

**APPENDIX B**  
**DEVELOPMENT**  
**DESIGN GUIDELINES**

# IVANHOE MASTERPLAN

DEVELOPMENT DESIGN GUIDELINES  
DOCUMENT NO. S12067-002  
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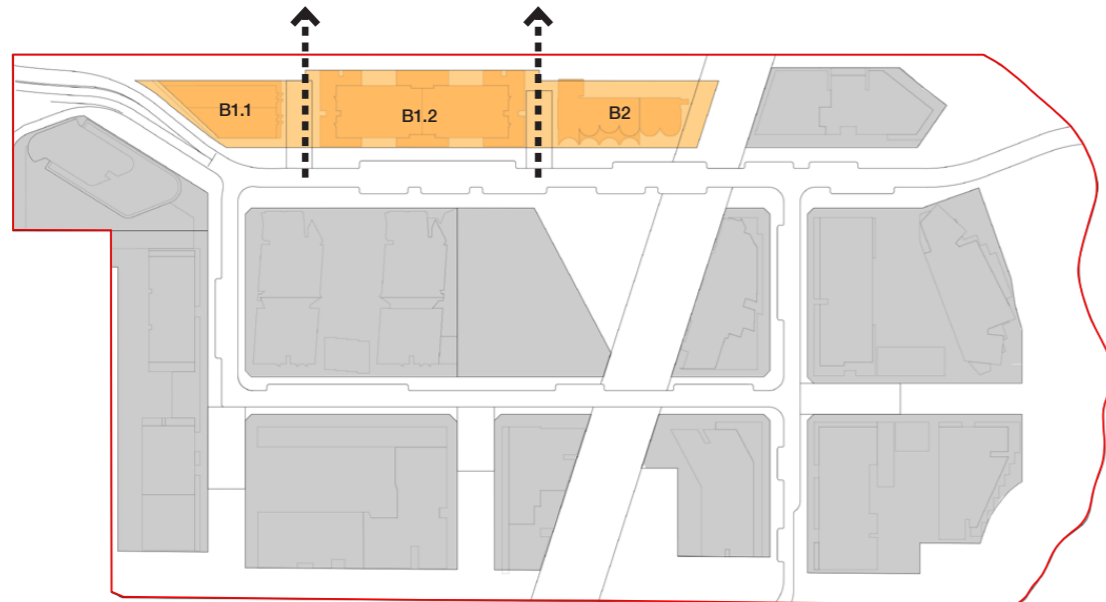
## 01. NORTH EAST DEVELOPMENT LOTS (B1-B2)

### OBJECTIVES

- A. To allow for a future pedestrian and cycle connection from Main Street to Peach Tree Avenue
- B. To provide opportunities for solar access to Main Street
- C. To balance privacy and visual amenity to neighbouring sites

### PROVISIONS

- 1. Lot B1/B2 should be separated into three discrete buildings
- 2. Building separation should be of sufficient width to provide a pedestrian and cycle connection to Peach Tree Avenue
- 3. Avoid blank walls facing neighbouring sites
- 4. Where windows are proposed within 7m of the boundary, provide screening to mitigate overlooking of neighbouring sites



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## 02. PUBLIC AND COMMUNAL OPEN SPACE

### OBJECTIVES

- A. To retain and enhance the existing publicly accessible open space along Shrimptons Creek corridor.
- B. To connect new public spaces to the existing open space network.
- C. To provide an adequate area of communal open space to enhance residential amenity and to provide opportunities for landscaping.

### PROVISIONS

- 1. The Shrimptons Creek Corridor is to be embellished and dedicated to Council as public open space.
- 2. A Village Green should be provided between C1 and C3. A minimum of 3,300 sqm should be usable area. The remainder should be landscaped roof to building C2.
- 3. A Forest Playground of 3,900 sqm usable area should be provided between Lots D2 and D3.
- 4. Publicly accessible open spaces should connect Shrimptons Creek, the Village Green, Town Square, and Epping Road landscape corridor.
- 5. Each lot should provide a mix of public and communal open space with a combined minimum area equal to 25% of the lot area, except Lots A1 and B3 which are not required to provide public or communal open space.



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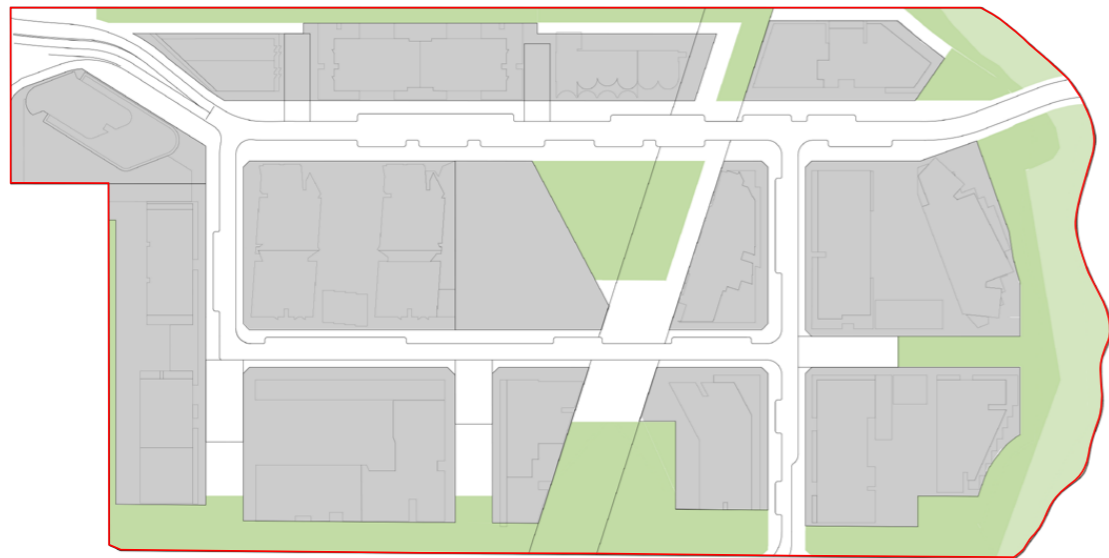
### 03. DEEP SOIL ZONES

**OBJECTIVES**

- A. To retain existing mature trees and to support healthy tree growth.
- B. To provide passive recreation opportunities.
- C. To promote management of water and air quality.

**PROVISIONS**

- 1. The area of deep soil within site, excluding RE1 zoned land, should be no less than 17% of the site area
- 2. Deep soil zones should have a minimum dimension of 6m, except where they abut a side boundary or road reserve which also provides deep soil, where a minimum dimension of 2.5m is acceptable.



■ Deep Soil  
■ Deep Soil in RE1 Zone

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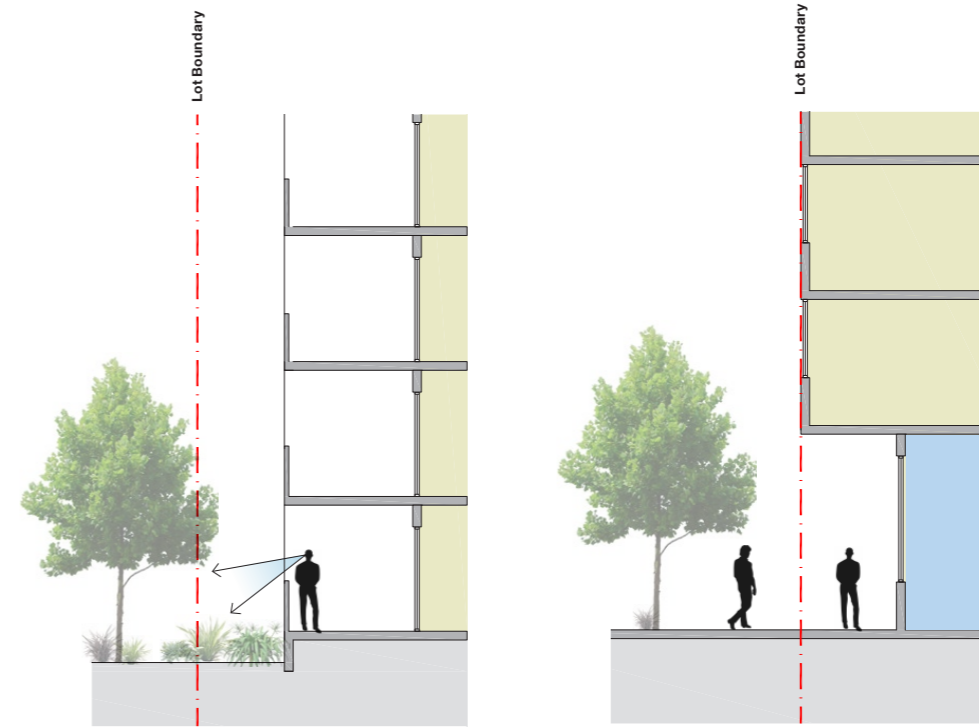
### 04. PUBLIC DOMAIN INTERFACE

**OBJECTIVES**

- A. To transition between private and public domain without compromising safety and security.
- B. To retain and enhance the amenity of the Shrimptons creek corridor.
- C. To maximise the amenity of new streets and public open spaces.

**PROVISIONS**

- 1. Apartments, balconies and courtyards fronting Public Open Space such as Shrimptons Creek landscape corridor, Epping Road landscape corridor, Village Green and Forest playground should be provided with a landscaped buffer to separately define public and private space but maintain passive surveillance.
- 2. Community and retail uses should provide an active frontage to the Village Green.
- 3. Communal open space should be clearly defined and separate from the public domain.



Residential

Retail/  
Community

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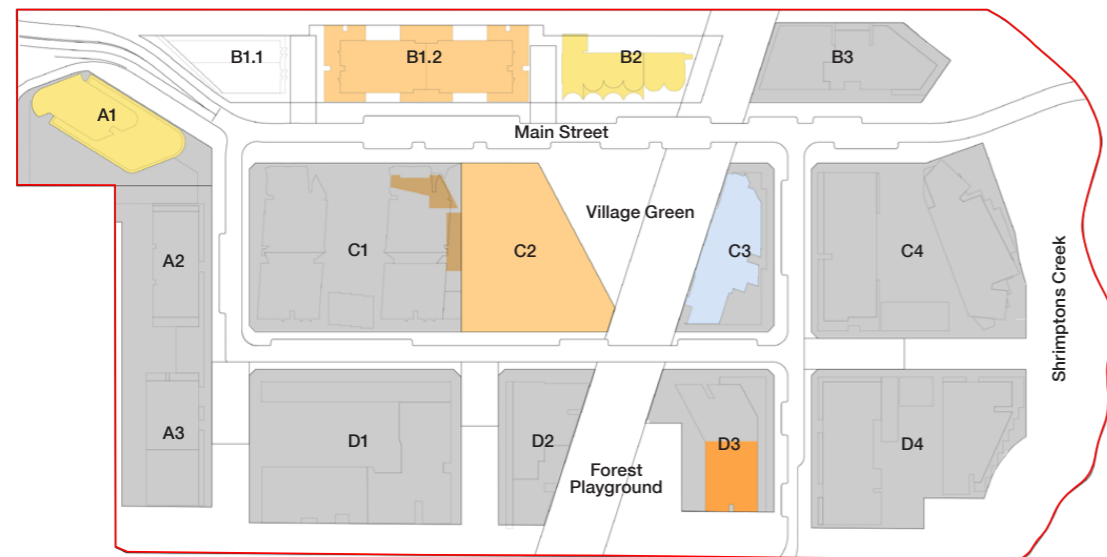
## 05. ACTIVE FRONTAGES

### OBJECTIVES

- A. To provide active frontages with a distinctive civic character to Main Street.
- B. To ensure that public spaces and streets are activated along their edges.
- C. To maximise street frontage activity where ground floor apartments are located.
- D. To deliver amenity and safety for residents when designing ground floor apartments.

### PROVISIONS

- 1. Buildings A1 and B2 should accommodate a childcare centre at ground level
- 2. Buildings B1.2, C1, C2, C3 should accommodate retail and / or communal uses at ground level fronting Main Street and the Village Green
- 3. Building D3 should provide ground level office space for the community housing provider.
- 4. Direct street access should be provided to ground floor apartments
- 5. 2-4 storey residential typologies should be considered on street frontages of apartment buildings fronting neighbourhood streets.



- Childcare
- Community
- Retail
- CHP Office

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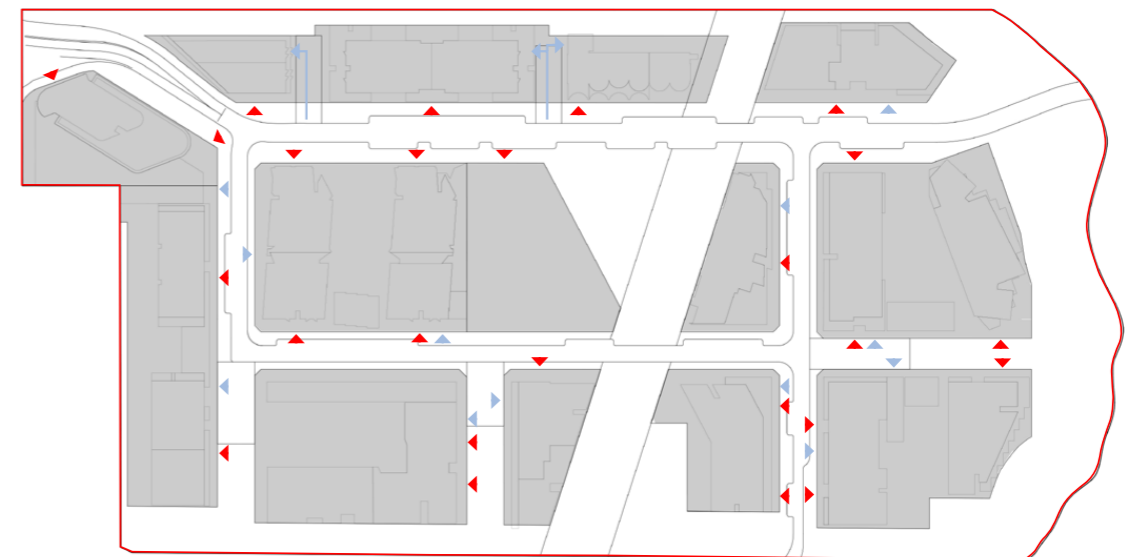
## 06. PEDESTRIAN AND VEHICULAR ENTRY LOCATIONS

### OBJECTIVES

- A. To provide building entries and pedestrian access that connects to and addresses the public domain.
- B. To provide accessible and easily identifiable building entries and pathways.
- C. To minimise conflicts between vehicles and pedestrians
- D. To create high quality streetscapes

### PROVISIONS

- 1. Primary building entries should address the street.
- 2. Vehicle entries should avoid Main St where possible.
- 3. Internal loading docks will be shared wherever possible to limit the amount of driveways to improve public amenity and streetscapes.
- 4. Ensure loading docks are capable of accommodating vehicles for both garbage collection and move ins / move outs.
- 5. Where internal dedicated loading docks are not possible, on-street loading zones will be discretely located near building entries.



- ▲ Pedestrian Entry
- ▲ Vehicular Entry

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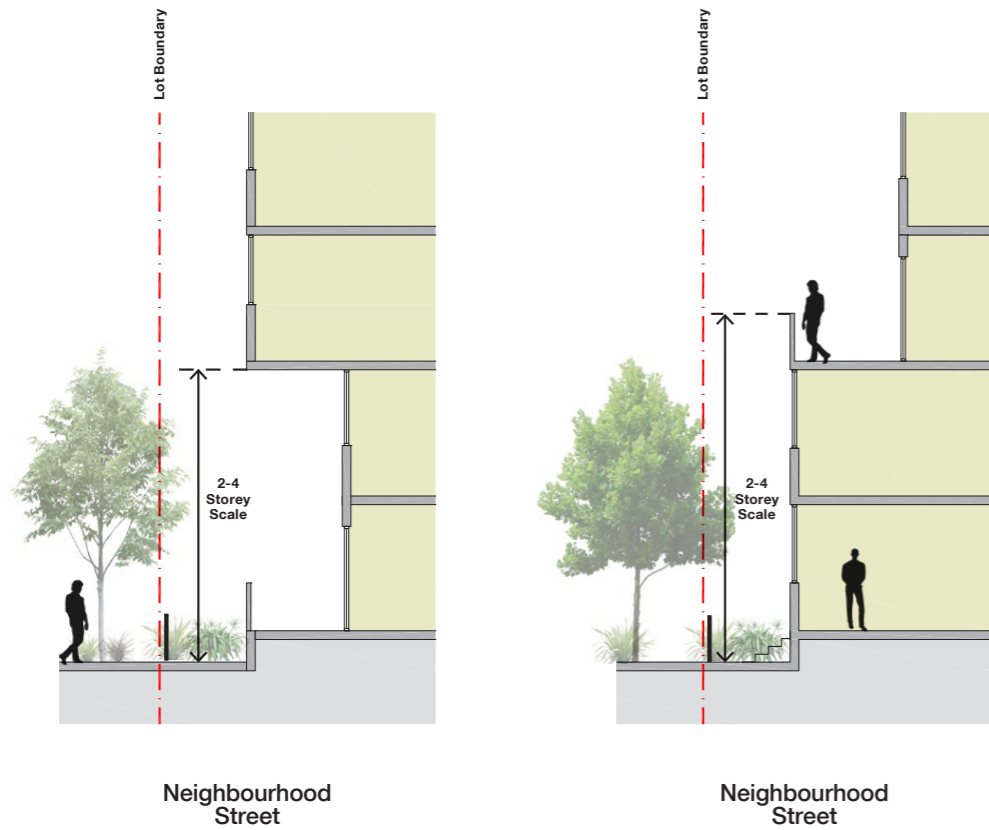
# 07. STREET WALL HEIGHT

**OBJECTIVES**

- A. To provide buildings that positively contribute to the physical definition of the public domain.
- B. To reduce the scale of buildings as perceived from the public domain.

**PROVISIONS**

- 1. On neighbourhood streets, buildings should express a 2-4 storey scale on the lowest levels of the building.



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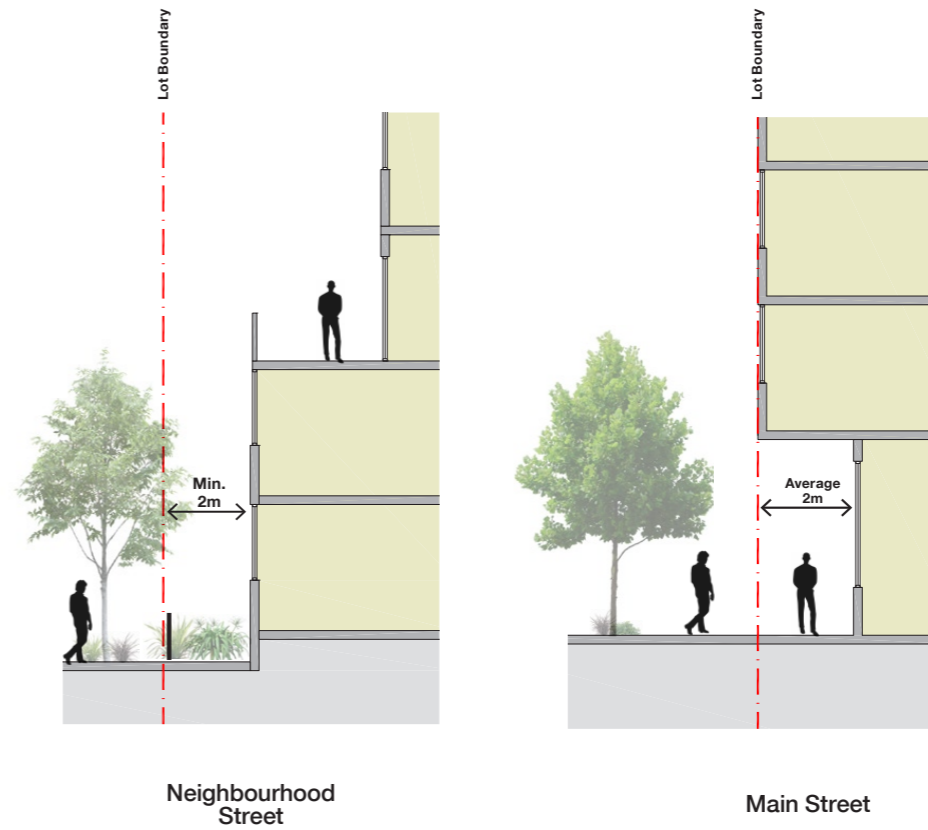
# 08. GROUND LEVEL STREET SETBACKS

**OBJECTIVES**

- A. To provide buildings that positively contribute to the physical definition of the public domain
- B. To transition between private and public domain without compromising safety and security
- C. To provide a landscape design which contributes to the streetscape and residential amenity

**PROVISIONS**

- 1. On neighbourhood streets, the lower levels of buildings should be set back a minimum of 2m from the lot boundary.
- 2. On main street, the lower levels of buildings should have an average set back of 2m from the lot boundary.
- 3. On neighbourhood streets, setback zones should be landscaped to balance street activation and residential amenity.



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## 9. UPPER LEVEL SETBACKS

### OBJECTIVES

- A. To reduce the scale of buildings as perceived from the public domain.
- B. To minimise the adverse wind impact of down drafts from tall buildings

### PROVISIONS

- 1. On neighbourhood streets, upper floors of buildings should be set back a minimum of 4.75m from the lot boundary.
- 2. On Main Street, upper levels of buildings can be built to the lot boundary, subject to building separation requirements of SEPP65.



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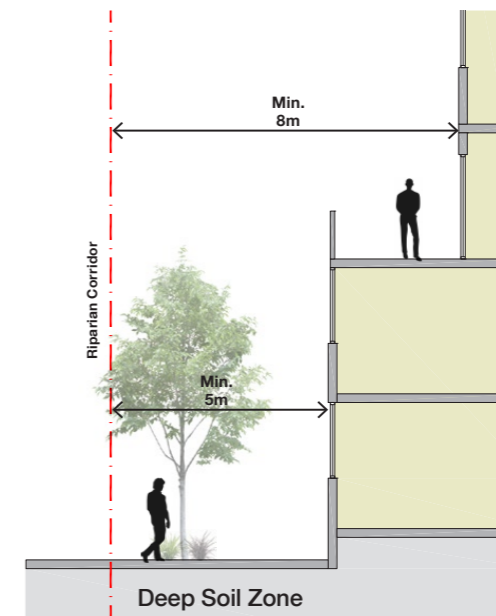
## 10. SETBACK TO SHRIMPTONS CREEK

### OBJECTIVES

- A. To provide buildings that positively contribute to the physical definition of the public domain.
- B. To reduce the scale of buildings as perceived from the public domain.
- C. To minimise the adverse wind impact of down drafts from tall buildings

### PROVISIONS

- 1. Buildings fronting Shrimptons Creek should be set back a minimum of 5m from the edge of the Riparian Corridor.
- 2. Buildings fronting Shrimptons Creek should express a 2-4 storey scale on the lowest levels of the building.
- 3. Fronting Shrimptons Creek, upper levels of buildings should be set back a minimum of 8m from the edge of the Riparian Corridor.
- 4. Buildings fronting Shrimptons Creek should be articulated into multiple parts so that unbroken facades are no longer than 30m.
- 5. Refer to design guideline 4 regarding the interface of public and private space.



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## 11. ROOFTOPS

### OBJECTIVES

- To maximise opportunities to use roof space for residential accommodation and open space.
- To incorporate sustainability features into the roof design.
- To minimise the visual impact of roof plant.

### PROVISIONS

- Private and communal roof terraces should be provided where possible.
- Roofs that are overlooked by other buildings should provide either communal open space or landscape planting.
- Plant areas should be screened from view.
- Upper level roofs should accommodate solar panels.
- Roof levels are to provide interesting silhouettes with no residential accommodation allowed above the maximum approved height.

## 12. FAÇADE EXPRESSION AND MATERIALS

### OBJECTIVES

- To define and reinforce a distinctive character within the masterplan precinct.
- To express building functions.
- To create buildings which will improve with age.

### PROVISIONS

- The lower levels of residential buildings should use masonry as the predominant facade material.
- Render should be avoided as the primary facade material.
- Façade materials should be self-finished, durable and low maintenance.
- Use of colour in building façades should focus on warm, naturally occurring hues.

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## 13. DESIGN EXCELLENCE

### OBJECTIVES

- To ensure architectural diversity is achieved.
- To achieve a high standard of architectural and urban design, materials and detailing appropriate to the building type and location.
- To ensure the form and external appearance of the buildings improve the quality and amenity of the public domain.
- To ensure buildings meet sustainable design principles in terms of sunlight, natural ventilation, wind, reflectivity, visual and acoustic privacy, safety and security and resource, energy and water efficiency.

### PROVISIONS

- Buildings should be designed in accordance with the Ivanhoe Masterplan design excellence strategy prepared by Ethos Urban.

## 14. UNIVERSAL DESIGN

### OBJECTIVES

- Universal design features are included in apartment design to promote flexible housing for all community members.
- A variety of apartments with adaptable designs are provided.

### PROVISIONS

- 100% of social dwellings should incorporate the Liveable Housing Guideline's silver level universal design features
- 5% of market and affordable dwellings should be wheelchair adaptable to meet the requirements of AS4299 Class C.

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