to determine whether the future development of each stage achieves design excellence, and are detailed in the Ivanhoe Estate Design Guidelines. The Design Guidelines have been developed to shape development and assist in creating:

- a high standard of architectural and urban design, materials and detailing appropriate to the building type and location;
- a form and external appearance for each building that benefits the quality and amenity of the public domain;
- a functional and inclusive design that satisfies the varied uses and users occupying the Estate; and
- a development that meets sustainable design principles in terms of sunlight, natural ventilation, wind, reflectivity, visual and acoustic privacy, safety and security and resource, energy and water efficiency.

The Design Guidelines are specific to the Estate and ensure a high quality design and amenity outcome is achieved for the future residents and adjoining development. Their application during the design development and assessment of Stage 1 will safeguard the delivery of an excellent and coherent vision for the Estate.

3.4 Reporting and Review

This component of the Strategy confirms that the final design outcome has achieved design excellence, and that design excellence is translated through to the buildings' construction.

Design Excellence Statement

As part of the Environmental Impact Statement, a Design Statement will be prepared by the relevant architectural firm in the Consortium's Design Team. This Statement will demonstrate how the proposed development has achieved the adopted Design Guidelines discussed in **Section 3.3**, and how the design development has incorporated and addressed feedback from the DRP / SDRP process. A set of 'working documents' detailing the relevant meeting minutes, action lists and advice sheets, and how the Design Team has responded, and is to be kept by proponent and submitted with the relevant Development Application for each stage of the project.

Design Integrity

To ensure that design integrity is maintained, the nominated Design Team will also be retained throughout the design process for each respective stage. In addition to preparing the relevant Development Application documentation, the Design Team will be expected to:

- retain lead roles over the relevant design decisions in the preparation of the design drawings for a construction certificate for the preferred design;
- retain lead roles over design decisions in the preparation of the design drawings for the contract documentation; and
- maintain continuity during the construction phases to the completion of the project.

4.0 Conclusion

This Design Excellence Strategy uses tried and tested methods to ensure design excellence is achieved for the delivery of the Ivanhoe Estate Masterplan. It ensures the community and consent authority can have confidence in the Aspire Consortium team achieving an excellent design outcome.