

GLENDENNING ROAD DATA CENTRE, 2 GLENDENNING RD, GLENDENNING NSW 2761

Landscape Design Report for State Significant Development

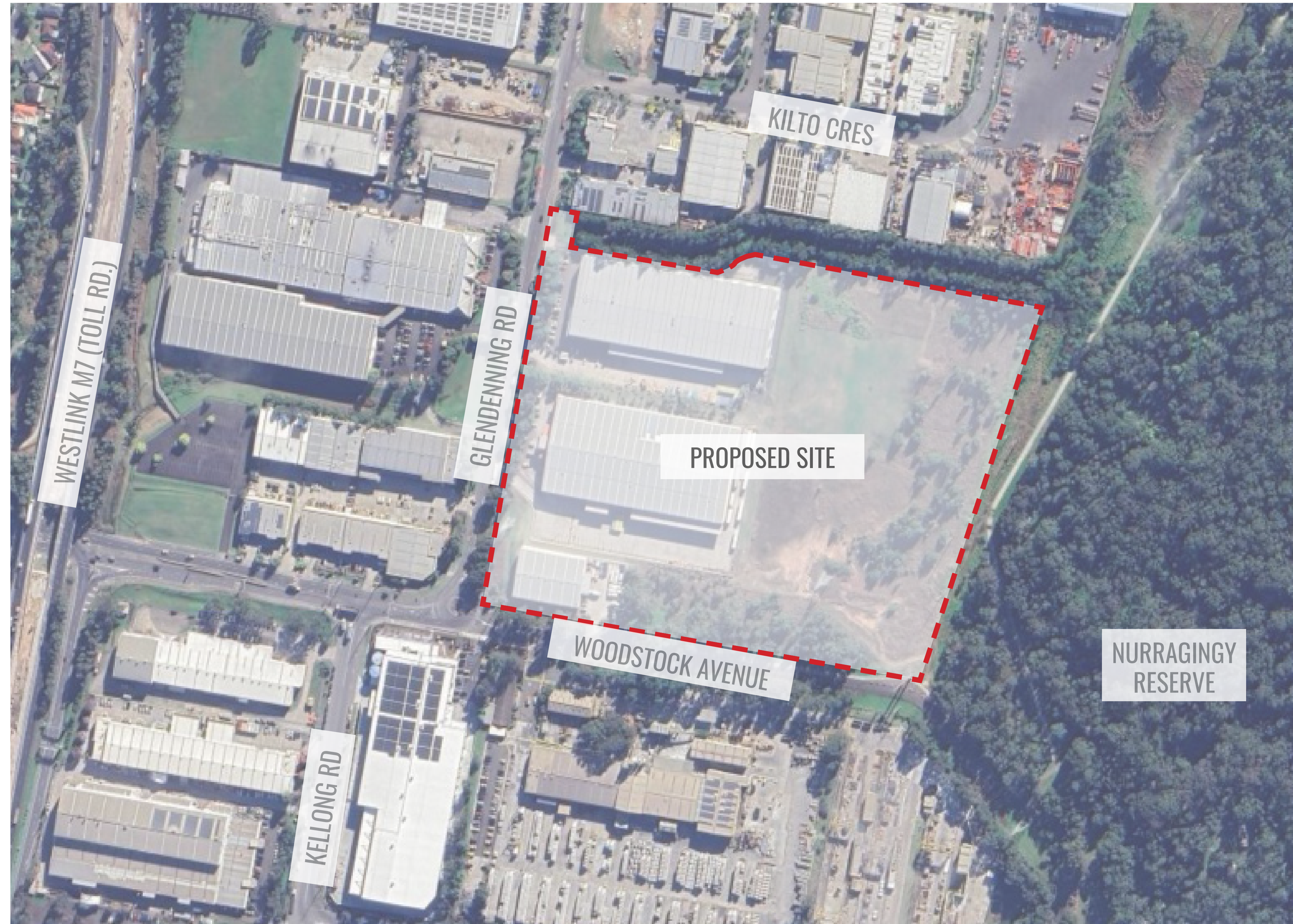
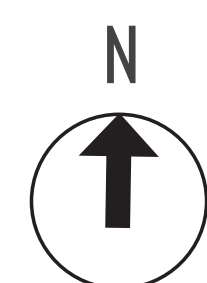


IMAGE TAKEN FROM GOOGLE EARTH 2024



Summary of SEARs

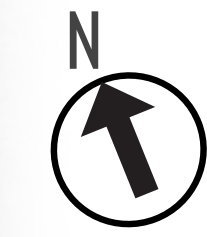
SEARs Items	Secretary's Environmental Assessment Requirements	Report Reference
Key Issues	Trees and Landscaping	
	Provide a detailed site-wide landscape plan, that:	
	- Identifies the number and location of trees to be removed and retained, and how opportunities to retain significant trees have been explored and/or informs the plan.	The retention of existing trees has been assessed against security constraints relating to the operation of the proposed development. Trees have been retained where possible. Refer to the master plan L-0002 for existing trees to be retained and removed and the project arborist report.
	- Details the proposed site planting, including location, number and species of plantings, heights of trees at maturity and proposed canopy coverage (as a percentage of the site area).	Refer to the detail plans L-0100 to L-0103 for proposed planting design, L-0301 to L-0302 for plant schedules and L-0002 for proposed canopy coverage.
	Demonstrates how the proposed development would:	
	- Contribute to long term landscape setting in respect of the site and streetscape.	Where possible existing trees on the site have been retained, this has been considered against operating requirements of the facility. Trees that are required to be removed have been offset by the addition of local indigenous and native trees, shrubs and groundcovers. Evergreen native trees are proposed along the frontage to Glendenning Road. Planting is also proposed within the Endeavour Energy transmission easement to the east of the site, species will include native shrubs and groundcovers up to a maximum mature height of 3m. Additionally, 133 trees from local plant communities will be replanted to the south following the demolition of 'Building A'. This will strengthen the existing biodiversity zones that are adjacent and increase canopy cover.
	- Mitigate the urban heat island effect and ensure appropriate comfort levels on-site.	Tree planting has been maximised where possible, this has been reviewed against security and underground service requirements that are required for this type of development. Canopy trees are proposed in the car park blisters to offer shade for parking spaces, these will utilise a subsurface stratavault system to help maximise potential growth in the urban environment.
	- Contribute to the objective of increased urban tree canopy cover.	Following the expected maturity of the proposed tree planting, there will be a net increase in canopy cover compared to the existing site condition, from 10,350.5 m ² to 10,378.8 m ² . Please refer to L-0002 for the proposed canopy coverage calculations.
	- Maximise opportunities for green infrastructure, consistent with Greener Places and having regard to any bush fire risk.	Landscape areas on site will include native planting as well as locally indigenous species. A considerable area of revegetation planting will occur to the south of the site adjacent to existing biodiversity zones. The bushfire report has been reviewed and the requirements of this have been applied to the landscape design. This includes a maximum canopy cover of 15% within APZ areas. Refer to L-0002.

Drawing Register

Dwg No.	Drawing Name
L-0000	Cover Page
L-0001	Landscape Master Plan
L-0002	Canopy Cover Plan
L-0003	Proposed Tree Locations and Services Plan Overlay
L-0004	Landscape Areas to be Irrigated
L-0100	Landscape Detail Plan - Sheet 1
L-0101	Landscape Detail Plan - Sheet 2
L-0102	Landscape Detail Plan - Sheet 3
L-0103	Landscape Detail Plan - Sheet 4
L-0200	Sections A-A & B-B
L-0201	Sections C-C
L-0300	Specification & Typical Details
L-0301	Planting Schedule & Landscape Matrices
L-0302	Planting Schedule & Imagery
L-0400	Greener Place Design Guide



SITE PLAN



SCALE 1:1000

NOTES

KEYNOTES

- NOT FOR CONSTRUCTION
- FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION

LEGEND

REVISION NOTE

- TREE CANOPY CALCULATION HAVE BEEN UPDATED TO REFLECT THE LATEST VERSION.
- THE SITE PLAN AND CIVIL DRAWINGS HAVE BEEN UPDATED TO REFLECT THE LATEST VERSION.

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LGI	BG	
C	04/10/24	100% Draft Issue	AT	LGI	BG	
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MECHANICAL/ELECTRICAL ENGINEER	HYDRAULIC/FIRE ENGINEER
LIC CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060	LIC CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060

CIVIL ENGINEER	STRUCTURAL ENGINEER
ARCOR CONSULTANTS PTY LTD 02 9438 9098 SUITE 2, LEVEL 2, 33 HERBERT STREET, ST LEONARDS NSW 2060	IAN WILKINSON CONSULTING 02 9436 0423 LEVEL 6, 39 CHANDOS ST, ST LEONARDS NSW 2060

ARCHITECT	LANDSCAPE
GREENWICH ARCHITECTURE PTY LTD 02 8969 8939 LEVEL 22, 38 PITT STREET, SYDNEY NSW 2000	GEOSCAPES 02 9411 1485 SUITE 310, 1161 HELP STREET, CHATHAMWOOD NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE

TITLE: COVER PAGE

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PAPER SIZE: SCALE: 1:1000 @ A0

AGILE NO: REV: G

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NOTE
 General Contractor to make provision to review and assess the following items and provide options to the Client for approval:

- Trees removed from the site are to be reused or recycled on-site where feasible.
- The feasibility of using indigenous seed collected from the site, including plant production from seed and subsequent replanting.

3m LANDSCAPE AREAS OFFSET FROM SECURITY FENCE TO INCLUDE LOW NON CLIMBABLE GROUNDCOVERS/CREEPERS.

GROUP OF 1-3m-TALL SHRUBS INTEGRATED WITH EXISTING TREE GROUPS TO HELP SCREEN THE DEVELOPMENT IN RESPONSE TO INTEGRATED RTS COMMENTS.

EXISTING TREES TO BE RETAINED. ANY CANOPY WITHIN THE 3m WIDE STERILE ZONE TO BE TRIMMED BASED ON ADVICE FROM THE PROJECT ARBORIST.

GROUP OF 1.5-2.5m TALL SHRUBS ADJACENT TO THE FUEL TANK AREA TO HELP SCREEN THE DEVELOPMENT IN RESPONSE TO INTEGRATED RTS COMMENTS. THE SELECTED SHRUB SPECIES ARE NON-INVASIVE AND HAVE SHALLOW ROOT SYSTEMS. REFER TO SECTION A-A, PAGE L-0200.

LINE OF DENSE EVERGREEN TREES ADJACENT TO STREETSCAPE TO HELP SCREEN DEVELOPMENT.

CUPANIOPSIS ANACARDIODES AND ELAEOCARPUS RETICULATUS PRIMA DONNA ADJACENT TO PARKING LOTS, UNDERPLANTED WITH GROUPS OF GROUNDCOVERS.

PLANTING ADJACENT TO ENTRY AND EXIT TO INCLUDE NEAT ORNAMENTAL NATIVE PLANTING OF GROUNDCOVERS AND SHRUBS.

1.2m TALL OZOTHAMNUS DIOSMIFOLIUS SHRUBS TO SCREEN THE RETAINING WALL AND RAMP BEHIND

LARGE CANOPY TREE WITH STRATAVAULT CELLS TO CARPARK ISLANDS.

REVEGETATION AREA TO BE INSTALLED AS PART OF STAGE 1. PRIOR TO COMPLETION THE AREA OF THE EXISTING BUILDING DEMOLITION MAY BE USED AS A LAYDOWN AREA.



CANOPY TREE PLANTING TO PERIMETER AREAS WHERE NOT AFFECTED BY UNDERGROUND SERVICES.

LINE OF DENSE EVERGREEN TREES TO HELP SCREEN THE BUILDING FROM THE NORTH. PROPOSED TREES PLANTED WITH ROOT BARRIERS TO PROTECT THE EXISTING SEWER MAIN.

3.0m HIGH ULTIMATE OUTER FENCE.

LINE OF DENSE EVERGREEN TREES TO SCREEN WATER TANKS.

2.4m HIGH ULTIMATE OUTER FENCE.

2.4m HIGH ULTIMATE INNER SECURITY FENCE.

STAFF BREAKOUT AREA. TO INCLUDE TABLE SETTINGS, PERGOLA AND TABLE TENNIS.

2.1m HIGH CHAIN LINK FENCE.

GROUP OF NATIVE TREES PLANTED CLOSE TO OFFICE CARPARK UNDERPLANTED WITH GROUPS OF NATIVE GROUNDCOVERS AND GRASSES.

1.2m WIDE CONCRETE PATH AND 1.8m WIDE GRAVEL STERILE ZONE, OFFSET FROM SECURITY FENCE.

GROUP OF ELAEOCARPUS RETICULATUS PRIMA DONNA AND CUPANIOPSIS ANACARDIODES TREES. UNDERPLANTED WITH GROUPS OF GROUNDCOVERS AND GRASSES.

DENSE EVERGREEN TREES TO HELP SCREEN SERVICE AREA FROM CAR PARKING.

SUPPLEMENTARY PLANTING OF INDIGENOUS NATIVE SHRUB AND GROUNDCOVERS WITH A MAX HEIGHT OF 3m TO THE ENDEAVOUR ENERGY TRANSMISSION EASEMENT AREA.

NATIVE GRASSES TO SWALE. SPECIES TO INCLUDE AUSTROSTIPA SETACEA AND THEMEDA TRIANDRA.

GROUP OF NATIVE TREES PLANTED 3m AWAY FROM BOTH SIDES OF THE ELECTRICAL WIRE. UNDERPLANTED WITH INDIGENOUS NATIVE SHRUBS AND GROUNDCOVERS WITH A MAXIMUM HEIGHT OF 3m, INCLUDING NATIVE GROUNDCOVERS AND GRASSES.

EXISTING TERRESTRIAL BIODIVERSITY AND BIODIVERSITY ZONE.

NOTES

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LEGEND

REVISION NOTE:

- THE SITE PLAN AND CIVIL DRAWINGS HAVE BEEN UPDATED TO REFLECT THE LATEST VERSION.
- THE TREE HAS BEEN REPLACED WITH A LARGER SPECIES, AND SHRUBS HAVE BEEN PROPOSED IN THE FRONT LANDSCAPE AND TULE TAIN AREA.
- TREES HAVE BEEN PROPOSED IN THE LANDSCAPE BETWEEN BUILDINGS DC02 - DC03 AND AT THE EASTERN SITE.
- NINE TREES HAVE BEEN REMOVED FROM THE EXISTING MAINTENANCE TRACK TO NURRAGINY RESERVE.
- TWO EXISTING TREES ORIGINALLY MARKED TO BE RETAINED HAVE BEEN CHANGED TO EXISTING TREES TO BE REMOVED IN ACCORDANCE WITH STORMWATER DRAINAGE UPDATES.
- SHRUBS UNDER CANOPY COVER IN APP ZONE HAVE BEEN CHANGED TO LOW GROUNDCOVERS.
- THE PROPOSED CHAINLINK FENCE HAS BEEN ADDED ON THE SITE PLAN.

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MECHANICAL/ELECTRICAL ENGINEER: LGI CONSULTANTS 02 957 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060	HYDRAULIC/FIRE ENGINEER: LGI CONSULTANTS 02 957 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060
CIVIL ENGINEER: MORUM CONSULTANTS PTY LTD 02 9438 5008 SUITE 2, LEVEL 2, 33 HERBERT STREET, ST LEONARDS NSW 2060	STRUCTURAL ENGINEER: HAWKINS CONSULTANTS 02 9438 4423 LEVEL 6, 30 CHADWICK ST, ST LEONARDS NSW 2060
ARCHITECT: GREENWICH ARCHITECTURE PTY LTD 02 9609 8859 LEVEL 22, 28 PITT STREET, SYDNEY NSW 2000	LANDSCAPE ARCHITECT: GREENWICH ARCHITECTURE PTY LTD 02 9411 1485 SUITE 310, 145 HILL STREET, CHATSWOOD, NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE

TITLE: LANDSCAPE MASTER PLAN

DRAWING: GROC26-GEO-00-XX-DR-SSDA-L-0001

PAPER SIZE: SCALE: 1:500 @ A0

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LEGEND

SITE BOUNDARY: 104,400 M²

- PROPOSED TREE CANOPY INSIDE APZ ZONE : 383 M²
- PROPOSED TREE CANOPY OUTSIDE APZ ZONE : 1,505.6 M²
- PROPOSED TREE CANOPY IN REVEGETATION ZONE : 2,951.3 M²
- TOTAL PROPOSED TREE CANOPY: 4,839.9 M²**
(318 PROPOSED TREES)
- EXISTING TREE CANOPY COVER: 5,444.5 M²
- OVERALL CANOPY COVER**

SITE AREA: 104,400 M²

TOTAL CANOPY COVER IN SITE AREA = 10,378.8 M² (10% OF SITE AREA)
(EXISTING TREE CANOPY + TOTAL PROPOSED TREE CANOPY: 5,444.5 M² + 4,839.9 M²)

BUSHFIRE CANOPY COVER
(REFER TO BUSHFIRE REPORT)

AREA OF ASSET PROTECTION ZONE = 21,520.3 M²
MAXIMUM PERMITTED CANOPY COVER IN AREAS OF APZ AS PER PBP2019 = 15% = 3,228 M²

BUILDING FOOTPRINT, FIRE PUMP ROOM AND EE ROOM
PROPOSED TREE CANOPY INSIDE APZ ZONE : 383 M² (1.78% OF APZ ZONE)

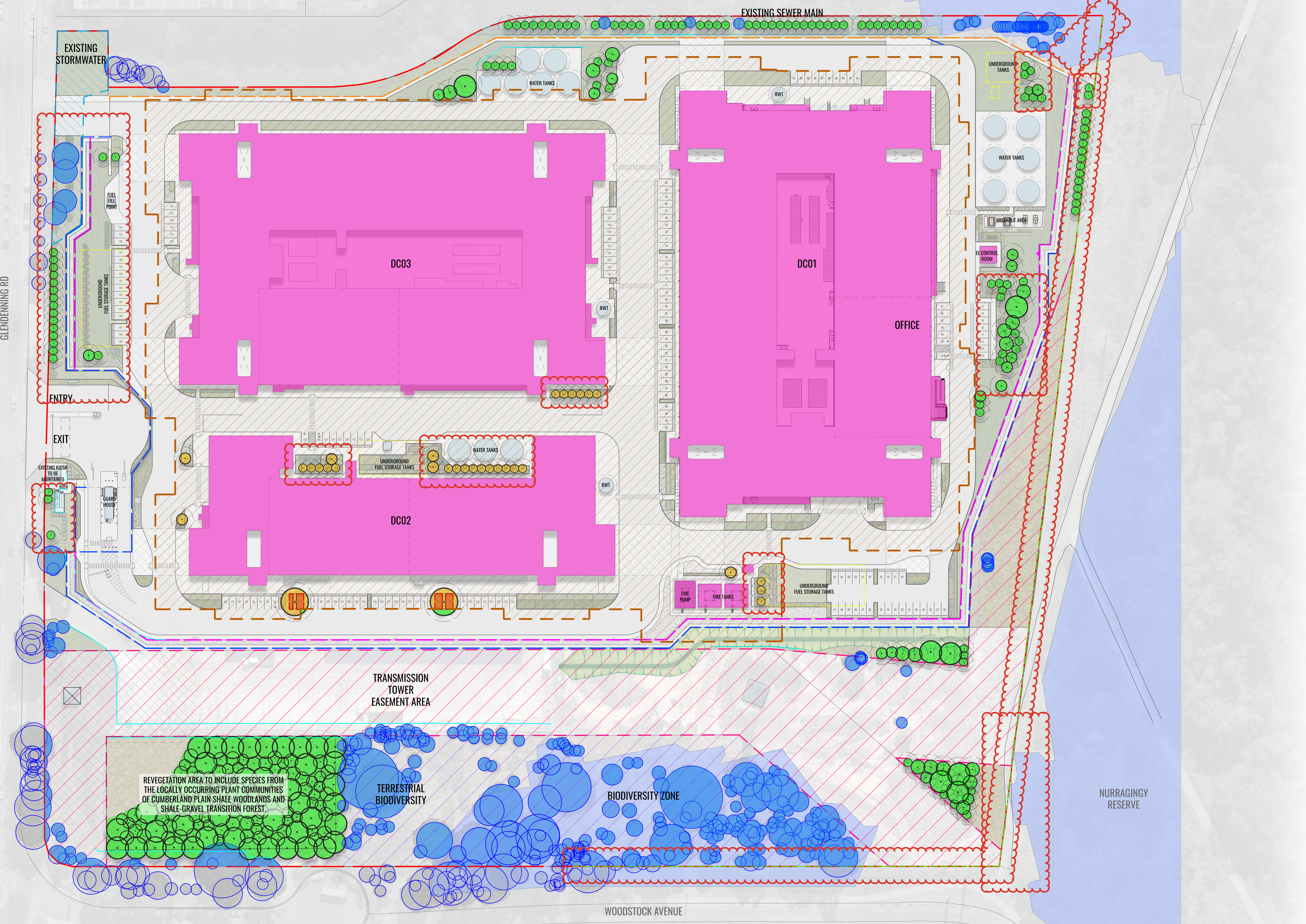
- EXISTING TREE TO BE REMOVED (REFER TO ARBORISTS REPORT)
- AREA REQUIRED FOR CRANE PADS
- EXISTING SEWER MAIN AREA
- TRANSMISSION TOWER EASEMENT
- EXISTING STORMWATER EASEMENT
- UNDERGROUND TANK
- ULTIMATE OUTER FENCE 2.4m. REFER TO ARCHITECTURAL DETAILS.
- ULTIMATE INNER FENCE 2.4m. REFER TO ARCHITECTURAL DETAILS.
- ULTIMATE OUTER FENCE 3.0m. REFER TO ARCHITECTURAL DETAILS.
- CHAIN LINK FENCE 2.1m. REFER TO ARCHITECTURAL DETAILS.

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MECHANICAL/ELECTRICAL ENGINEER: LICI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060	HYDRAULIC/FIRE ENGINEER: LICI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060
CIVIL ENGINEER: MORUM CONSULTANTS PTY LTD 02 9438 5008 SUITE 2, LEVEL 5, 33 HERBERT STREET, ST LEONARDS NSW 2060	STRUCTURAL ENGINEER: TAN CONNOR CONSULTING 02 94304323 LEVEL 6, 39 CHANDOS ST, ST LEONARDS NSW 2060
ARCHITECT: GREENWICH ARCHITECTURE PTY LTD 02 860 8829 LEVEL 22, 88 PITT STREET, SYDNEY NSW 2000	LANDSCAPE ARCHITECT: GREENSCAPES 02 9411 1485 SUITE 310, 1463 PITT STREET, CHATSWOOD, NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE
TITLE: CANOPY COVER PLAN
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REV: G
PRINT IN COLOUR





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LEGEND

- TRANSMISSION TOWER EASEMENT
- EXISTING SEWER MAIN AREA
- PROPOSED ELECTRICAL 10m WIDE EASEMENT (132KV FEEDERS)
- PROPOSED STRATAVAULT CELL (APPROX 25m x 30m OF STRATAVAULT TO EACH TREE LOCATION STACKED TWO HIGH REFER TO DETAIL 2 & 2A ON DWG L-0300)
- LOCATION OF ROOT BARRIER
- PROPOSED TREE PLANTING IN STRATAVAULT CELL
- PROPOSED TREE
- ENDEAVOUR ENERGY 10m RADIUS EXCLUSION ZONE FROM TRANSMISSION
- STORMWATER
- TELECOMMUNICATIONS
- WATER
- SEWER
- FIRE
- FUEL
- INDUSTRIAL WASTE
- RECYCLED WATER
- SECURITY
- ELECTRICAL
- MECHANICAL
- SPILL CONTAINMENT
- LIGHT POLE LOCATION
- ULTIMATE OUTER FENCE 3.4m REFER TO ARCHITECTURAL DETAILS.
- ULTIMATE INNER FENCE 2.4m REFER TO ARCHITECTURAL DETAILS.
- ULTIMATE OUTER FENCE 3.0m REFER TO ARCHITECTURAL DETAILS.
- CHAIN LINK FENCE 2.1m REFER TO ARCHITECTURAL DETAILS.

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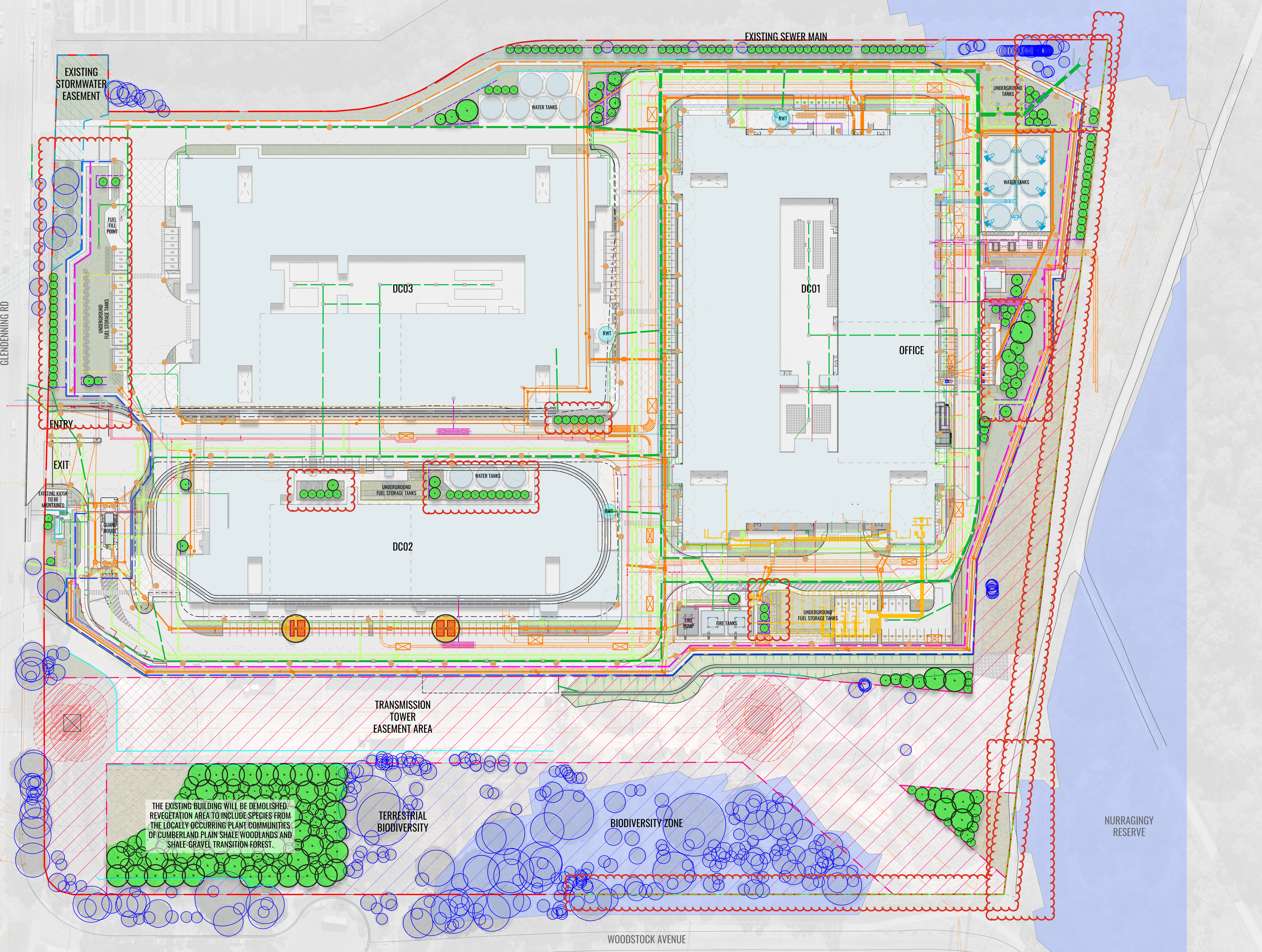
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CIVIL ENGINEER: MORUM CONSULTANTS PTY LTD 02 9438 5008 SUITE 2, LEVEL 1, 33 HERBERT STREET, ST LEONARDS NSW 2060	STRUCTURAL ENGINEER: TAN FOR MEIER CONSULTING 02 9430 4213 LEVEL 6, 39 CHANDOS ST, ST LEONARDS NSW 2060
ARCHITECT: GREENWICH ARCHITECTURE PTY LTD 02 9603 8829 LEVEL 22, 38 PITT STREET, SYDNEY NSW 2000	LANDSCAPE ARCHITECT: GREENWICH ARCHITECTURE PTY LTD 02 9411 1485 SUITE 310, 1163 PITT STREET, CHATSWOOD, NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE

TITLE: PROPOSED TREE LOCATIONS & SERVICES PLAN OVERLAY

DRAWING: GRC026-GE0-00-XX-DR-SSDA-L-0003

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THE EXISTING BUILDING WILL BE DEMOLISHED. REVEGETATION AREA TO INCLUDE SPECIES FROM THE LOCALLY OCCURRING PLANT COMMUNITIES OF CUMBERLAND PLAIN SHALE WOODLANDS AND SHALE-GRAVEL TRANSITION FOREST.

TERRESTRIAL BIODIVERSITY

BIODIVERSITY ZONE

TRANSMISSION TOWER EASEMENT AREA

NURRAGINY RESERVE

WOODSTOCK AVENUE

GLENDENNING RD

EXISTING SEWER MAIN

EXISTING STORMWATER EASEMENT

FUEL FILL POINT

ENTRY

EXIT

EXISTING ROADS TO BE MAINTAINED

DC03

DC01

DC02

OFFICE

WATER TANKS

WATER TANKS

WATER TANKS

WATER TANKS

WATER TANKS

WATER TANKS

FIRE TANKS

FIRE TANKS

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NOTES



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LEGEND

- PERMANENTLY IRRIGATED LANDSCAPE AREAS
- TEMPORARILY IRRIGATED LANDSCAPE AREAS

GLENDENNING RD

WOODSTOCK AVENUE

NURRAGING RESERVE

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HYDRAULIC/FIRE ENGINEER: LCI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060

SOIL ENGINEER: AECOM CONSULTANTS PTY LTD 02 9438 5008 SUITE 2, LEVEL 1, 33 HERBERT STREET, ST LEONARDS NSW 2060

STRUCTURAL ENGINEER: IAN GIBBER CONSULTING 02 9436 0432 LEVEL 6, 39 CHANDOS ST, ST LEONARDS NSW 2060

ARCHITECT: GREENWICK ARCHITECTURE PTY LTD 02 8603 8829 LEVEL 22, 38 PITT STREET, SYDNEY NSW 2000

LANDSCAPE: G2SCAPES 02 9411 1485 SUITE 310, 51 HILL STREET, CHATSWOOD, NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE

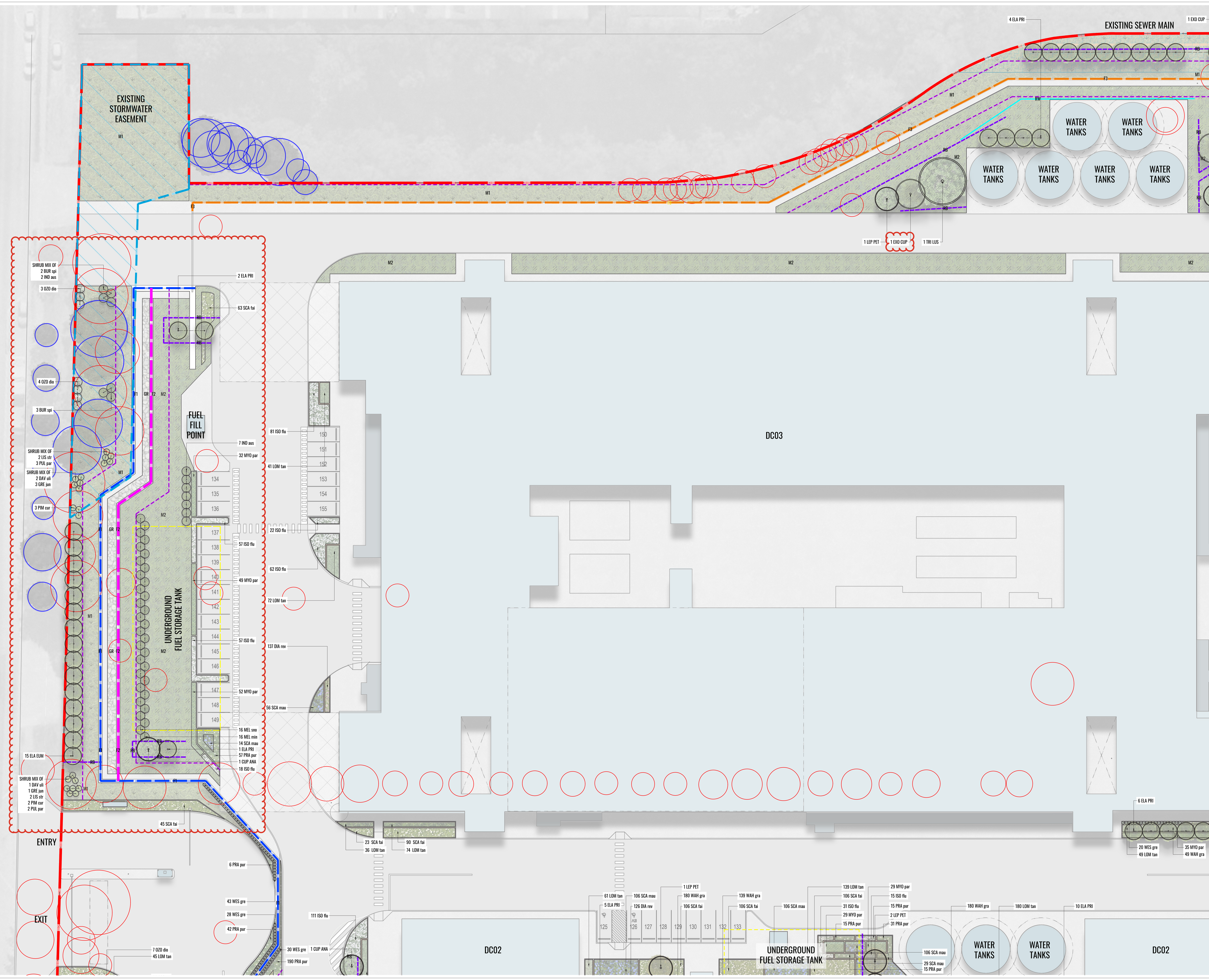
TITLE: LANDSCAPE AREAS TO BE IRRIGATED

DRAWING: GRDC86-GEO-00-XX-DR-SSDA-L-0004

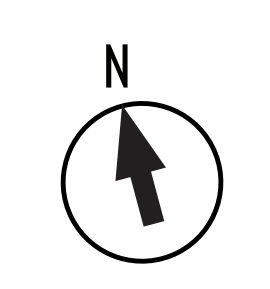
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NOTES



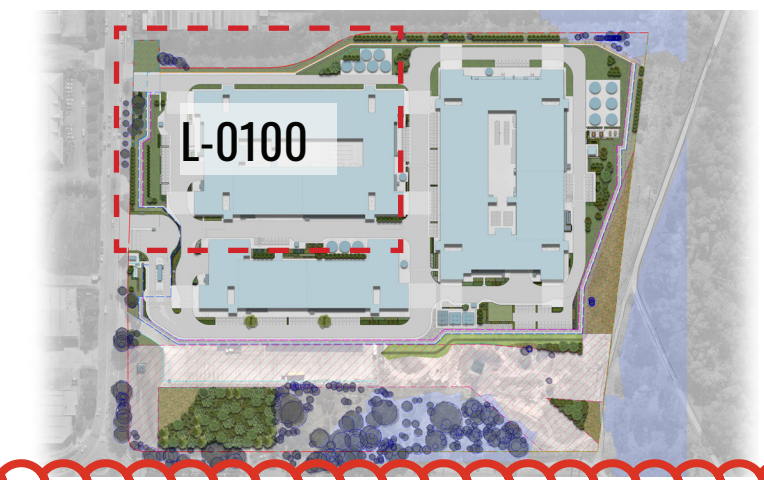
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LEGEND

- SITE BOUNDARY
- PROPOSED TREE
- EXISTING TREE TO BE RETAINED INSIDE SITE
- PROPOSED STRATAVAULT CELL (25m² OF STRATAVAULT PER TREE LOCATION)
- ULTIMATE OUTER FENCE 2.4m REFER TO ARCHITECTURAL DETAILS
- ULTIMATE INNER FENCE 2.4m REFER TO ARCHITECTURAL DETAILS
- ULTIMATE OUTER FENCE 3.0m REFER TO ARCHITECTURAL DETAILS
- CHAIN LINK FENCE 2.1m REFER TO ARCHITECTURAL DETAILS
- LOCATION OF ROOT BARRIER
- RETAINING WALL
- TIMBER EDGING
- SHRUB
- EXISTING TREE TO BE REMOVED (REFER TO ARBORIST'S REPORT)
- PROPOSED GRAVEL
- P1 LARGE FORMAT PAVERS
- P2 PAVING
- PROPOSED GROUNDCOVER PLANTING
- M1 PROPOSED LANDSCAPE AREA MATRIX 1
- M2 PROPOSED LANDSCAPE AREA MATRIX 2
- M3 PROPOSED LANDSCAPE AREA MATRIX 3
- M3A PROPOSED LANDSCAPE AREA MATRIX 3A
- BIODIVERSITY ZONE
- UNDERGROUND FUEL STORAGE TANK
- AREA REQUIRED FOR CRANE PADS
- TERRESTRIAL BIODIVERSITY
- STERILE ZONE
- TRANSMISSION TOWER EASEMENT
- EXISTING STORMWATER EASEMENT
- EXISTING SEWER MAIN AREA
- TABLE TENNIS TABLE
- TABLE AND BENCH SITTING
- UNDERGROUND TANK REFER TO CIVIL DRAWING
- PERGOLA

Key Plan:



- REVISION NOTE:
- THE SITE PLAN AND CIVIL DRAWINGS HAVE BEEN UPDATED TO REFLECT THE LATEST VERSION.
 - THE TREE HAS BEEN REPLACED WITH A LARGER SPECIES, AND SHRUBS HAVE BEEN PROPOSED IN THE FRONT LANDSCAPE AND FUEL TANK AREA.
 - TREE SPECIES HAVE BEEN REPLACED IN ACCORDANCE WITH LONG-LIVED TREES DESCRIPTIVE OF PCT 3220 - CUMBERLAND SHALE PLAINS WOODLAND.

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LCI	BG	
C	04/10/24	100% Draw Issue	AT	LCI	BG	
D	19/11/24	Final Issue for Review	AT	LCI	BG	
E	28/11/24	Issued for Adequacy Review	AT	LCI	BG	
F	28/02/25	Issued for Public Exhibition - SSDA 73761707	AT	LCI	BG	
G	08/10/25	Issued for RIS - SSDA 73761707	AT	LCI	BG	

MECHANICAL/ELECTRICAL ENGINEER: GLENDENNING ELECTRICAL ENGINEERS
 02 937 0570
 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060

HYDRAULIC/FIRE ENGINEER: GLENDENNING ENGINEERS
 02 937 0570
 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060

SOIL ENGINEER: HOKI CONSULTANTS PTY LTD
 02 9438 5008
 SUITE 2, LEVEL 2, 33 HERBERT STREET, ST LEONARDS NSW 2060

STRUCTURAL ENGINEER: HOKI CONSULTANTS PTY LTD
 02 9438 5008
 SUITE 2, LEVEL 2, 33 HERBERT STREET, ST LEONARDS NSW 2060

LANDSCAPE ARCHITECTURE: GREENWOOD ARCHITECTURE PTY LTD
 02 800 8929
 LEVEL 22, 28 PITT STREET, SYDNEY NSW 2000

LANDSCAPE ARCHITECTURE: GREENWOOD ARCHITECTURE PTY LTD
 02 800 8929
 SUITE 310, HILL STREET, CHATSWOOD NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE
 TITLE: LANDSCAPE DETAIL PLAN - SHEET 1
 DRAWING: GRDC86-GE0-00-XX-DR-SSDA-L-0100
 PAPER SIZE: SCALE: 1:200 @ A0
 AGILE NO: REV: G

PRINT IN COLOUR



- NOT FOR CONSTRUCTION
- FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION

- SITE BOUNDARY
- PROPOSED TREE
- EXISTING TREE TO BE RETAINED INSIDE SITE
- ▭ PROPOSED STRATAVAULT CELL (29m³ OF STRATAVAULT PER TREE LOCATION)
- ULTIMATE OUTER FENCE 2.4m REFER TO ARCHITECTURAL DETAILS
- ULTIMATE INNER FENCE 2.4m REFER TO ARCHITECTURAL DETAILS
- ULTIMATE OUTER FENCE 3.0m REFER TO ARCHITECTURAL DETAILS
- CHAIN LINK FENCE 2.1m REFER TO ARCHITECTURAL DETAILS
- LOCATION OF ROOT BARRIER
- RETAINING WALL
- TIMBER EDGING
- SHRUB
- EXISTING TREE TO BE REMOVED (REFER TO ARBORISTS REPORT)
- GR PROPOSED GRAVEL
- P1 LARGE FORMAT PAVERS
- P2 PAVING
- PROPOSED GROUNDCOVER PLANTING
- M1 PROPOSED LANDSCAPE AREA MATRIX 1
- M2 PROPOSED LANDSCAPE AREA MATRIX 2
- M3 PROPOSED LANDSCAPE AREA MATRIX 3
- M3A PROPOSED LANDSCAPE AREA MATRIX 3A
- BIODIVERSITY ZONE
- UNDERGROUND FUEL STORAGE TANK
- AREA REQUIRED FOR CRANE PADS
- TERRESTRIAL BIODIVERSITY
- STERILE ZONE
- TRANSMISSION TOWER EASEMENT
- EXISTING STORMWATER EASEMENT
- EXISTING SEWER MAIN AREA
- TABLE TENNIS TABLE
- TBS TABLE AND BENCH SITTING
- UNDERGROUND TANK REFER TO CIVIL DRAWING
- PERGOLA

Key Plan:



REVISION NOTE:

- THE SITE PLAN AND CIVIL DRAWINGS HAVE BEEN UPDATED TO REFLECT THE LATEST VERSION
- SHRUBS HAVE BEEN PROVIDED IN FRONT OF EXPOSED RETAINING WALLS
- TREES HAVE BEEN PROPOSED IN THE LANDSCAPE BETWEEN BUILDINGS
- TREE SPECIES HAVE BEEN REPLACED IN ACCORDANCE WITH LONG LIVED TREES DESCRIPTIVE OF PCT 3220 - CUMBERLAND SHALE PLAINS WOODLAND.

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LCI	BG	
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D	19/11/24	Final Issue for Review	AT	LCI	BG	
E	28/11/24	Issued for Adequacy Review	AT	LCI	BG	
F	28/02/25	Issued for Public Exhibition	AT	LCI	BG	
G	08/10/25	Issued for RIS - SSSDA 73761707	AT	LCI	BG	

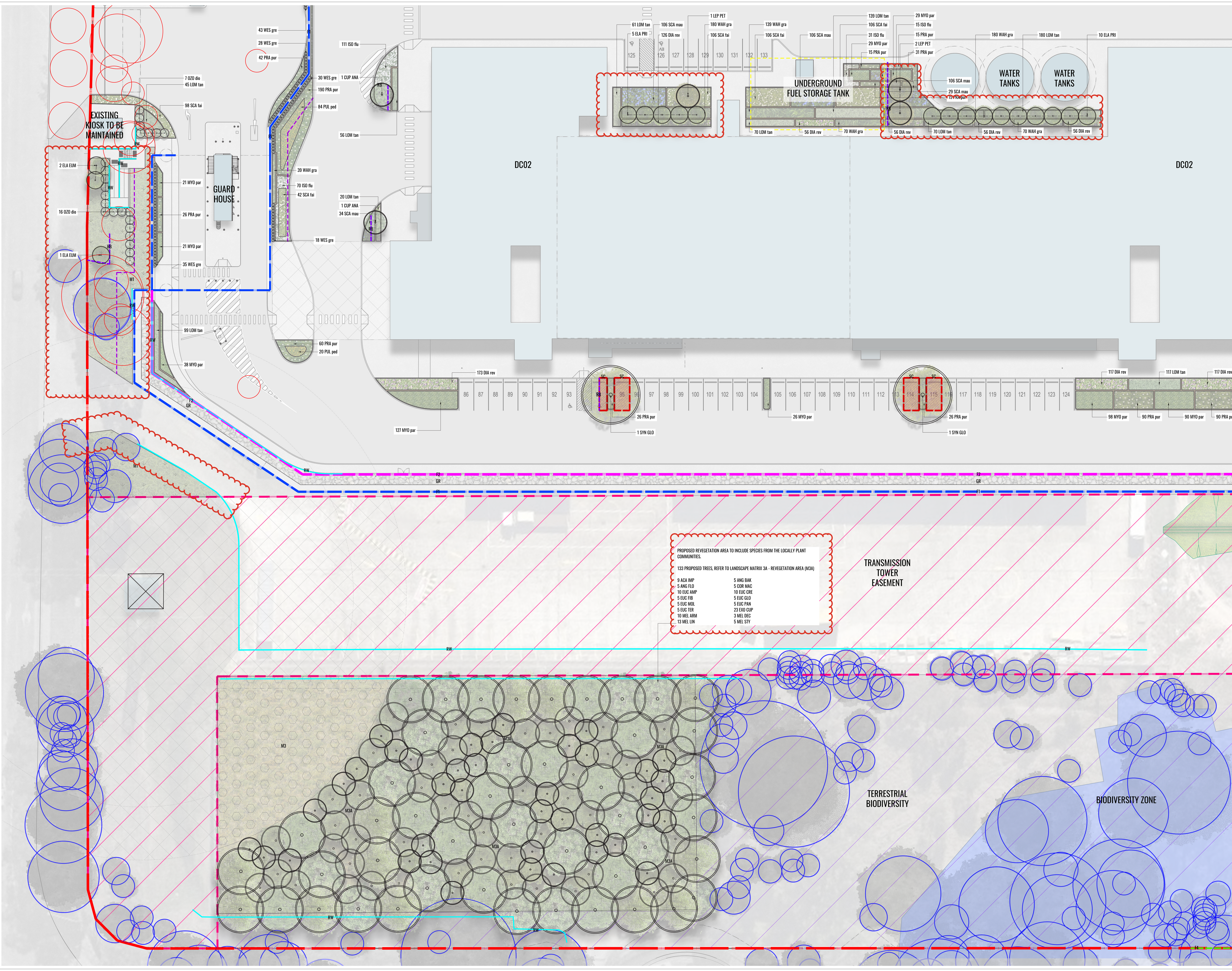
MECHANICAL/ELECTRICAL ENGINEER: LICI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060	HYDRAULIC/FIRE ENGINEER: LICI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060
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CIVIL ENGINEER: MORCON CONSULTANTS PTY LTD 02 9488 5008 SUITE 2, LEVEL 2, 334 HERBERT STREET, ST LEONARDS NSW 2060	STRUCTURAL ENGINEER: MORCON CONSULTANTS 02 9488 5008 SUITE 2, LEVEL 2, 334 HERBERT STREET, ST LEONARDS NSW 2060
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ARCHITECT: GREENWORK ARCHITECTURE PTY LTD 02 9600 8829 LEVEL 22, 88 PITT STREET, SYDNEY NSW 2000	LANDSCAPE: GREENWORK ARCHITECTURE PTY LTD 02 9600 8829 LEVEL 22, 88 PITT STREET, SYDNEY NSW 2000
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PROJECT: GLENDENNING ROAD DATA CENTRE
TITLE: LANDSCAPE DETAIL PLAN - SHEET 2

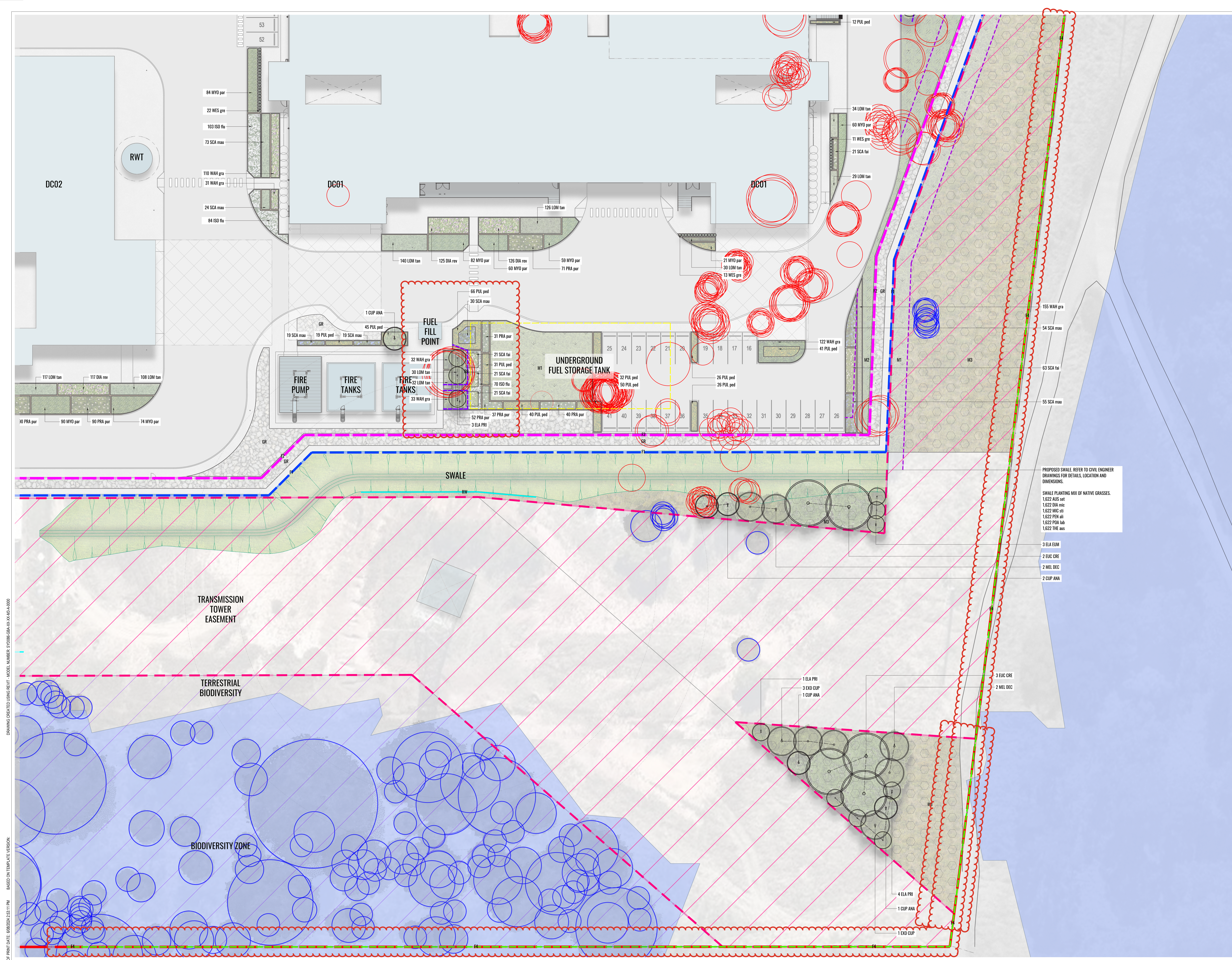
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AGILE NO: REV: G



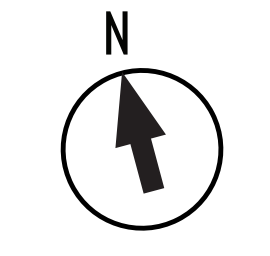
PROPOSED VEGETATION AREA TO INCLUDE SPECIES FROM THE LOCALLY PLANT COMMUNITIES.

133 PROPOSED TREES, REFER TO LANDSCAPE MATRIX 3A - VEGETATION AREA (M3A)

9 ACA IMP	5 ANG BAK
5 ANG FLO	5 COR MAC
10 EUC AMP	10 EUC CRE
5 EUC FIB	5 EUC GLO
5 EUC MOL	5 EUC PAN
5 EUC TER	23 EXO CUP
10 MEL ARM	3 MEL DEC
13 MEL LIM	5 MEL STY



NOTES



KEYNOTES

- NOT FOR CONSTRUCTION
- FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION

LEGEND

- SITE BOUNDARY
- PROPOSED TREE
- EXISTING TREE TO BE RETAINED INSIDE SITE
- PROPOSED STRATAVAULT CELL (25m² OF STRATAVAULT PER TREE LOCATION)
- ULTIMATE OUTER FENCE 2.4m. REFER TO ARCHITECTURAL DETAILS.
- ULTIMATE INNER FENCE 2.4m. REFER TO ARCHITECTURAL DETAILS.
- ULTIMATE OUTER FENCE 3.0m. REFER TO ARCHITECTURAL DETAILS.
- CHAIN LINK FENCE 2.1m. REFER TO ARCHITECTURAL DETAILS.
- LOCATION OF ROOT BARRIER
- RETAINING WALL
- TIMBER EDGING
- SHRUB
- EXISTING TREE TO BE REMOVED (REFER TO ARBORIST'S REPORT)
- PROPOSED GRAVEL
- LARGE FORMAT PAVERS
- PAVING
- PROPOSED GROUNDCOVER PLANTING
- PROPOSED LANDSCAPE AREA MATRIX 1
- PROPOSED LANDSCAPE AREA MATRIX 2
- PROPOSED LANDSCAPE AREA MATRIX 3
- PROPOSED LANDSCAPE AREA MATRIX 3A
- BIODIVERSITY ZONE
- UNDERGROUND FUEL STORAGE TANK
- AREA REQUIRED FOR CRANE PADS
- TERRESTRIAL BIODIVERSITY
- STERILE ZONE
- TRANSMISSION TOWER EASEMENT
- EXISTING STORMWATER EASEMENT
- EXISTING SEWER MAIN AREA
- TABLE TENNIS TABLE
- TABLE AND BENCH SITTING
- UNDERGROUND TANK REFER TO CIVIL DRAWING
- PERGOLA

PROPOSED SWALE REFER TO CIVIL ENGINEER DRAWINGS FOR DETAILS, LOCATION AND DIMENSIONS.

SWALE PLANTING MIX OF NATIVE GRASSES.

- 1.622 AJS set
- 1.622 DIA mic
- 1.622 MIC sh
- 1.622 PEN sh
- 1.622 POA lab
- 1.622 THE bus

- 3 ELA EUM
- 2 EUC CRE
- 2 MEL DEC
- 2 CUP ANA

3 ELA PRI

3 EXO CUP

1 CUP ANA

3 EUC CRE

2 MEL DEC

4 ELA PRI

1 CUP ANA

1 EXO CUP



REVISION NOTE:

- THE SITE PLAN AND CIVIL DRAWINGS HAVE BEEN UPDATED TO REFLECT THE LATEST VERSION.
- TWO EXISTING TREES ORIGINALLY MARKED TO BE RETAINED HAVE BEEN CHANGED TO EXISTING TREES TO BE REMOVED IN ACCORDANCE WITH STORMWATER DRAINAGE UPDATES.
- THE PROPOSED CHAINLINK FENCE HAS BEEN ADDED ON THE SITE PLAN.
- THREE SPECIES HAVE BEEN REPLACED IN ACCORDANCE WITH LONG-LIVED TREES DESCRIPTIVE OF PCT S203 - CUMBERLAND SHALE PLAINS WOODLAND.
- NINE TREES HAVE BEEN REMOVED FROM THE EXISTING MAINTENANCE TRACK TO NURRADINGNY RESERVE.

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LCI	BG	
C	04/10/24	100% Draw Issue	AT	LCI	BG	
D	19/11/24	Final Issue for Review	AT	LCI	BG	
E	28/11/24	Issued for Adequacy Review	AT	LCI	BG	
F	28/02/25	Issued for Public Exhibition - SSDA 73761707	AT	LCI	BG	
G	08/10/25	Issued for RIS - SSSA 73761707	AT	LCI	BG	

MECHANICAL/ELECTRICAL ENGINEER: LICI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060	HYDRAULIC/FIRE ENGINEER: LICI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060
CIVIL ENGINEER: ACORN CONSULTANTS PTY LTD 02 9438 9208 SUITE 2, LEVEL 1, 33 HERBERT STREET, ST LEONARDS NSW 2060	STRUCTURAL ENGINEER: IWK GROUP CONSULTING 02 9430423 LEVEL 6, 39 CHANDOS ST, ST LEONARDS NSW 2060
ARCHITECT: GREENWICK ARCHITECTURE PTY LTD 02 890 8829 LEVEL 22, 88 PITT STREET, SYDNEY NSW 2000	LANDSCAPE: GREENWICK ARCHITECTURE PTY LTD 02 890 8829 SUITE 310, 145 HERBERT STREET, CHATSWOOD NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE

TITLE: LANDSCAPE DETAIL PLAN - SHEET 3

DRAWING: GRC026-GEO-00-XX-DR-SSDA-L-0102

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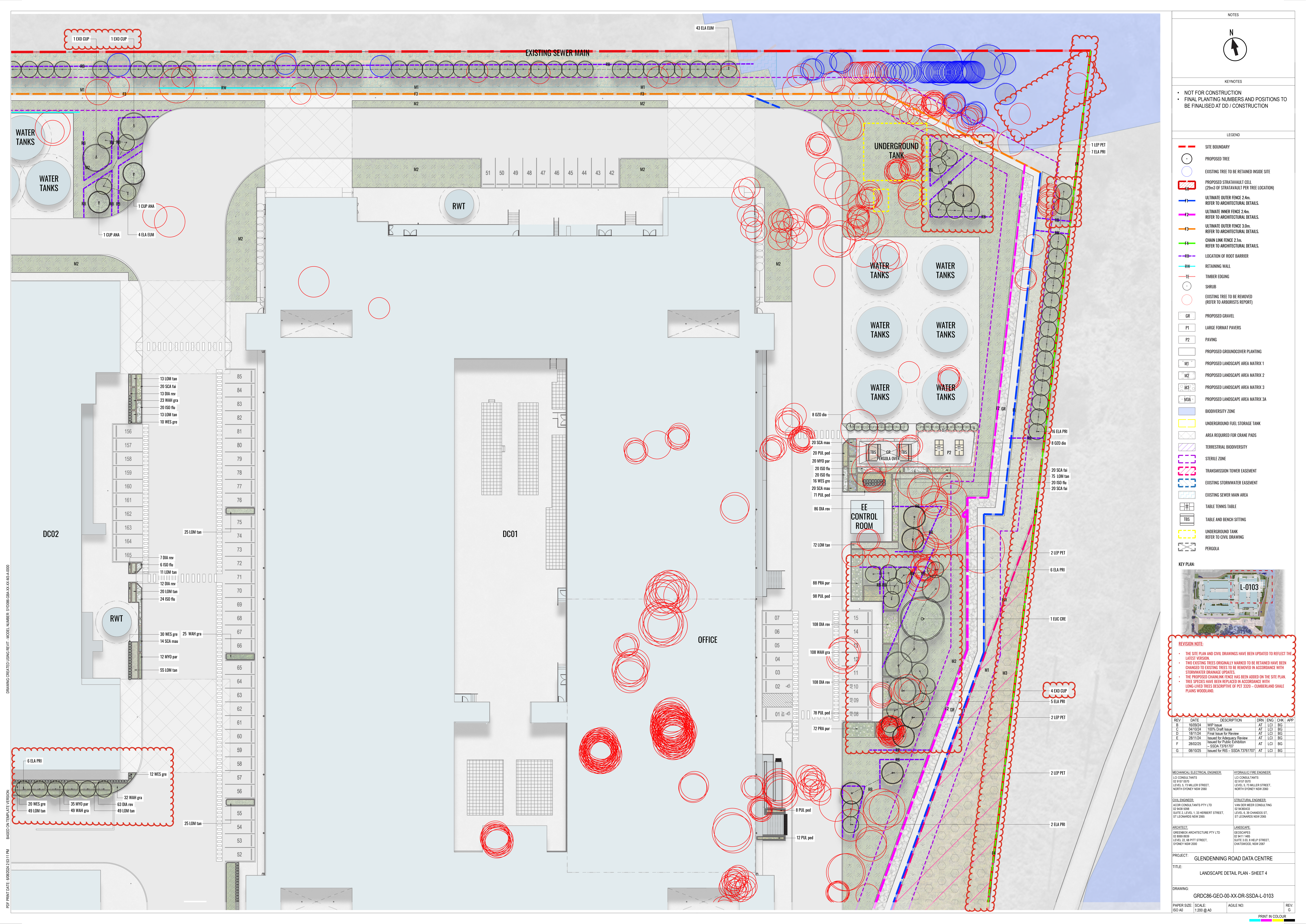
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BASED ON TEMPLATE VERSION:



NOTES



KEYNOTES

- NOT FOR CONSTRUCTION
- FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION

LEGEND

- SITE BOUNDARY
- PROPOSED TREE
- EXISTING TREE TO BE RETAINED INSIDE SITE
- PROPOSED STRATAVAULT CELL (25m² OF STRATAVAULT PER TREE LOCATION)
- ULTIMATE OUTER FENCE 2.4m. REFER TO ARCHITECTURAL DETAILS.
- ULTIMATE INNER FENCE 2.4m. REFER TO ARCHITECTURAL DETAILS.
- ULTIMATE OUTER FENCE 3.0m. REFER TO ARCHITECTURAL DETAILS.
- CHAIN LINK FENCE 2.1m. REFER TO ARCHITECTURAL DETAILS.
- LOCATION OF ROOT BARRIER
- RETAINING WALL
- TIMBER EDGING
- SHRUB
- EXISTING TREE TO BE REMOVED (REFER TO ARBORIST'S REPORT)
- GR PROPOSED GRAVEL
- P1 LARGE FORMAT PAVERS
- P2 PAVING
- PROPOSED GROUNDCOVER PLANTING
- M1 PROPOSED LANDSCAPE AREA MATRIX 1
- M2 PROPOSED LANDSCAPE AREA MATRIX 2
- M3 PROPOSED LANDSCAPE AREA MATRIX 3
- M3A PROPOSED LANDSCAPE AREA MATRIX 3A
- BIODIVERSITY ZONE
- UNDERGROUND FUEL STORAGE TANK
- AREA REQUIRED FOR CRANE PADS
- TERRESTRIAL BIODIVERSITY
- STERILE ZONE
- TRANSMISSION TOWER CASEMENT
- EXISTING STORMWATER CASEMENT
- EXISTING SEWER MAIN AREA
- TABLE TENNIS TABLE
- TBS TABLE AND BENCH SITTING
- UNDERGROUND TANK REFER TO CIVIL DRAWING
- PERGOLA

KEY PLAN:



REVISION NOTE:

- THE SITE PLAN AND CIVIL DRAWINGS HAVE BEEN UPDATED TO REFLECT THE LATEST VERSION
- TWO EXISTING TREES ORIGINALLY MARKED TO BE RETAINED HAVE BEEN CHANGED TO EXISTING TREES TO BE REMOVED IN ACCORDANCE WITH STORMWATER DRAINAGE UPDATES.
- THE PROPOSED CHAINLINK FENCE HAS BEEN ADDED ON THE SITE PLAN.
- TREE SPECIES HAVE BEEN REPLACED IN ACCORDANCE WITH LONG-LIVED TREES DESCRIPTIVE OF PCT S230 - CUMBERLAND SHALE PLAINS WOODLAND.

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LCI	BG	
C	04/10/24	100% Draft Issue	AT	LCI	BG	
D	19/11/24	Final Issue for Review	AT	LCI	BG	
E	28/11/24	Issued for Adequacy Review	AT	LCI	BG	
F	28/02/25	Issued for Public Exhibition - SSDA 73761707	AT	LCI	BG	
G	08/10/25	Issued for RIS - SSDA 73761707	AT	LCI	BG	

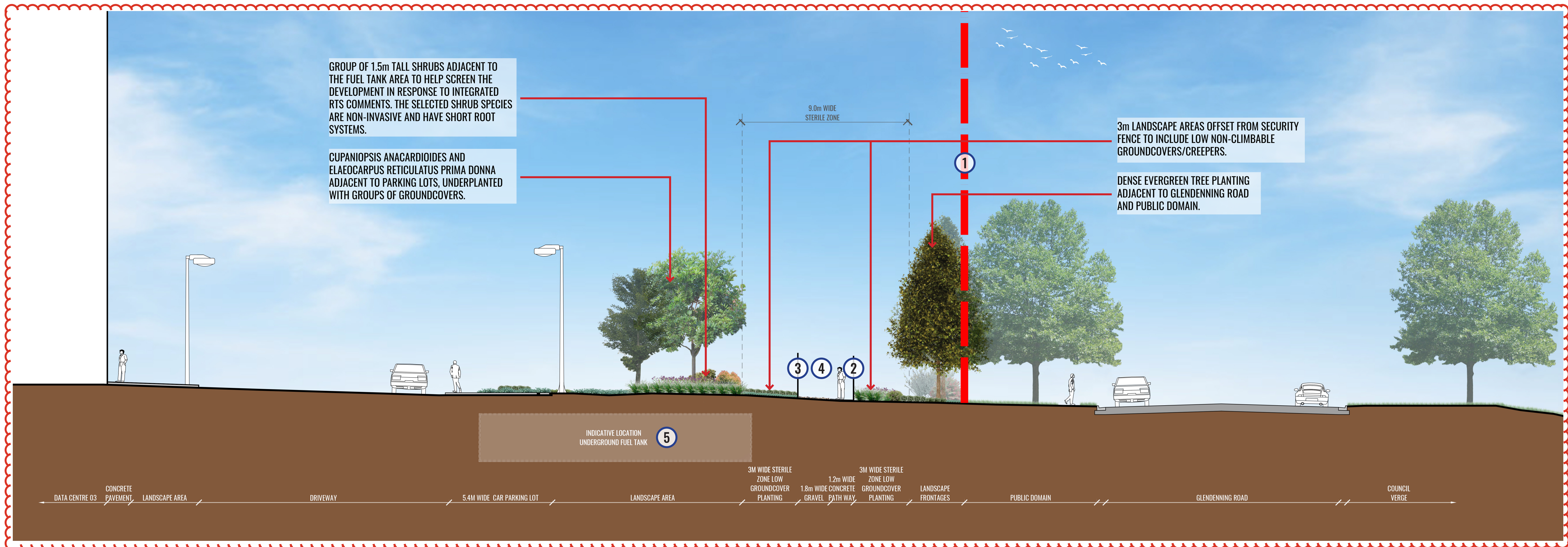
MECHANICAL/ELECTRICAL ENGINEER	HYDRAULIC/FIRE ENGINEER
LCI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060	LCI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060
SOIL ENGINEER	STRUCTURAL ENGINEER
ACORN CONSULTANTS PTY LTD 02 9438 5008 SUITE 2, LEVEL 1, 33 HERBERT STREET, ST LEONARDS NSW 2055	WAVE ENGINEER CONSULTING 02 9430 0423 LEVEL 4, 30 CHANDOS ST, ST LEONARDS NSW 2055
ARCHITECT	LANDSCAPE
GREENWICK ARCHITECTURE PTY LTD 02 8969 8939 LEVEL 22, 88 PITT STREET, SYDNEY NSW 2000	GCSCAPES 02 9411 1485 SUITE 310, 1 HELPS STREET, CHATSWOOD NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE
TITLE: LANDSCAPE DETAIL PLAN - SHEET 4

DRAWING: GROC26-GE0-00-XX-DR-SSDA-L-0103

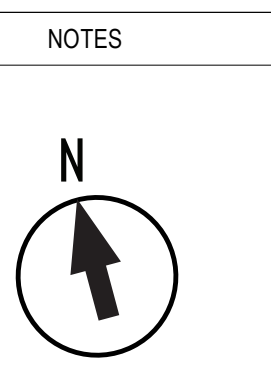
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PRINT IN COLOUR



A-A SECTION A-A
DETAIL SECTION
SCALE 1:100

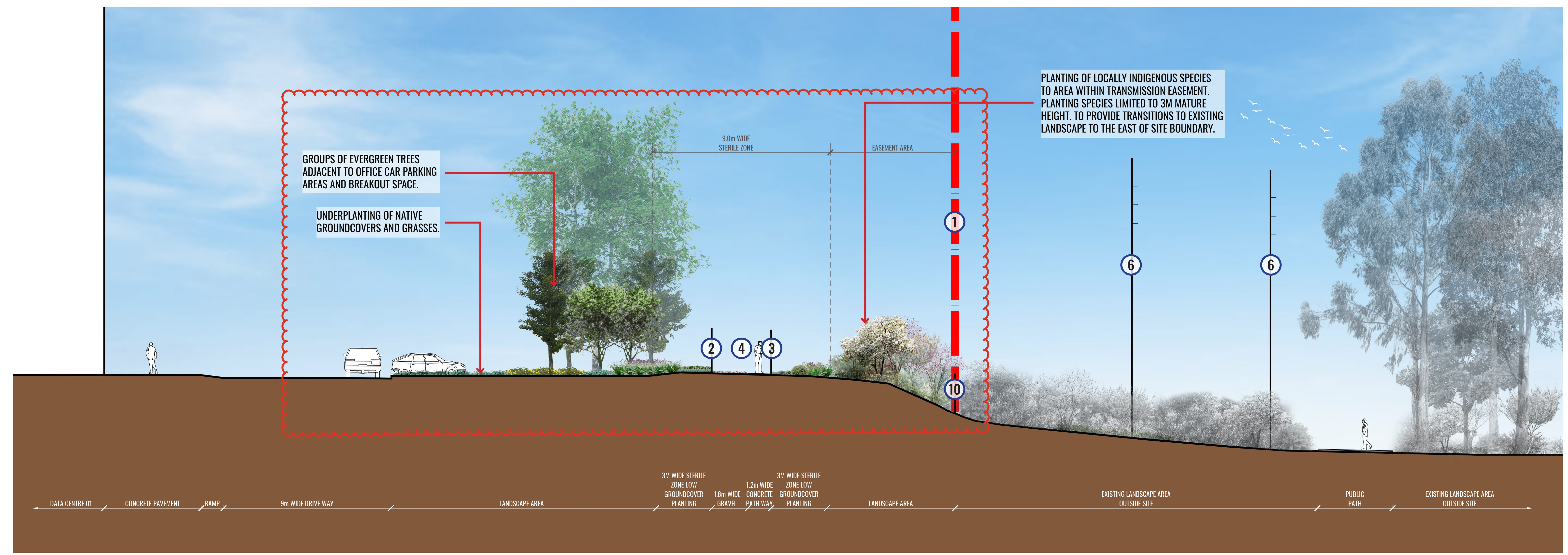
- ① SITE BOUNDARY LINE
- ② 2.4m HIGH ULTIMATE OUTER FENCE
- ③ 2.4m HIGH ULTIMATE INNER FENCE
- ④ PROPOSED GRAVEL AREAS IN STERILE ZONE
- ⑤ UNDERGROUND FUEL TANK
- ⑥ TRANSMISSION POLE
- ⑦ EXISTING RETAINING WALL
- ⑧ EXISTING CONCRETE PAVEMENT
- ⑨ TRANSMISSION TOWER (EASEMENT)
- ⑩ 2.1m HIGH CHAIN LINK FENCE



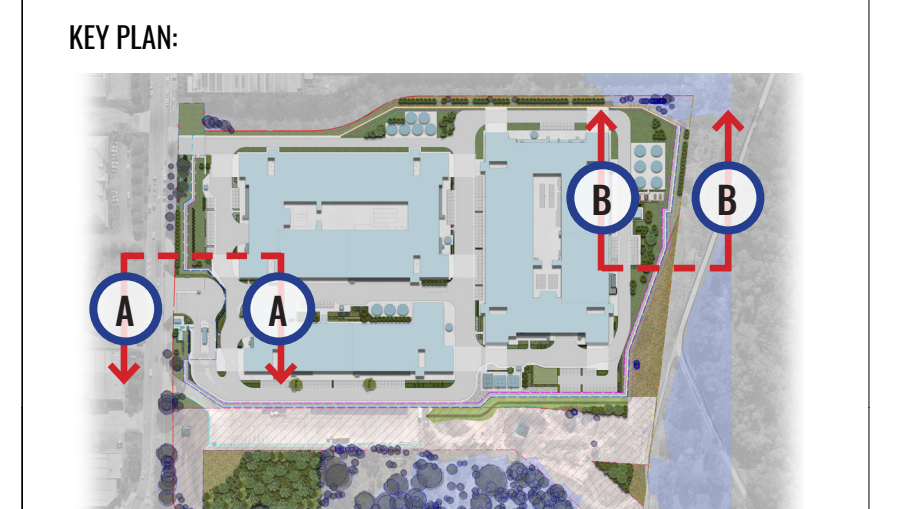
NOTES

- NOT FOR CONSTRUCTION
- FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION

LEGEND



B-B SECTION B-B
DETAIL SECTION
SCALE 1:100



REVISION NOTE:

- SECTION A-A: SECTION HAS BEEN RELOCATED TO SHOW THE FUEL TANK AREA. THE TREE HAS BEEN REPLACED WITH A LARGER SPECIES, AND TALL SHRUBS HAVE BEEN PROPOSED IN THE FRONT LANDSCAPE AND FUEL TANK AREA.
- SECTION B-B: TREE LOCATIONS AND PLANT SPECIES HAVE BEEN UPDATED TO REFLECT THE LATEST VERSION.

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LCI	BG	
C	04/10/24	100% Draft Issue	AT	LCI	BG	
D	19/11/24	Final Issue for Review	AT	LCI	BG	
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F	28/02/25	Issued for Public Exhibition - SSSA 73761707	AT	LCI	BG	
G	08/10/25	Issued for RIS - SSSA 73761707	AT	LCI	BG	

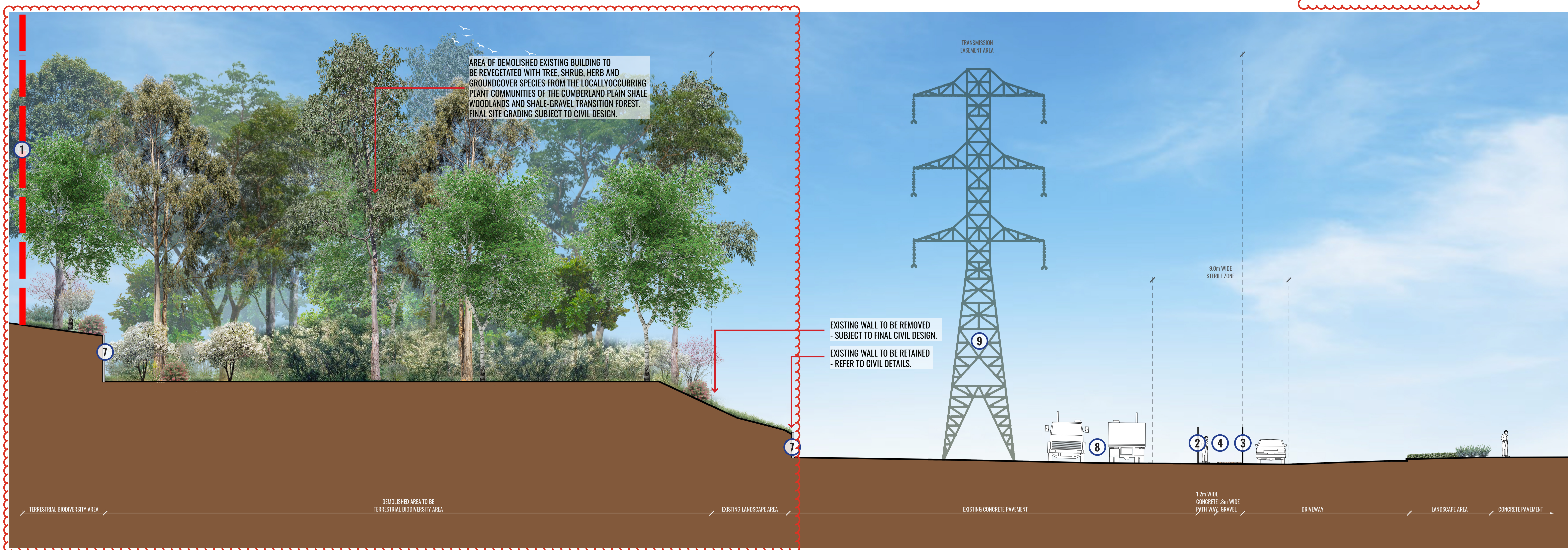
MECHANICAL/ELECTRICAL ENGINEER: LICI CONSULTANTS 02 937 0570 LEVEL 5, 70 MILLER STREET, NORTH SYDNEY NSW 2060	HYDRAULIC/FIRE ENGINEER: LICI CONSULTANTS 02 937 0570 LEVEL 5, 70 MILLER STREET, NORTH SYDNEY NSW 2060
CIVIL ENGINEER: ACORN CONSULTANTS PTY LTD 02 9438 5008 SUITE 2, LEVEL 1, 33 HERBERT STREET, ST LEONARDS NSW 2060	STRUCTURAL ENGINEER: IWK ENGINEER CONSULTING 02 9430432 LEVEL 6, 30 CHADWICK ST, ST LEONARDS NSW 2060
ARCHITECT: GREENWICH ARCHITECTURE PTY LTD 02 890 8829 LEVEL 22, 28 PITT STREET, SYDNEY NSW 2000	LANDSCAPE: GEOGRAPES 02 9411 1485 SUITE 310, 91 HELL STREET, CHATSWOOD, NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE
TITLE: SECTIONS A-A & B-B
DRAWING: GRDC86-GEO-00-XX-DR-SSDA-L-0200
PAPER SIZE: SCALE: 1:100 @ A0
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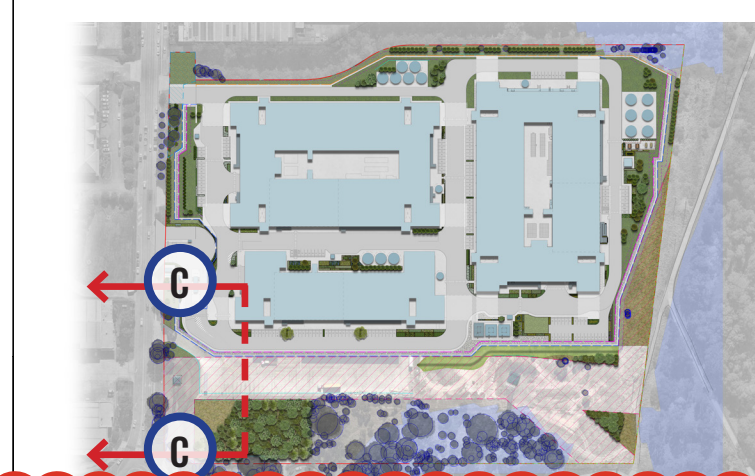


- NOT FOR CONSTRUCTION
- FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION

- ① SITE BOUNDARY LINE
- ② 2.4m HIGH ULTIMATE OUTER FENCE
- ③ 2.4m HIGH ULTIMATE INNER FENCE
- ④ PROPOSED GRAVEL AREAS IN STERILE ZONE
- ⑤ UNDERGROUND FUEL TANK
- ⑥ TRANSMISSION POLE
- ⑦ EXISTING RETAINING WALL
- ⑧ EXISTING CONCRETE PAVEMENT
- ⑨ TRANSMISSION TOWER (EASEMENT)
- ⑩ 2.1m HIGH CHAIN LINK FENCE



KEY PLAN



REVISION NOTE:

- SECTION C-C: TREE SPECIES IN THE REVEGETATION AREA HAVE BEEN REPLACED IN ACCORDANCE WITH LONG-LIVED SPECIES CHARACTERISTIC OF PCT 3320 - CUMBERLAND SHALE PLAINS WOODLAND.

C-C SECTION C-C

SCALE 1:100

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LCI	BG	
C	04/10/24	100% Draft Issue	AT	LCI	BG	
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G	08/10/25	Issued for RIS - SSSDA 73761707	AT	LCI	BG	

MECHANICAL/ELECTRICAL ENGINEER: LCI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060	HYDRAULIC/FIRE ENGINEER: LCI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060
CIVIL ENGINEER: ACORN CONSULTANTS PTY LTD 02 9438 5008 SUITE 2, LEVEL 1, 33 HERBERT STREET, ST LEONARDS NSW 2060	STRUCTURAL ENGINEER: IWIN DESIGN CONSULTING 02 9430432 LEVEL 6, 39 CHAMBERS ST, ST LEONARDS NSW 2060
ARCHITECT: GREENWICH ARCHITECTURE PTY LTD 02 8603 8929 LEVEL 22, 28 PITT STREET, SYDNEY NSW 2000	LANDSCAPE ARCHITECT: GREENWICH ARCHITECTURE PTY LTD 02 8603 8929 LEVEL 22, 28 PITT STREET, SYDNEY NSW 2000

PROJECT: GLENENNING ROAD DATA CENTRE

TITLE: SECTIONS C-C

DRAWING: GRDC86-GEO-00-XX-DR-SSDA-L-0201

PAPER SIZE: SCALE: 1:100 @ A0

AGILE NO: REV: G

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MAINTENANCE PLAN

The minimum period for maintaining the landscape is 18 months. Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. The landscape contractor shall attend the site on a **weekly basis** to maintain the landscape works commencing from practical completion.

Rubbish Removal

The Landscape Contractor shall undertake rubbish removal from the site on a **weekly basis** to ensure the site remains in tidy condition.

Weed Eradication

Weed growth that may occur in grassed, planted or mulched areas is to be removed using environmentally acceptable methods i.e. non-residual glyphosate herbicide (e.g. 'Roundup', applied in accordance with the manufacturer's direction.

Tree Replacement

Trees shall show signs of healthy vigorous growth and be free from disease and not exhibit signs of stress prior to handover to the client. Any trees or plant that die or fail to thrive, or are damaged or stolen will be replaced. Replacement material shall have the initial maintenance period extended in accordance with the landscape contract conditions. Trees and plant materials shall be equal to the minimum requirements of species specified and approved material delivered to site. Should the condition decline from the approved sample the Superintendent reserves the right to reject the tree / plants.

Frequency: as required.

Stakes

Adjust and/or replace stakes and ties where required. Remove staking and guying when instructed by the Superintendent

Pruning

Selective pruning may be required during the establishment period to promote a balanced canopy structure. These activities shall be carried out to the best horticultural and industry practice. All pruned material is to be removed from site.

Mulched Surfaces

All planter beds and garden areas shall have a minimum depth of 75mm organic mulch. All mulch is to be free of deleterious matter such as soil, weeds, sticks and should conform to AS 4454. Mulched surfaces are to be kept clean and tidy and free of any deleterious material and foreign matter. Reinstatement depths to a uniform level of 75mm with mulch as specified, mulch to be free of any wood material impregnated with CCA or similar toxic treatment. Top up mulch levels prior to handover to client & estate management.

Soil In Natural Ground

Non-Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Organic Garden Mix' as supplied by Australian Native Landscapes. Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Native Low 'P' Mix' as supplied by Australian Native Landscapes. Soil to conform to AS4419 refer to typical detail.

Pest and Disease Control

The Landscape Contractor shall spray for pests and disease infestations when the pest and fungal attack has been positively identified and when their populations have increased to a point that will become detrimental to plant growth. Apply all pesticides to manufacturer's directions. Frequency: weekly inspection

Fertilising

Generally check for signs of nutrient deficiencies (yellowing of leaves, failure to thrive), and adapt fertiliser regime to suit. Fertiliser should be applied at the beginning and the end of the (summer) growing season.

Irrigation

Both a temporary irrigation sprinkler system and permanent drip line irrigation system are required for the site. The temporary system will be run from battery operated controllers connected directly to tap outlets using Rainbird or equivalent equipment. This will deliver irrigation for a minimum period of 18 months during establishment. For permanent areas of irrigation a subsurface dripper-style, electrically automated, self-timed irrigation system is required. The Landscape Contractor shall be responsible for coordinating and engaging a specialist irrigation designer and installation contractor to design, supply, and install both systems. Regular checks should be made to ensure continued successful operation.

The irrigation system will need to provide designated landscaped areas with sufficient water for vigorous, healthy plant growth. As a general rule, landscaped areas will require 20-25 mm of water per week, depending on species. The Landscape Contractor will need to monitor natural rainfall using a rain switch to set irrigation flow rates accordingly on a monthly basis. Refer to DWG L-0004 for landscape areas to be irrigated.

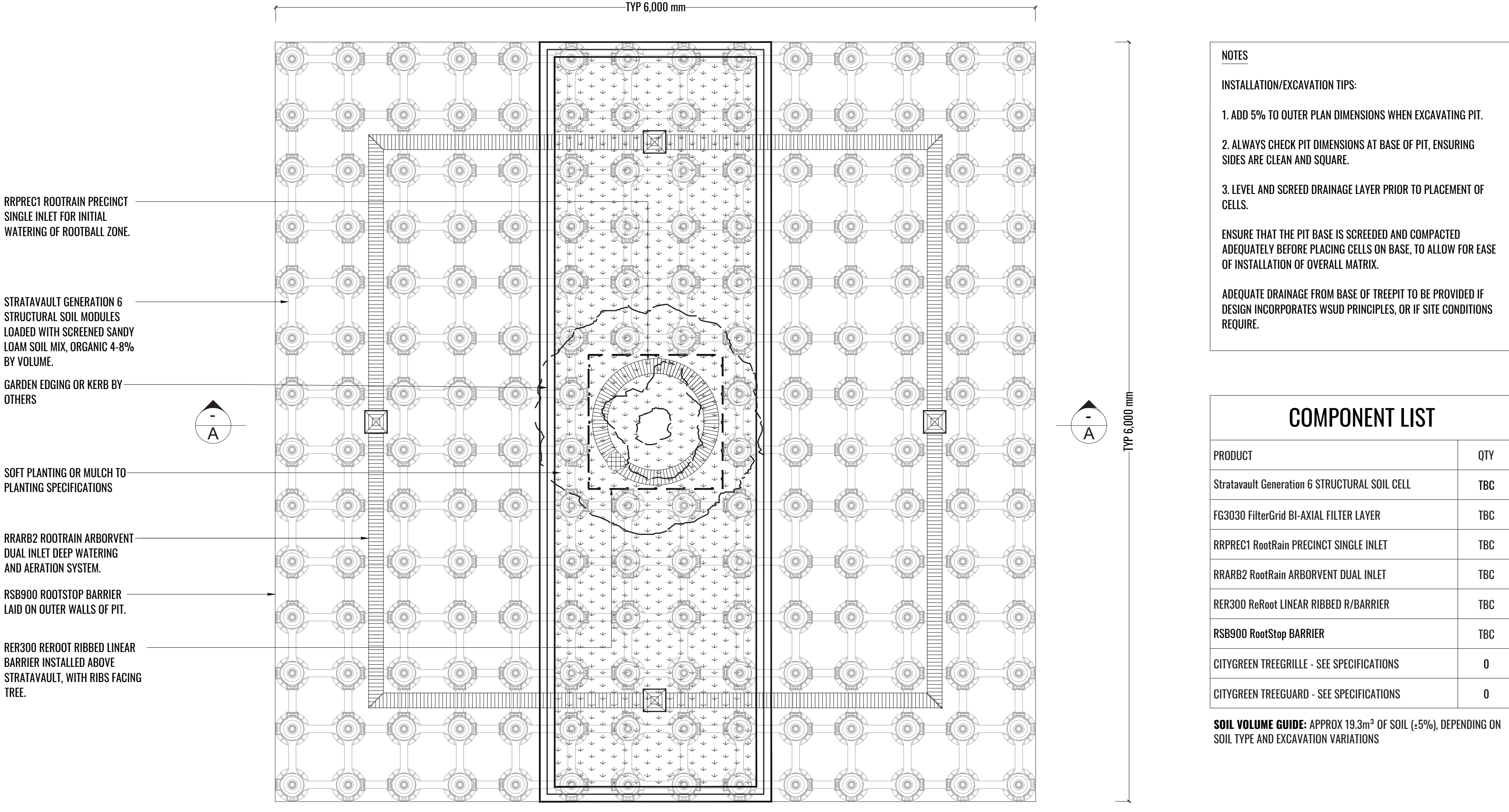
Standards

All grown or purchased plant stock must conform to all the conditions and requirements given in NATSPEC Guide: Specifying Trees. Soils to be in accordance with AS4419, mulching composts and conditioners to be in accordance with AS4454. Soils should conform to best practice specifications as listed in the Landscape Soils Handbook (Simon Leake & Elke Haeg 2017).

Gravel

Gravel must be compliant with AHJ impervious and stormwater regulations, must have a solar reflectance index higher than plain portland cement concrete, and must not be sourced from rivers or lakes.

TYPICAL LANDSCAPE DETAILS



2 TYPICAL TREE BLISTERS WITH STRATAVAULT SOIL CELLS PLAN
TYPICAL SECTION SCALE 1:20

NOTES

INSTALLATION/EXCAVATION TIPS:

1. ADD 5% TO OUTER PLAN DIMENSIONS WHEN EXCAVATING PIT.
2. ALWAYS CHECK PIT DIMENSIONS AT BASE OF PIT, ENSURING SIDES ARE CLEAN AND SQUARE.
3. LEVEL AND SCREED DRAINAGE LAYER PRIOR TO PLACEMENT OF CELLS.

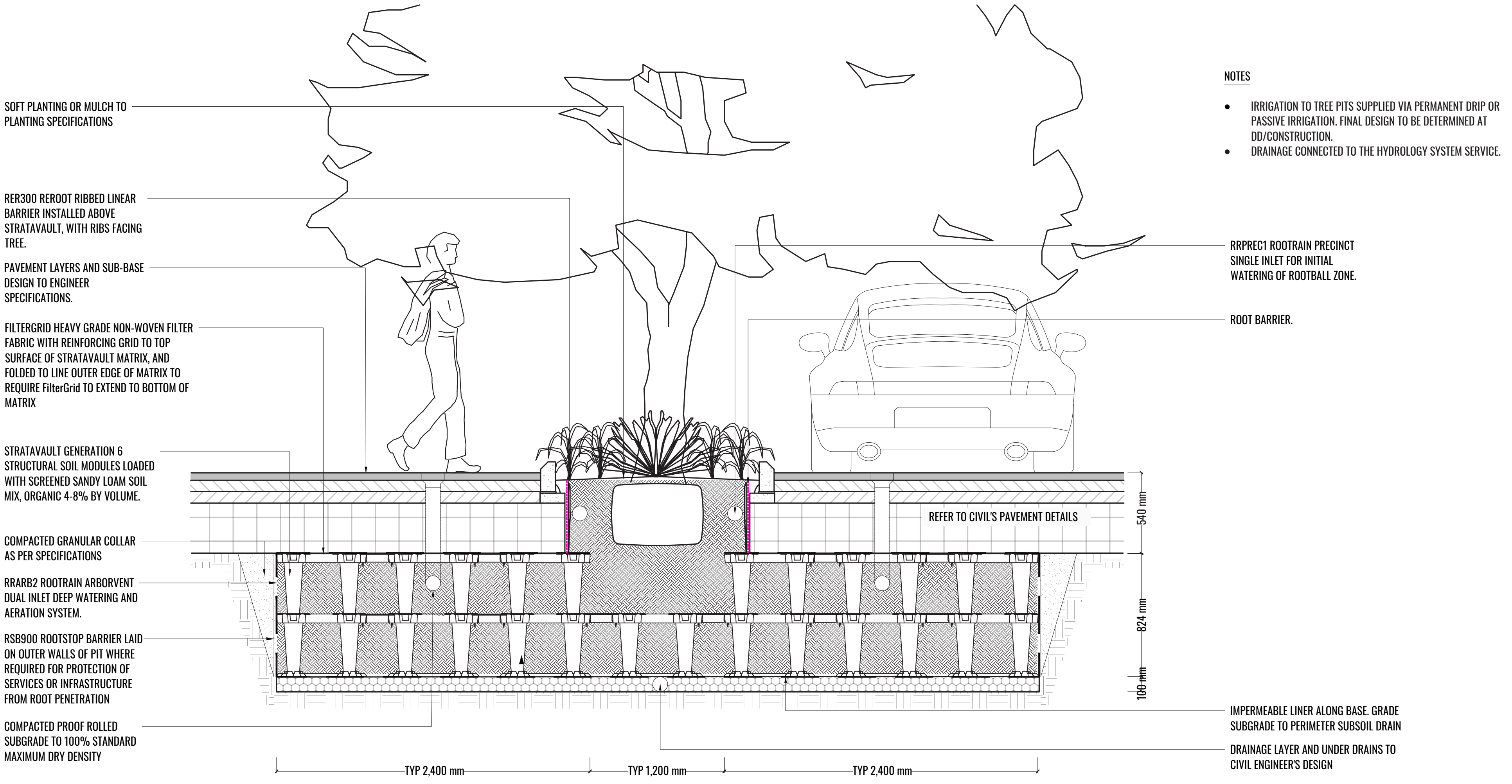
ENSURE THAT THE PIT BASE IS SCREEDED AND COMPACTED ADEQUATELY BEFORE PLACING CELLS ON BASE, TO ALLOW FOR EASE OF INSTALLATION OF OVERALL MATRIX.

ADEQUATE DRAINAGE FROM BASE OF TREEPIT TO BE PROVIDED IF DESIGN INCORPORATES WSUD PRINCIPLES, OR IF SITE CONDITIONS REQUIRE.

COMPONENT LIST

PRODUCT	QTY
Stratavault Generation 6 STRUCTURAL SOIL CELL	TBC
FG3030 FilterGrid BI-AXIAL FILTER LAYER	TBC
RRPREC1 RootRain PRECINCT SINGLE INLET	TBC
RRARB2 RootRain ARBORVENT DUAL INLET	TBC
RER300 REROOT LINEAR RIBBED R/BARRIER	TBC
RSB900 RootStop BARRIER	TBC
CITYGREEN TREEGUARD - SEE SPECIFICATIONS	0
CITYGREEN TREEGUARD - SEE SPECIFICATIONS	0

SOIL VOLUME GUIDE: APPROX 19.3m³ OF SOIL (±5%), DEPENDING ON SOIL TYPE AND EXCAVATION VARIATIONS



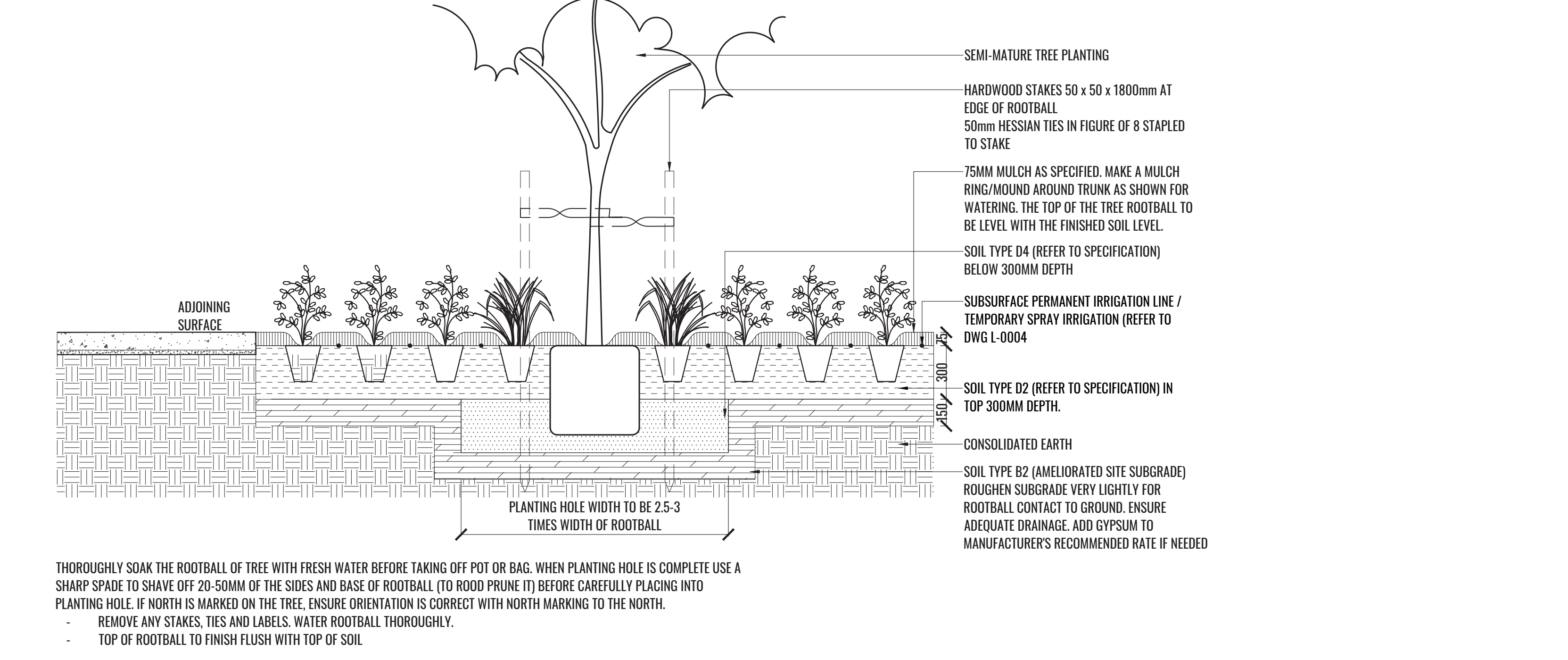
2A TYPICAL TREE BLISTERS WITH STRATAVAULT SOIL CELLS SECTION
TYPICAL SECTION SCALE 1:20

NOTES

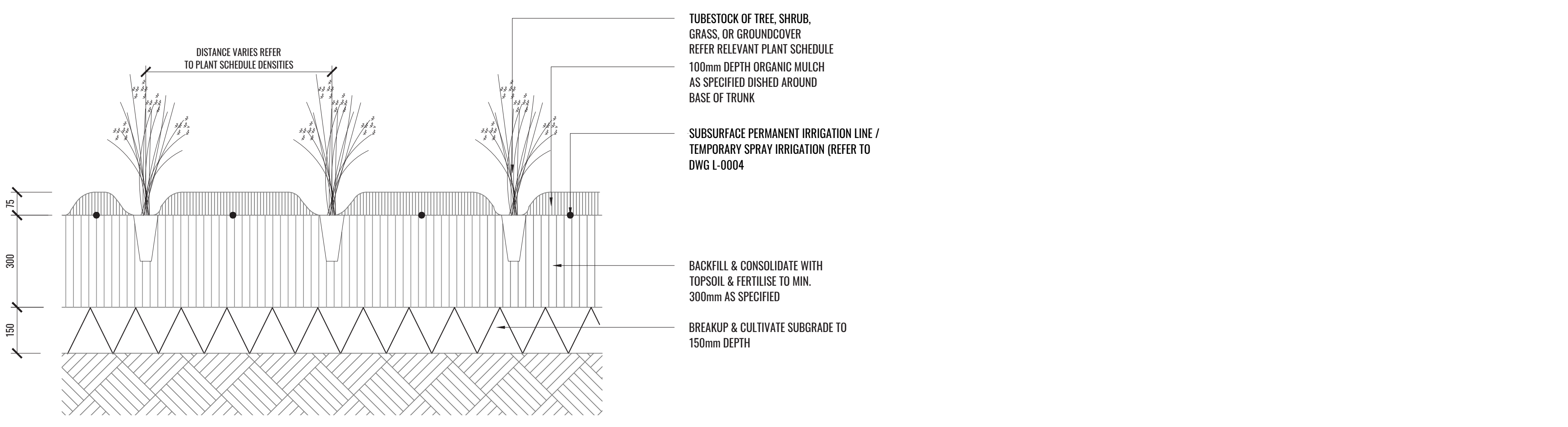
- IRRIGATION TO TREE PITS SUPPLIED VIA PERMANENT DRIP OR PASSIVE IRRIGATION. FINAL DESIGN TO BE DETERMINED AT DD/CONSTRUCTION.
- DRAINAGE CONNECTED TO THE HYDROLOGY SYSTEM SERVICE.

TYPICAL LANDSCAPE DETAILS

TREES/SHRUB SIZE AND QUALITY TO BE TO NATSPEC STANDARD. SPECIES IS TO BE AS PER PLAN AND PLANT SCHEDULE. ENSURE ONLY HEALTHY AND VIGOROUS, DISEASE FREE, WELL MAINTAINED PLANTS ARE USED. TAKE CARE TO ENSURE FOLIAGE, BRANCHES, TRUNKS AND ROOT CROWNS ARE NOT DAMAGED BEFORE, DURING AND AFTER PLANTING. ENSURE OPTIMUM MAINTENANCE AND ESTABLISHMENT OF TREES/SHRUBS OCCURS AS SOON AS THEY ARE AT SITE



1 MASS PLANTING AND TREE DETAIL
TYPICAL SECTION SCALE 1:20



3 TYPICAL TUBESTOCK PLANTING DETAIL
TYPICAL DETAIL SCALE 1:10

NOTES

KEYNOTES

- NOT FOR CONSTRUCTION
- FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION

LEGEND

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LCI	BG	
C	04/10/24	100% Draft Issue	AT	LCI	BG	
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G	08/10/25	Issued for RIS - SSDA 73761707	AT	LCI	BG	

PROJECT:	GLENDENNING ROAD DATA CENTRE
TITLE:	SPECIFICATION & TYPICAL DETAILS
DRAWING:	GROCB286-00-XX-DR-SSDA-L-0300
PAPER SIZE:	ISO A0
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MECHANICAL/ELECTRICAL ENGINEER: LCI CONSULTANTS (02 957 0570) LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060

HYDRAULIC/FIRE ENGINEER: LCI CONSULTANTS (02 957 0570) LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060

CIVIL ENGINEER: AECOM CONSULTANTS PTY LTD (02 9438 5008) SUITE 2, LEVEL 1, 53 HERBERT STREET, ST LEONARDS NSW 2055

STRUCTURAL ENGINEER: IAN GIBBER CONSULTING (02 9430423) LEVEL 6, 39 CHANDOS ST, ST LEONARDS NSW 2055

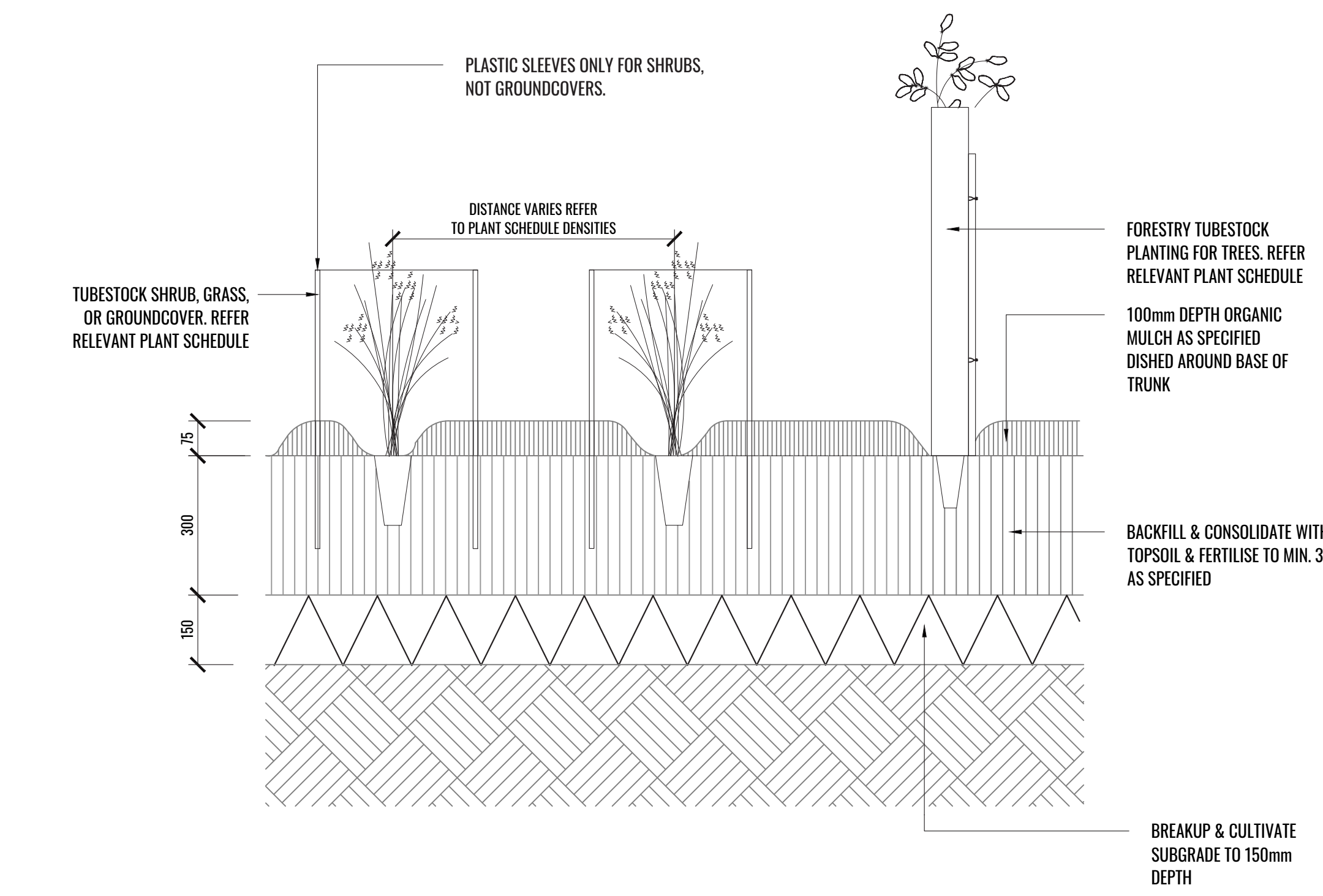
ARCHITECT: GREENWICH ARCHITECTURE PTY LTD (02 9609 8929) LEVEL 22, 88 PITT STREET, SYDNEY NSW 2000

LANDSCAPE: GSCOLAPDES (02 9411 1485) SUITE 310, 1 MELB STREET, CHATSWOOD NSW 2067

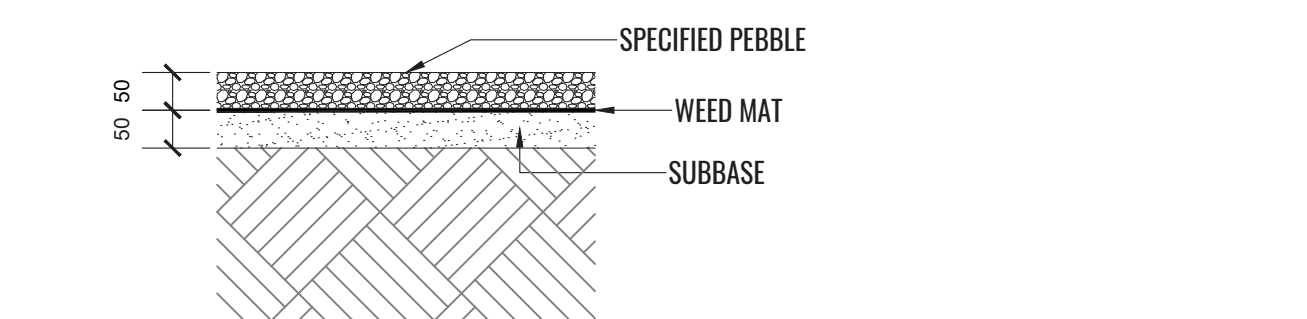
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BASED ON TEMPLATE VERSION: 08/2024 (25/11/24)
PDF PRINT DATE: 08/2024 (25/11/24)

TYPICAL LANDSCAPE DETAILS

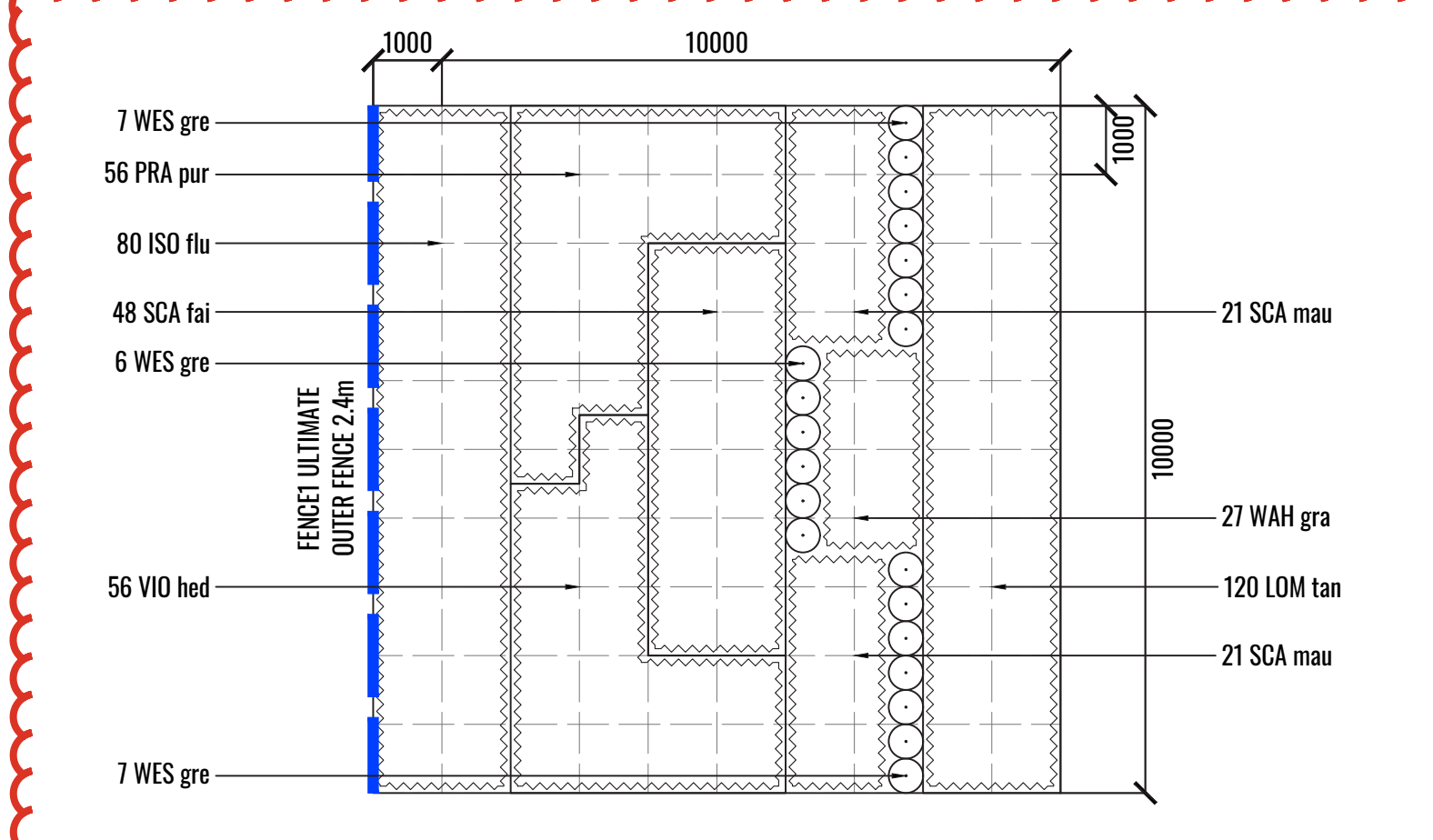


4 TYPICAL TUBESTOCK REVEGETATION PLANTING DETAIL
TYPICAL SECTION SCALE 1:10

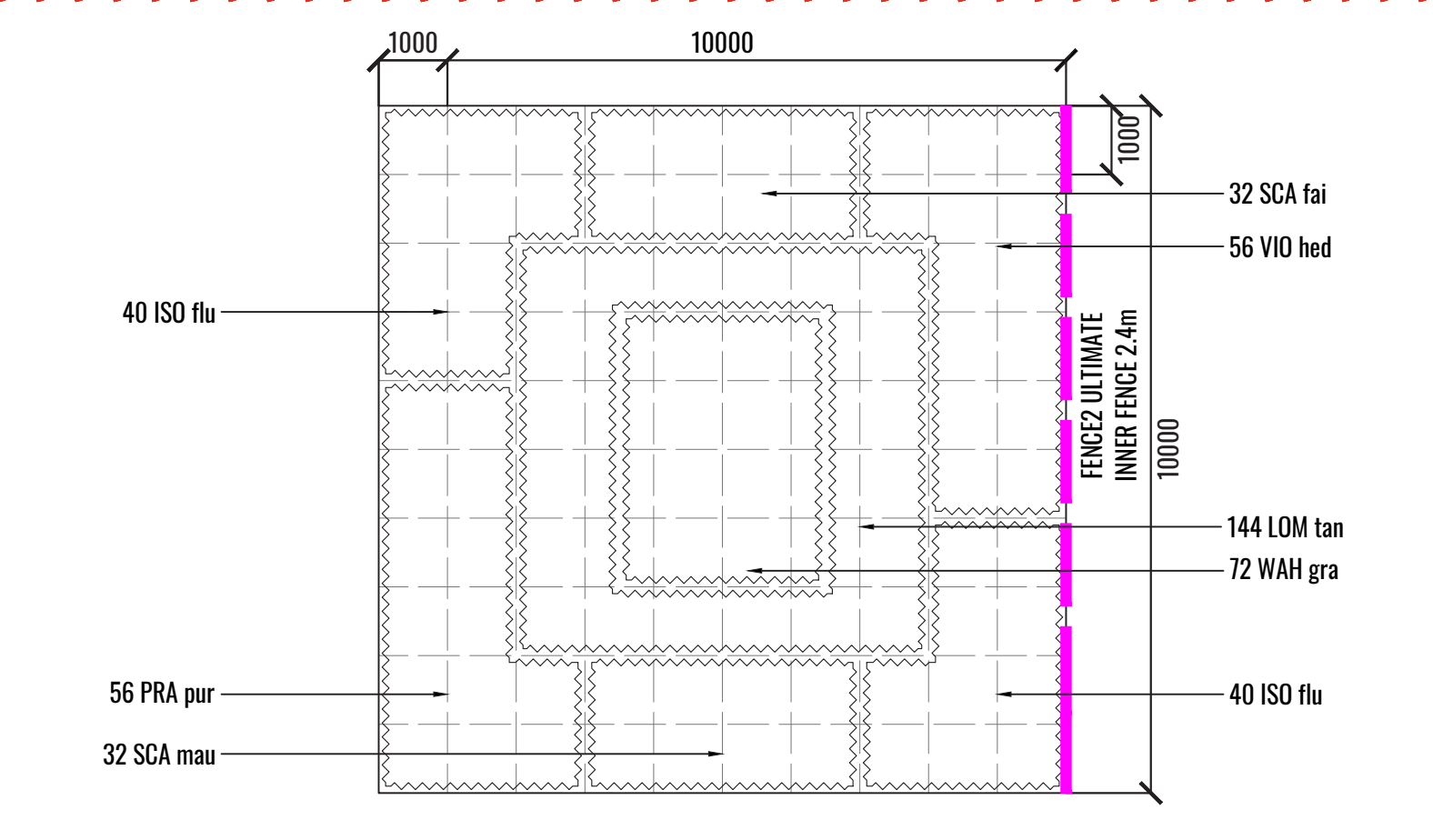


5 TYPICAL PEBBLE OR GRAVEL DETAIL
TYPICAL DETAIL SCALE 1:10

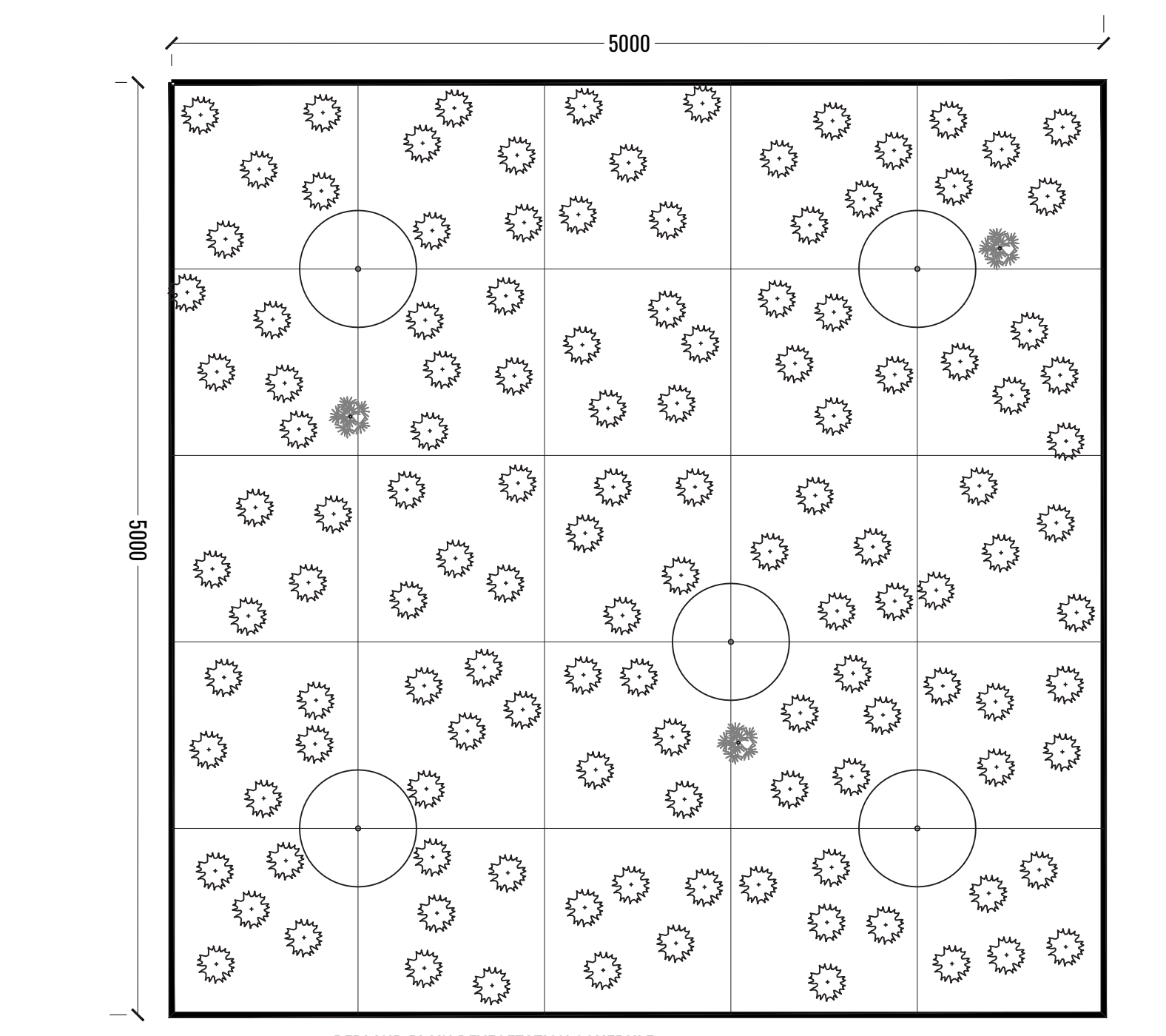
LANDSCAPE MATRIX GROUNDCOVER & SHRUB PLANTING DETAILS



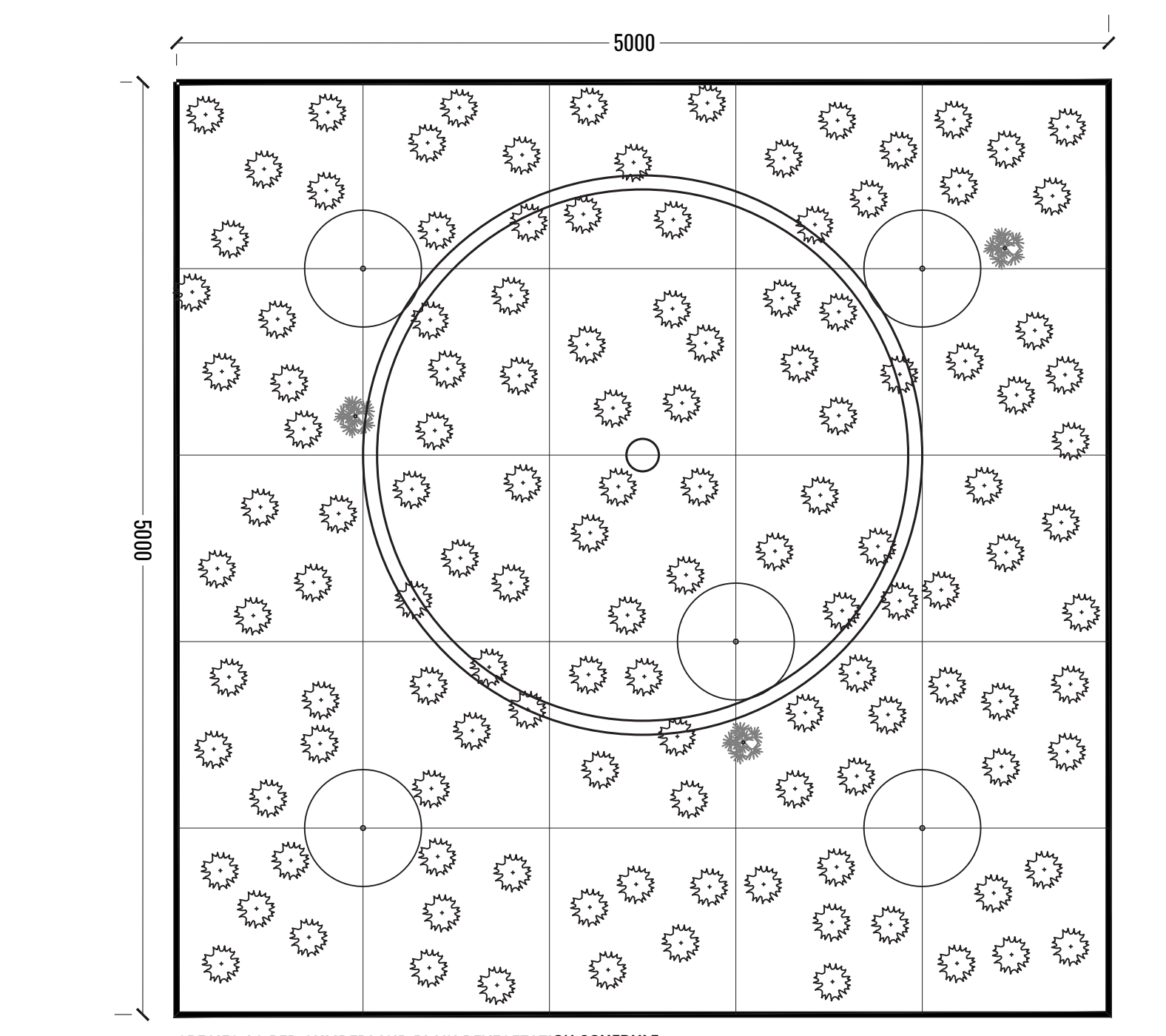
1 MATRIX 1 - FRONTAGE AREA (M1)
TYPICAL DETAIL SCALE 1:100



2 MATRIX 2 - LANDSCAPE AREA (M2)
TYPICAL DETAIL SCALE 1:100



3 MATRIX 3 - REVEGETATION AREA (M3)
TYPICAL DETAIL SCALE 1:30



3A MATRIX 3A - REVEGETATION AREA (M3A)
TYPICAL DETAIL SCALE 1:30

CUMBERLAND PLAIN REVEGETATION PLANTING SCHEDULE (MATRIX3 AND MATRIX 3A)

Code	Botanical Name	Common Name	Mature Height	Pot Size	Quantity* (ONLY IN M3A)
Trees 1 per 20m2 (ONLY IN MATRIX 3A)					
ACA IMP	<i>Acacia implexa</i>	Lightwood, Hickory Wattle	10m	As shown	9
ANG BAK	<i>Angophora bakeri</i>	Narrow-leaved Apple	8-10m	Tubestock	5
ANG FLO	<i>Angophora floribunda</i>	Rough-barked Apple	12-25m	Tubestock	5
COR MAC	<i>Corymbia maculata</i>	Spotted Gum	20-30m	Tubestock	5
EUC AMP	<i>Eucalyptus amplifolia</i>	Cabbage Gum	20-30m	Tubestock	10
EUC CRE	<i>Eucalyptus crebra</i>	Narrow leaved Ironbark	20-30m	Tubestock	10
EUC FIB	<i>Eucalyptus fibrosa</i>	Broad Leaved Ironbark	20-30m	Tubestock	5
EUC GLO	<i>Eucalyptus globoides</i>	White Stringybark	20-30m	Tubestock	5
EUC MOL	<i>Eucalyptus moluccana</i>	Grey Box	15-20m	Tubestock	5
EUC PAN	<i>Eucalyptus paniculata</i>	Grey Ironbark	20-30m	Tubestock	5
EUC TER	<i>Eucalyptus tereticornis</i>	Forest Red Gum	15-20m	Tubestock	5
EXO CUP	<i>Exocarpus cupressiformis</i>	Native Cherry	8m	Tubestock	23
MEL ARM	<i>Melaleuca armillaris</i>	Bracelet Honey Myrtle	3-8m	Tubestock	10
MEL DEC	<i>Melaleuca decora</i>	White-feather Honeymyrtle	10m	Tubestock	13
MEL LIN	<i>Melaleuca linariifolia</i>	Snow in Summer	5-8m	Tubestock	13
MEL STY	<i>Melaleuca styphelioides</i>	Prickly Paperbark	10-15m	Tubestock	5
Code	Botanical Name	Common Name	Mature Height	Pot Size	Quantity* (M3 + M3A)
Shrubs 1 per 5m2					
BUR spi	<i>Bursaria spinosa</i>	Blackthorn	1.5-3m	Tubestock	141
DAV uli	<i>Daviesia ulicifolia</i>	Gorse Bitter-pea	2m	Tubestock	141
GRE jun	<i>Grevillea juniperina subsp. Juniperina</i>	Juniper-leaved Grevillea	0.2-3m	Tubestock	142
IND aus	<i>Indigofera australis</i>	Native Indigo	2.5m	Tubestock	141
LIS str	<i>Lissanthe strigosa</i>	Peach Heath	1m	Tubestock	141
OZO dio	<i>Ozothamnus diosmitolius</i>	Rice Flower	0.5-1.2m	Tubestock	141
PIM cur	<i>Pimelea curviflora var. curviflora</i>	Curved Rice Flower	1.2m	Tubestock	141
PUL par	<i>Pultenaea parviflora</i>	Sydney bush-pea	1.8m	Tubestock	141
Grasses 5 per m2					
CHL tru	<i>Chloris truncata/ventricosa</i>	Windmill Grass	1m	Tubestock	124
DIC mic	<i>Dichelachne micrantha</i>	Short Hair Plume Grass	0.5m	Tubestock	126
ECH ova	<i>Echinopogon ovatus</i>	Rough-Bearded Grass	0.6m	Tubestock	126
ERI pse	<i>Eriochloa pseudoacrotricha</i>	Early Spring Grass	1m	Tubestock	126
IMP cyl	<i>Imperata cylindrica</i>	Cogon Grass	0.6-3m	Tubestock	123
POA lab	<i>Poa labillardieri</i>	Tussock Grass	0.5-1m	Tubestock	126
RYT rac	<i>Rytidosperma racemosum</i>	Wallaby Grass	0.6m	Tubestock	126
LOM lon	<i>Lomandra longifolia</i>	Mat Rush	0.4-1m	Tubestock	126
DIA lon	<i>Dianella longifolia</i>	Pale Flax-Lily	1.5m	Tubestock	126
Herbs 1 per 10m2					
ART spp	<i>Arthropodium spp.</i>	Vanilla Lily	0.3-1m	Tubestock	44
BRU aus	<i>Brunoniella australis</i>	Blue Trumpet	0.3m	Tubestock	44
CLE spp	<i>Clematis spp.</i>	Clematis	2.4m	Tubestock	43
DIC ren	<i>Dichondra repens</i>	Kidney Weed	0.3m	Tubestock	44
ERE deb	<i>Eremophila debilis</i>	Winter Apple	1m	Tubestock	43
GLY cla	<i>Glycine clandestina</i>	Twining Glycine	3m	Tubestock	41
HAR vio	<i>Hardenbergia violacea</i>	False Sarsparilla	1-1.5m	Tubestock	43
LIN mar	<i>Linum marginale</i>	Native Flax	0.5m	Tubestock	44
OPL aem	<i>Optismenus aemulus</i>	Basket Grass	0.3m	Tubestock	43
PLE par	<i>Plectranthus parviflorus</i>	Spur Flower	0.4m	Tubestock	44
PRA pur	<i>Pratia purpurascens</i>	Trailing Pratia	1.5m	Tubestock	43
SCA alb	<i>Scaevola alba</i>	Fan Flower	0.2m	Tubestock	44
WAH gra	<i>Wahlenbergia gracilis</i>	Australian Bluebell	0.8m	Tubestock	44

*Plant quantities to be finalised at CC stage

NOTES

KEYNOTES

- NOT FOR CONSTRUCTION
- FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION

LEGEND

REVISION NOTE:

- FENCE LOCATION HAS BEEN INCORPORATED INTO THE MATRICES.
- THREE SPECIES IN PLANT SCHEDULE HAVE BEEN REPLACED IN ACCORDANCE WITH LONG-LIVED TREES DESCRIPTIVE OF PCT 3320 - CUMBERLANDSHALE PLAINS WOODLAND.

REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue		AT	LCI	BG
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MECHANICAL/ELECTRICAL ENGINEER: LCI CONSULTANTS (02 9157 0570) LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060

HYDRAULIC/FIRE ENGINEER: LCI CONSULTANTS (02 9157 0570) LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060

SOIL ENGINEER: AECOM CONSULTANTS PTY LTD (02 9438 5008) SUITE 2, LEVEL 5, 33 HERBERT STREET, ST LEONARDS NSW 2060

STRUCTURAL ENGINEER: IAN GIBBER CONSULTING (02 94360423) LEVEL 6, 30 CHANDOS ST, ST LEONARDS NSW 2060

ARCHITECT: GREENWICK ARCHITECTURE PTY LTD (02 8909 8909) LEVEL 22, 38 PITT STREET, SYDNEY NSW 2000

LANDSCAPE: GSCAPES (02 9411 1485) SUITE 510, HELD STREET, CHATSWOOD NSW 2067

PROJECT: GLENDENNING ROAD DATA CENTRE

TITLE: LANDSCAPE MATRICES & PLANTING SCHEDULE

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PAPER SIZE: ISO A0 SCALE: AS SHOWN @ A0

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REV: G

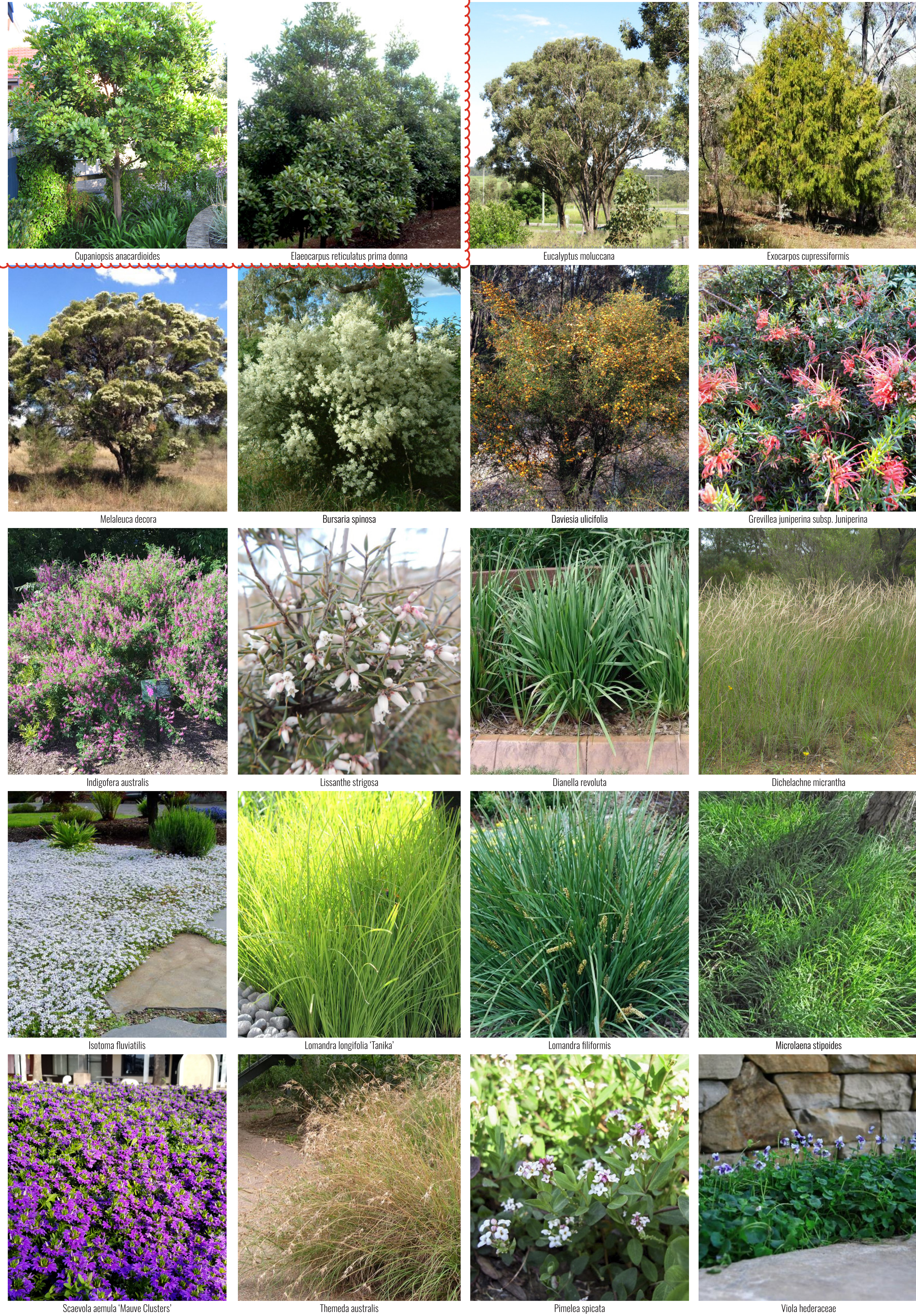
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PLANTING SCHEDULE

Code	Botanical Name	Common Name	Mature Height	Spacing	Pot Size	Quantity*
Trees						
CUP ANA	<i>Cupaniopsis anacardioides</i>	Tuckeroo	5-8m	As Shown	75L	10
ELA EUM	<i>Elaeocarpus Eumundi</i>	Quandong	5-10m	As shown	75L	68
ELA PRI	<i>Elaeocarpus reticulatus prima donna</i>	Blueberry Ash	7m	As shown	75L	72
EUC CRE	<i>Eucalyptus crebra</i>	Narrow leaved Ironbark	20-30m	As Shown	75L	6
EXO CUP	<i>Exocarpos cupressiformis</i>	Native Cherry	8m	As Shown	75L	11
MEL DEC	<i>Melaleuca decora</i>	White Feather Honey Myrtle	10m	As shown	75L	4
LEP PET	<i>Leptospermum petersonii</i>	Tea Tree	4m	As Shown	75L	11
SYN GLO	<i>Syncarpia glomulifera</i>	Turpentine	20m	As Shown	75L	2
TRI LUS	<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	8m	As Shown	75L	1
Shrubs						
BUR spi	<i>Bursaria spinosa</i>	Blackthorn	1.5-3m	As Shown	200mm	5
DAV uli	<i>Daviesia ulicifolia</i>	Gorse Bitter-pea	2m	As Shown	200mm	3
GRE jun	<i>Grevillea juniperina subsp. Juniperina</i>	Juniper-leaved Grevillea	0.2-3m	As Shown	200mm	4
IND aus	<i>Indigofera australis</i>	Native Indigo	2.5m	As Shown	200mm	9
LIS str	<i>Lissanthe strigosa</i>	Peach Heath	1m	As Shown	200mm	4
MEL min	<i>Melaleuca quinquinervia 'Mini Quini'</i>	Mini Quini Paperbark	1.5m	As Shown	200mm	16
MEL sno	<i>Melaleuca linariifolia 'Snowflake'</i>	Snowflake	1.5m	As Shown	200mm	16
OZO dio	<i>Ozothamnus diosmitifolius</i>	Rice Flower	0.5-1.2m	As Shown	200mm	46
PIM cur	<i>Pimelea curviflora var. curviflora</i>	Curved Rice Flower	1.2m	As Shown	200mm	5
PUL par	<i>Pultenaea parviflora</i>	Sydney bush-pea	1.8m	As shown	200mm	5
WES gre	<i>Westringia fruticosa 'Grey Box'</i>	Coastal Rosemary	0.4m	As shown	200mm	1143
Groundcover						
DIA rev	<i>Dianella revoluta</i>	Blueberry lily	0.3-1m	6/m2	Tubestock	1542
ISO flu	<i>Isotoma fluviatilis</i>	Blue star creeper	0.1m	4/m2	50mm	7825
LOM tan	<i>Lomandra longifolia 'Tanika'</i>	Mat Rush	0.5m	6/m2	Tubestock	13470
MYO par	<i>Myoporum Parvifolium 'Fine Leaf'</i>	Creeping Boobialla	0.3m	4/m2	50mm	1119
PRA pur	<i>Pratia purpurascens</i>	Whiteroot	0.1	4/m2	50mm	5934
PUL ped	<i>Pultenaea pedunculata</i>	Matted Bush-Pea	0.3m	4/m2	50mm	767
SCA fai	<i>Scaevola aemula 'Fairy White'</i>	White Scaevola	0.25m	4/m2	50mm	4344
SCA mau	<i>Scaevola aemula 'Mauve Clusters'</i>	Fan Flower	0.2m	4/m2	50mm	4578
WAH gra	<i>Wahlenbergia gracilis</i>	Australian Bluebell	0.5m	6/m2	Tubestock	6100
Swale Planting						
AUS set	<i>Austrostipa setacea</i>	Corkscrew Grass	0.8m	8/m2	Tubestock	1622
DIC mic	<i>Dichelachne micrantha</i>	Shorthair Plume Grass	0.8m	8/m2	Tubestock	1622
MIC sti	<i>Microlaena stipoides</i>	Weeping Grass	0.8m	8/m2	Tubestock	1622
PEN ali	<i>Pennisetum alopecuroides</i>	Swamp Foxtail Grass	0.8m	8/m2	Tubestock	1622
POA lab	<i>Poa labillardieri</i>	Tussock-grass	0.8m	8/m2	Tubestock	1622
The tri	<i>Themeda triandra</i>	Kangaroo grass	0.8m	8/m2	Tubestock	1622

*Plant quantities to be finalised at CC stage

PLANTING PALETTE



NOTES						
KEYNOTES						
<ul style="list-style-type: none"> NOT FOR CONSTRUCTION FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION 						
LEGEND						
<p>REVISION NOTE:</p> <ul style="list-style-type: none"> TREE SPECIES IN PLANT SCHEDULE HAVE BEEN REPLACED IN ACCORDANCE WITH LONG-LIVED TREES DESCRIPTIVE OF PCT 3320 - CUMBERLAND - SMALL PLAINS WOODLAND PLANTING PALETTE HAS BEEN UPDATED 						
REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP
B	16/09/24	WIP Issue	AT	LCI	BG	
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MECHANICAL/ELECTRICAL ENGINEER:			HYDRAULIC/FIRE ENGINEER:			
LIC CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060			LIC CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060			
CIVIL ENGINEER:			STRUCTURAL ENGINEER:			
AECOM CONSULTANTS PTY LTD 02 9438 5008 SUITE 2, LEVEL 3, 33 HERBERT STREET, ST LEONARDS NSW 2060			IAN WEBER CONSULTING 02 94304423 LEVEL 6, 30 CHANDOS ST, ST LEONARDS NSW 2060			
ARCHITECT:			LANDSCAPE:			
GREENWICK ARCHITECTURE PTY LTD 02 890 8929 LEVEL 22, 88 PITT STREET, SYDNEY NSW 2000			GREENSPACES 02 9411 1485 SUITE 310, 145 HILL STREET, CHATSWOOD, NSW 2067			
PROJECT: GLENDENNING ROAD DATA CENTRE						
TITLE: PLANTING SCHEDULE & PLANTING PALETTE						
DRAWING: GRDC86-GEO-00-XX-DR-SSDA-L-0302						
PAPER SIZE: SCALE: AGILE NO: REV: G						

PLANTING SCHEDULE (LONG LIVED TREES DESC. - SMALL PLAINS WOODLAND) - PCT 3320 - CUMBERLAND - ISSUED FOR RIS - 08/10/25 2:50:11 PM
 BASED ON TEMPLATE VERSION:

THE SITE

The subject site is located at 2 Glendenning Road, Glendenning and is legally described as Lot 2 DP 1137162. It is zoned E4 General Industrial under the Blacktown Local Environmental Plan 2015.

The subject site comprises a total area of 10.44ha and exhibits a primary frontage to Glendenning Road at the western boundary for approximately 295m. A secondary frontage to Woodstock Avenue is located along the southern boundary, for a length of approximately 335m.

The subject site comprises three (3) existing warehouse buildings that undertake various operations, including storage and logistics and a transport vehicle centre. The buildings are positioned toward the Glendenning Road frontage and cover approximately one half of the subject site. The remainder of the subject site to the rear is vacant and contains a mix of grass, native vegetation and sporadic trees. A patch of mature native vegetation exists along the southern boundary, which is identified as outstanding biodiversity value. An established landscaping strip is located along the Glendenning Road frontage, providing some screening of the existing buildings.

Vehicle access is obtained via four (4) vehicles crossings off Glendenning Road, which provide separate access for the two (2) large tenants. Vehicle access is also provided off Woodstock Avenue for the southern tenant.

The subject site is traversed by overhead 132kV transmission lines and towers, managed by Endeavour Energy. A drainage reserve also exists directly north of the subject site, which is managed by Blacktown City Council.

The subject site is surrounded by industrial land to the north, west and south (refer to the site context in Figure 2). Directly adjoining the subject site to the east is the Nurranginy Reserve, which falls under the jurisdiction of the Western Parklands. The Eastern Creek is located within the reserve and runs along the eastern boundary of the subject site. The closest residential area is located approximately 400m to the west of the subject site on the opposite side of the Westlink M7 Motorway.

The subject site is depicted in Figure 1.



Figure 1. Aerial Map of Subject Site (Source: NearMap, 2024)

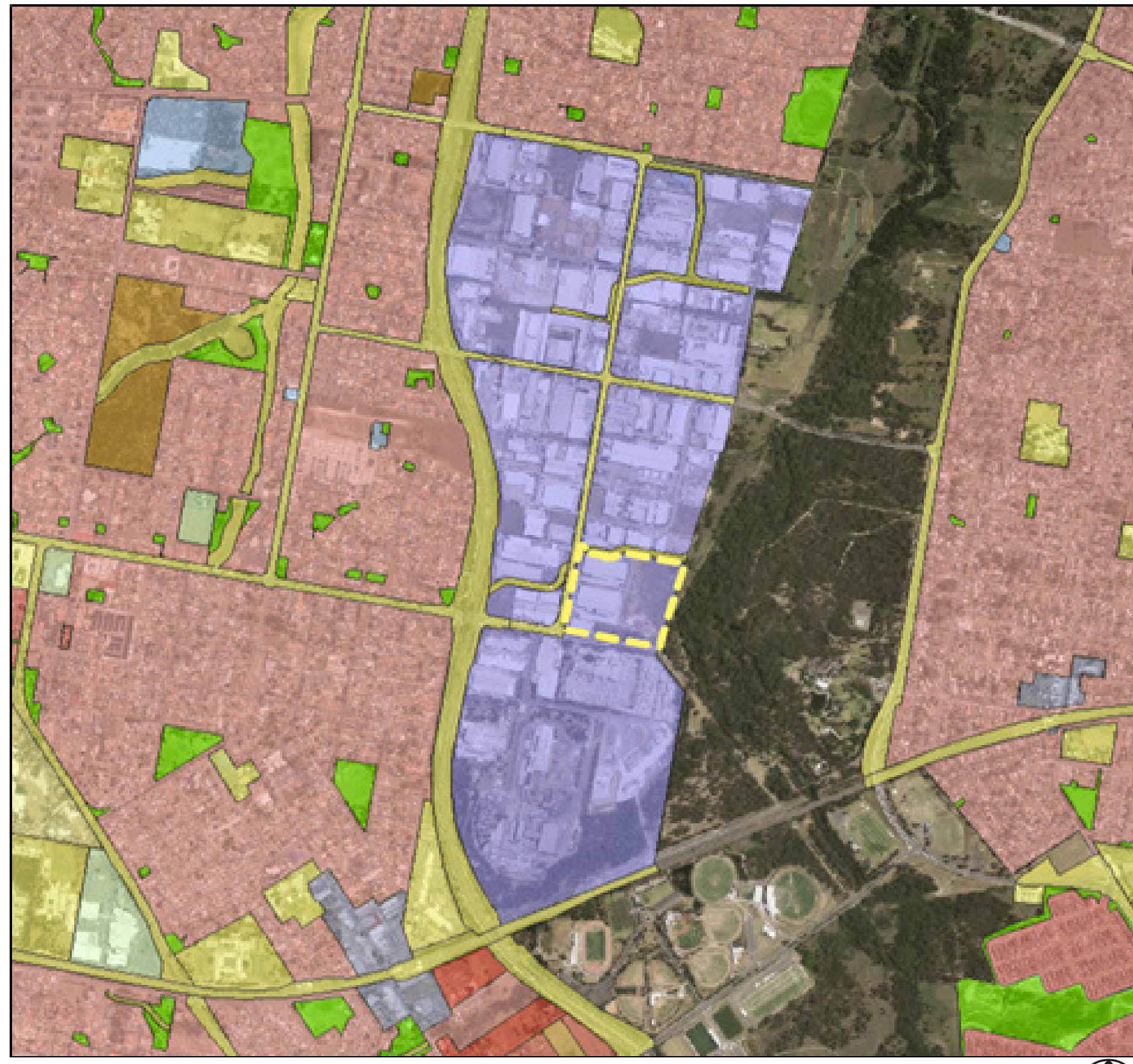


Figure 2. Site Context and Zoning (Source: Blacktown Local Environmental Plan, 2024)

PROPOSED DEVELOPMENT

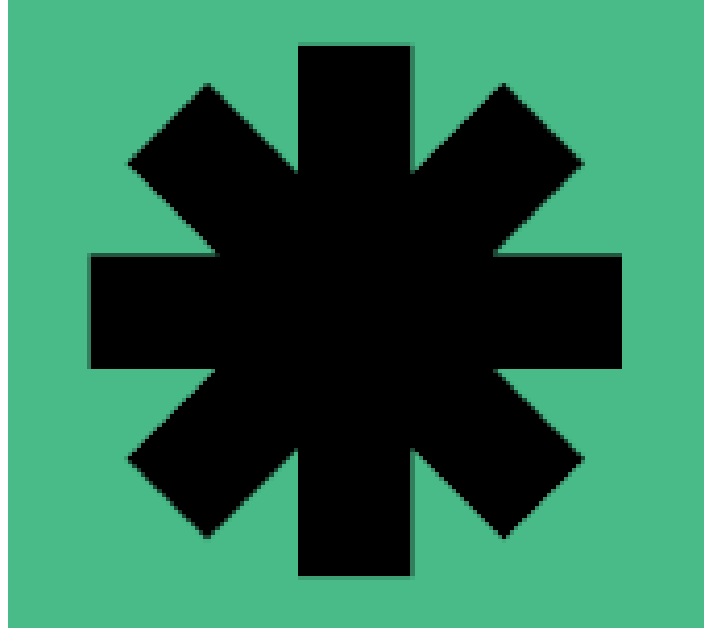
The proposal involves the staged construction and operation of a data centre development, comprising:

- Site preparation and establishment works including:
 - Bulk earthworks to create proposed site levels;
 - In-ground building services and utility work;
 - Clearance of trees and vegetation within the proposed development extent;
- Construction and operation of three data centre buildings, known as DC01, DC02 and DC03, comprising:
 - A total Gross Floor Area (GFA) of 50,233m² (DC01 – 19,985m², DC02 – 10,263m² and DC03 – 19,985m²);
 - A maximum building height of 45.3m, including five storeys for each building;
 - Three internal substations;
 - A total IT capacity of approximately 193.6MW (DC01 – 79.2MW, DC02 – 35.2MW and DC03 – 79.2MW);
- Total diesel fuel storage of 2,736,030L within underground bulk fuel storage tanks and generator day tanks;
- 97 back-up generators across the full development;
- External plant and equipment (including water tanks and pump rooms);
- Installation of evaporative cooling units;
- Three vehicle crossovers to Glendenning Road and internal access roads;
- Security fencing surrounding the development, including a controlled entry and exit point;
- 65 on-site car parking spaces (including 6 accessible parking spaces and 12 Electric Vehicle (EV) parking spaces);
- Landscaping across the subject site;
- Hours of operation being on a 24 hours per day, seven days per week basis.

The proposed works would be constructed in three stages, as follows:

- Stage 1: The first stage would include the construction of DC01, located at the rear of the subject site. The three existing site buildings would be demolished.
- Stage 2: The second stage would involve the construction of DC02.
- Stage 3: The construction of DC03.

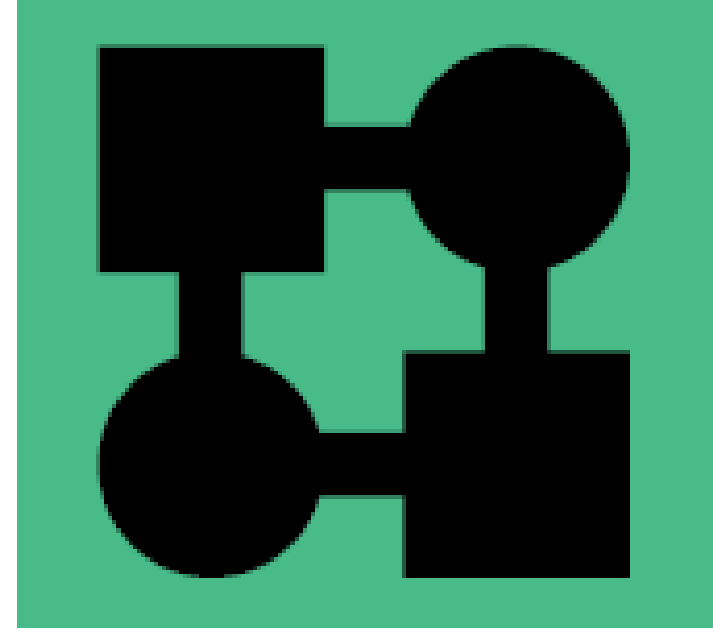
GREENER PLACES PRINCIPLES



INTEGRATION

Our proposed design integrates green infrastructure with urban development by selecting plant species that reflect the local indigenous and native plant communities. This approach enhances biodiversity and strengthens ecological resilience. This will establish a connection between the site's ecological system and Nurranginy Reserve.

To the southwest following demolition of 'Building A', 133 indigenous and native trees will be planted to restore biodiversity and create new habitats for wildlife. This will integrate into the existing biodiversity zones and natural ecosystems, promoting healthy active living environments.



CONNECTIVITY

The introduction of native and indigenous shrubs and groundcovers to the east of the site the site will create both visual and ecological connections with Nurranginy Reserve. This promotes physical and functional links between different green spaces, resulting in an interconnected system. The proposal will restore local plant communities and conserve biodiversity zones surrounding the site. This green network provides vital connections that benefit both people and wildlife, enhancing the overall ecological and visual amenity.



MULTIFUNCTIONALITY

The proposed design accommodates different strategies of creating green infrastructure that responds to the site and surrounding character. This includes areas of revegetation, screening and amenity spaces for on-site workers. Large trees and dense evergreen species from local plant communities are incorporated along the site boundaries to better absorb the development into the landscape at a human scale.



PARTICIPATION

The planning process has been inclusive, incorporating the knowledge and input of a diverse range of stakeholders, including the NSW Government and Blacktown Council.

We have integrated neighbourhood, local, and district policies, aligning with Blacktown Council's Development Control Plan (DCP).

Additionally, both local and state Green Infrastructure policies and actions have been carefully considered and implemented throughout the process.

GREENER PLACES DESIGN GUIDE



1. OPEN SPACE FOR RECREATION

The proposed landscape area features a breakout zone for employees near the office. This promotes social interaction, enhancing the physical and emotional well-being of employees.

This breakout area incorporates native and indigenous trees and shrubs sourced from local communities, establishing a strong ecological link to Nurranginy Reserve. This design not only enriches local biodiversity but also creates a gentle transition between the development and surrounding open spaces, resulting in a harmonious environment.

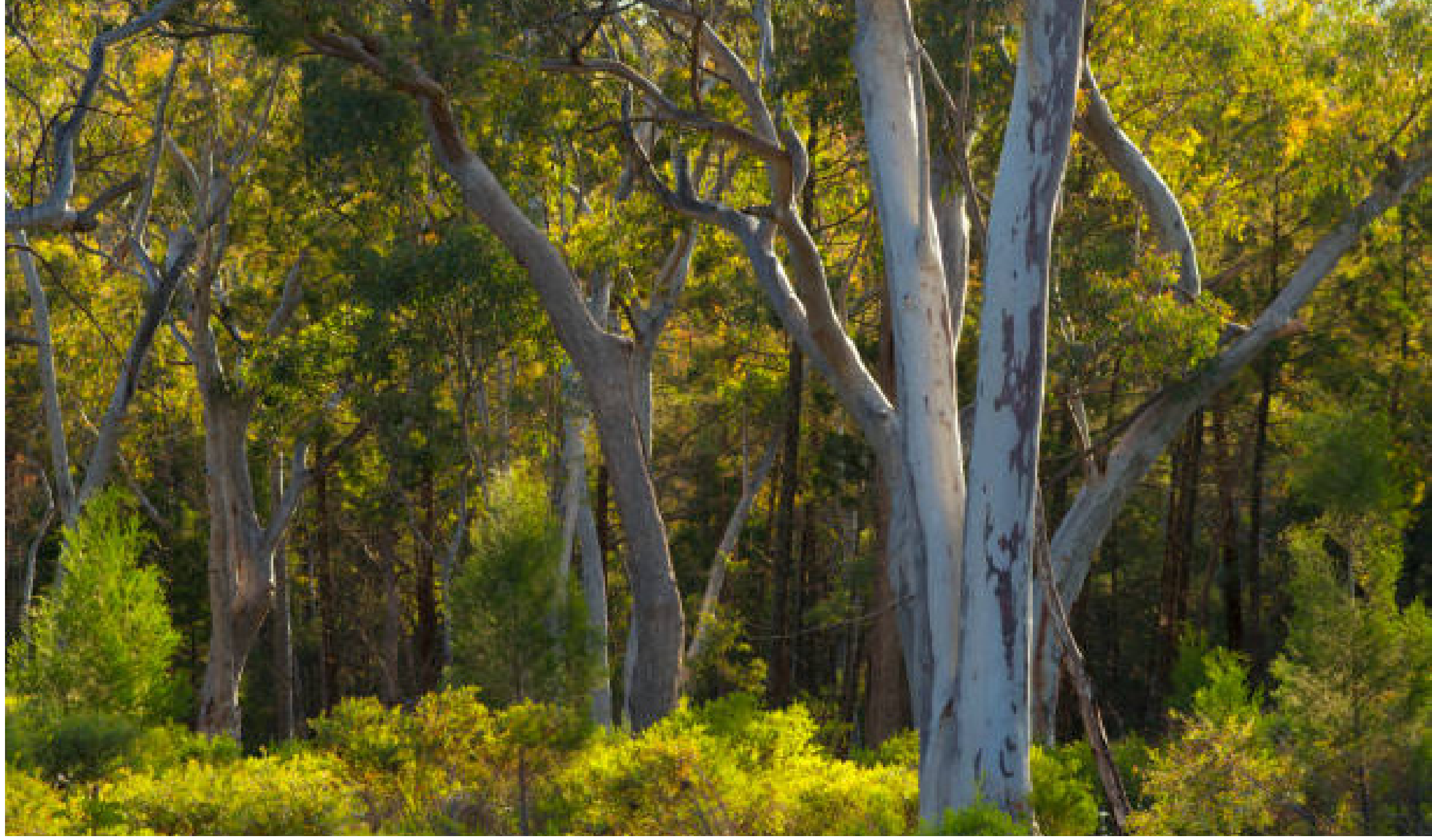
By focusing on locally indigenous species, we can reduce lifecycle, management, and maintenance costs. Our landscape design aims to provide diverse, functional, and accessible spaces that promote a deep connection to nature while supporting the health of the local plant community. This proposal highlights our commitment to creating sustainable, vibrant, and inclusive outdoor spaces that enhance the quality of life for all users.



2. URBAN TREE CANOPY

Trees play a crucial role in mitigating the urban heat island effect. The retention of existing trees has been prioritised where possible while addressing the operation needs of the development. Indigenous and native species from local plant communities have been incorporated. This strategy not only enhances the urban tree canopy but also contributes to cooling the surrounding environment.

Along Glendenning Road and at the rear of the site, we have introduced a diverse line of native evergreen tree plantings to enrich both the urban landscape and the local plant ecosystem. These trees provide seasonal variation, support wildlife habitats, and establish a biodiversity corridor linking our site to Nurranginy Reserve. In the car park, trees have been thoughtfully positioned within blisters to maximize shade while taking into account underground utilities and security concerns.



3. BUSHLAND AND WATERWAYS

Bushland and waterways are essential to enhancing urban liveability and elevating the quality of life for all living organisms. Our design prioritises the protection and conservation of remnant ecosystems within the biodiversity zones located in the northeast and southern sections of the site.

To prevent further habitat and biodiversity loss, we have proposed the use of indigenous species from local plant communities. Where ecosystems have been disturbed, restoration is our preferred approach to improving habitat structure and function, thereby supporting local biodiversity. As part of this effort, we have committed to revegetating areas to the southwest of the site, ensuring the restoration of habitats for native flora and fauna.

Additionally, a planting mix of indigenous trees, shrubs, and groundcover species will be introduced across all landscaped areas. This strategy will create an urban habitat corridor that connects to the broader green infrastructure network, supporting the long-term viability of both plant and animal species.

NOTES									
KEYNOTES									
<ul style="list-style-type: none"> • NOT FOR CONSTRUCTION • FINAL PLANTING NUMBERS AND POSITIONS TO BE FINALISED AT DD / CONSTRUCTION 									
LEGEND									
REV	DATE	DESCRIPTION	DRN	ENG	CHK	APP			
B	16/09/24	WIP Issue			AT	LCI	BG		
C	04/10/24	100% Draft Issue			AT	LCI	BG		
D	19/11/24	Final Issue for Review			AT	LCI	BG		
E	28/11/24	Issued for Adequacy Review			AT	LCI	BG		
F	28/02/25	Issued for Public Exhibition - SSDA 73761707			AT	LCI	BG		
G	08/10/25	Issued for RIS - SSDA 73761707			AT	LCI	BG		
MECHANICAL/ELECTRICAL ENGINEER					HYDRAULIC/FIRE ENGINEER				
LCI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060					LCI CONSULTANTS 02 937 0570 LEVEL 5, 73 MILLER STREET, NORTH SYDNEY NSW 2060				
CIVIL ENGINEER					STRUCTURAL ENGINEER				
ACORN CONSULTANTS PTY LTD 02 9438 5004 SUITE 2, LEVEL 1, 133 HERBERT STREET, ST LEONARDS NSW 2060					IWIN DESIGN CONSULTING 02 94360423 LEVEL 4, 39 CHANDOS ST, ST LEONARDS NSW 2060				
ARCHITECT					LANDSCAPE				
GREENWORK ARCHITECTURE PTY LTD 02 8903 8859 LEVEL 22, 28 PITT STREET, SYDNEY NSW 2000					GREENSPACES 02 9411 1485 SUITE 310, 91 HELPS STREET, CHATSWOOD NSW 2067				
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TITLE: GREENER PLACES DESIGN GUIDE									
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