

SUNDALE NORTHLAND DEVELOPMENT PTY LTD

ACCESS DESIGN REVIEW – DEVELOPMENT APPLICATION (DA)

12-16 Bent Street, Lindfield NSW



Project number: 116856

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Quality management

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2.0	3 March 2025	Updated Access Assessment Report – Development Application (DA)
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Executive summary

This document provides an assessment of the architectural design drawings for the proposed residential development located at 12-16 Bent Street, Lindfield, NSW, against the Deemed-to-Satisfy provisions of the Building Code of Australia (BCA) 2022 relating to Access for Persons with a Disability.

Part 2 'Matters for Further Consideration' of this report outlines the identified compliance issues that require further information or consideration and/or assessment as Performance Solutions.

Any Performance Solution will need to be detailed in a separate report and must clearly indicate methodologies for achieving compliance with the relevant Performance Requirements.

Item	Description	BCA Provision
Performance Solutions Required		
1.	Nil at this time.	-
Compliance Matters to be Addressed		
1.	The accessways from the allotment boundary shall be reviewed in the next stage of design to satisfy the requirements of the BCA and AS1428.1-2009. Capable of being addressed post-DA.	D4D2
Further Information Required		
1.	Refer to Annexure C for assessment of the Silver Level and Platinum Level units.	Ku-ring-gai Development Control Plan (DCP) 2024/LHDG.
2.	Confirmation is required to determine if the Garbage Room(s) on the Ground Level associated with the development will be accessed by residents or strictly for use by the maintenance staff whereby D4D5 of the BCA can be applied.	D4D2/D4D5
Note		
1.	Refer to Part 2.5 of this report, which provides comments for consideration related to Ku-ring-gai Development Control Plan (DCP) 2024.	For Noting.

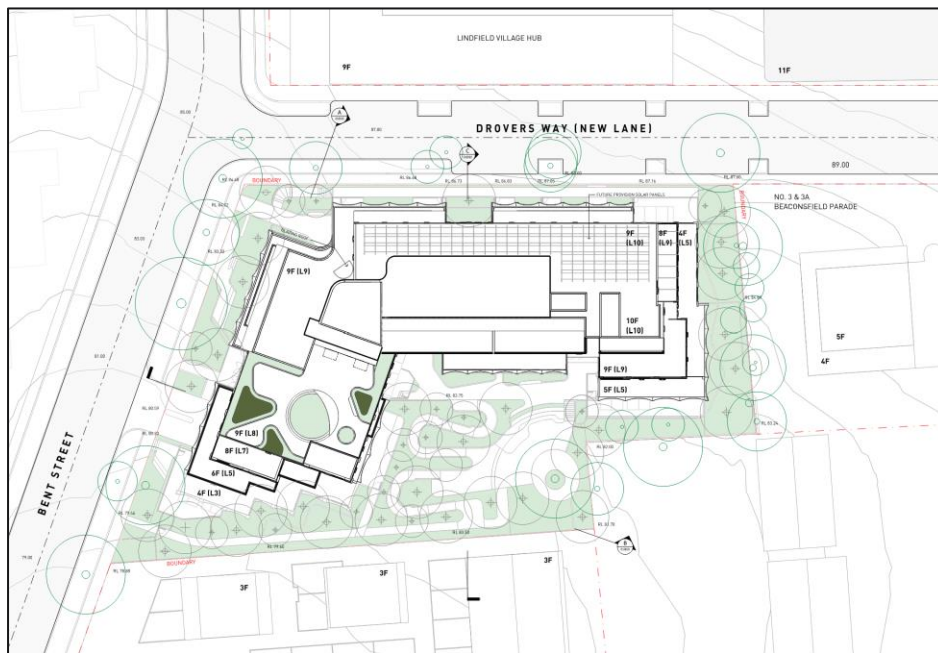
The annexures of this report provide detailed assessments of the proposal against all compliance requirements.

1.0 Project Overview

The residential development, the subject of this report, is located at 12-16 Bent Street, Lindfield NSW 2070.

The redevelopment of the site comprises the following:

- Construction of one (1) x ten (10)-storey building consisting of one-hundred and eleven (111) residential apartments and ancillary communal facilities for the residents.
- Communal areas to include the following:
 - Provision of a Gymnasium with a changing room and sauna for use by the residents.
 - Provision of a communal garden on Level 01 of the building for use by the residents.
 - Communal space on Level 09 of the building for use by the residents.
- Vehicular access to the basement for off-street parking will be via a ramp located on Bent Street.



1.1 Review summary

A detailed review has been undertaken of the documentation listed within this report (refer below) against the following:

- Disability (Access to Premises- Buildings) Standards 2010.
- Chapter 4 of the State Environmental Planning Policy (Housing) 2021 (the Housing SEPP) (including referenced Apartment Design Guide).
- Building Code of Australia 2022 Amendment 2 (BCA2022) Volume 1 – Part D4 and Clauses E3D7 and F4D5.
- Ku-ring-gai Development Control Plan (DCP) 2024;
- Adaptable Housing Code AS4299:1995 (AS4299) – As required by DCP; and
- Applicable Australian Standards AS1428.1:2021, AS1428.4.1:2009, AS2890.6:2009, and AS1735.12-1999.

The design review includes general areas of the proposed development, including but not limited to items as noted below:

- Accessways (continuous accessible path of travel) from the allotment boundary and any accessible parking bay within the allotment associated with the building.
- Building entrances.
- Provision of vertical transport (where relevant)
- Doors (hinged/sliding) and doorway circulation space.
- Stairs, ramps, and walkway/pathway requirements.
- Car parking.
- Sanitary facilities including unisex accessible toilets and ambulant facilities.
- Landscaping.
- Adaptable housing provisions AS 4299

2.0 Legislative requirements

The minimum legislative requirements for this project comprise both Federal and State legislation. These are outlined below.

Federal

The Federal *Disability Discrimination Act 1992* (DDA) was enacted in 1993. The objects of the DDA are to eliminate as far as possible, discrimination against persons on the basis of their disabilities, in particular access to premises (as defined under the DDA); work; accommodation; the provisions of facilities, services; and land; to ensure, as far as practicable, that persons with disabilities have the same rights to equality before the law as the rest of the community; and to promote recognition and acceptance within the community of the principle that persons with disabilities have the same fundamental rights as the rest of the community.

The DDA is complaints-based legislation administered by the Australian Human Rights Commission (AHRC).

The DDA utilises legislative instruments known as Disability Standards to specify how the objects of the DDA are to be achieved. These standards include:

- Disability (Access to Premises – Buildings) Standards 2010,
- Disability Standards for Education 2005; and
- Disability Standards for Accessible Public Transport 2002.

Where relevant, these Standards reference the Australian Standards for access and mobility (and others), including parts of the AS1428 series, primarily AS1428.1-2021, AS1428.4.1-2009 and others such as AS2890.6 2009.

This review has considered the requirements of the *Disability (Access to Premises – Buildings) Standards 2010*.

State

With the introduction of the *Disability (Access to Premises – Buildings) Standards 2010*, the Building Code of Australia 2011 was modified to align with the federal legislation. The aim of this alignment/inclusion was to ensure that where a building complies with the relevant sections of the BCA, it is deemed to comply with the 'premises' component of the DDA relevant to buildings. However, it is to be noted that compliance with the BCA alone does not necessarily mean compliance with the Disability Discrimination Act, provisions of which extend beyond the building itself.

2.1 Referenced legislation and standards

The design review has been undertaken against the following:

- Objects of the Disability Discrimination Act (DDA) 1992.
- Disability (Access to Premises – Buildings) Standards 2010.
- National Construction Code (BCA) - Building Code of Australia (BCA) 2022 Volume 1, Amendment 2 and referenced Australian Standards including:
 - AS1428.1 2021 Part 1: General Requirements for access – new building work.
 - AS1428.4.1 2009 Part 4.1: Means to assist the orientation of people with vision impairment – Tactile Ground Surface Indicators (TGSIs).
 - AS2890.6 2009 Part 6: Off-street parking for people with disabilities.

- AS1735.12 1999 Lift facilities for people with disabilities.

3.0 Key Compliance Consideration

3.1 General

The following is a summary of all the individual elements that relate directly to the ability of a person with a disability to independently access all areas of the building required to be accessible.

3.2 Classification

Under the provisions of Part A6 of BCA 2022 and Part A4 of the Access Code, we understand that the building has been classified as follows:

Table 1: Building Classification

Class	Level	Description
Class 2	Ground Level to Level 10	Residential (Sole-occupancy units, communal corridors and ancillary communal spaces).
Class 7a & Class 7b	Basement Level 3 to Ground Level	Car Parking and Storage

3.3 Dimensions and Tolerances

The Premises Standards and BCA contains the minimum standards for building construction and safety, and therefore generally stipulates minimum dimensions which must be met. Jensen Hughes’ assessment of the plans and specifications has been undertaken to ensure the minimum dimensions have been met.

The designer, builder and project manager should ensure that the minimum dimensions are met onsite, and consideration needs to be given to construction tolerances for wall set outs, applied finishes and skirtings to corridors and bathrooms for example, tiling bed thicknesses, luminance reflectance values of matt surfaces compared to reflective surfaces and the like which can adversely impact on critical matters such as access for people with disabilities, stair and corridor widths, luminance contrasts etc.

3.4 Performance Based Design – Performance Solutions

There are specific areas throughout the development where strict Deemed-to-Satisfy Premises Standards and BCA Compliance will not be achieved by the proposed design and site constraints. These matters will need to be addressed in a detailed Performance Solution Report to be prepared for this development under separate cover:

Table 2: Performance Solutions

Item	Description of Performance Solution	DTS Provision
1.	Nil at this time.	-

3.5 Council development approval / development control plans (DCPs)

Ku-ring-gai Development Control Plan 2024 provides council’s planning controls on the provisions of Accessibility/Adaptability under Part 7 ‘Residential Flat Buildings’ and Part 22 ‘General Access and Parking’ of that plan.

Note, confirmation is recommended by the Town Planner of the applicable Council DCP for this project. Assessment has been undertaken against the relevant provisions of Ku-ring-gai DCP 2024.

Table 3: Controls for Residential Flat Buildings

Item No	Control	Comment	Compliance
7B.1 Car Parking Provision	(8) Every Platinum Level unit requires an accessible car space designed to Australia Standard 2890.6. Note: All common areas and paths of travel are to be accessible in line with the requirements of the National Construction Code.	As advised by the Department of Planning, Housing and Infrastructure (DPHI), this control is not applicable to this project and a variance to this control is proposed yielding a reduction of platinum parking spaces is proposed	For noting.
	(11) At least one visitor car space is to be accessible and be provided within the site for every 6 apartments or part thereof and is to comply with the dimensional and locational requirements of AS2890.6.	As per confirmation by PTW architects, four (4) visitor accessible parking bays have been provided to satisfy this control. The four (4) car parking spaces nominated as Visitor are accessible and appear spatially capable of complying with AS2890.6-2009.	Complies in design.
7C.2 Communal Open Space	(6) Access to and within the Primary communal open space is to be provided for people with a disability Part 2 Section 7 of AS1428.	The subject development is being assessed against the minimum requirements of the BCA 2022 Vol 1, Amendment 2 (which references AS1428.1-2021) and thus, any requirement over and above the minimum under the BCA is to be at the discretion of the Ku-ring-gai Council as to whether these i.e. AS1428.2 are applied. Further design development is required for the open space against AS1428.12021 To be reviewed, post-DA as the design progresses.	For noting by the design team & capable of complying post-DA.
7C.4 Apartment Mix and Accessibility	Accessible Housing		
	(3) All units in the residential flat building development are to be of Silver Level, and 15% of those are to be of	All residential units are to be designed to Silver Level requirements with seventeen (17) residential units designed to	Complies in design.

Item No	Control	Comment	Compliance
	Platinum Level as indicated in the <i>Livable Housing Design Guideline</i> .	<p>Platinum Level Livable Housing Design Guideline.</p> <p>As per the Apartment Yield Schedule and development data, ninety-four (94) Silver SOUs and seventeen (17) Platinum residential units are noted as being provided to satisfy this control.</p> <p>Platinum Level Unit Layouts have been provided for assessment against the LHDG. Silver unit layouts have been assessed at a high-level from the GA's</p>	Capable of complying - Refer to Annexure C.
	(4) All development are required to meet the KDCP Livable Housing Design Guideline provisions and National Construction Code accessibility requirements regardless of steepness of site.	The development site appears capable of complying with the requirements of Livable Housing Design Guidelines and the BCA access provisions subject to further design development.	Capable of complying.
	<p>(5) All development is to provide an accessible path of travel:</p> <p>(i) from the street entry to the front door of each dwelling; and</p> <p>(ii) from the basement carparking to the dwelling entry; and</p> <p>(iii) from the dwelling to the primary communal open space and each type of room or space for use in common by the residents.</p> <p>Note: Provision is to be made of wheelchair turning circles where required</p> <p>Note: The control above applies to all development regardless of the steepness of the site.</p>	The subject development is being assessed against the minimum requirements of the BCA 2022 Vol 1, Amendment 2 and thus, assessment will meet this control.	Capable of complying - See Part 2.10 of this Report.
	(6) Where the internal finished floor level of a ground floor dwelling and/or private open space is not more than 0.9m below the existing ground level at the building line, the ground level adjacent to the building is to be levelled to the finished floor level for a distance of 3.0m from the building line.	This level detail has not been provided at the current stage of documentation, however it is to be considered by the design team as the design progresses and capable of being addressed Post-DA.	For noting.

Item No	Control	Comment	Compliance
	<p>Note: A step at the threshold for compliance with waterproofing requirements is acceptable, however thresholds to the primary private open space are to be accessible for all Platinum Level dwellings.</p>		
	<p>(7) For Platinum level units with more than one level, an internal lift is to be provided to allow access to all levels.</p> <p>Note: Provision of a lift is not in lieu of accommodating Platinum Level provisions required at the dwelling entry level.</p>	<p>Platinum units do not anticipate being of a multi-level arrangement and thus this control is satisfied.</p>	<p>Complies in design.</p>
	<p>(8) Chair lifts, platform lifts and the like are not permitted on internal and external communal/shared paths and circulation areas. Where lifts are required they are to be constructed within lift shafts with full weather protection for users.</p>	<p>The subject development is being assessed against the minimum requirements of the BCA 2022 Vol 1, Amendment 2 and thus, assessment will meet this control for the proposed passenger lifts. Documentation notes no chair and/or platform lift associated with the development.</p>	<p>Complies in design.</p>

Table 4: Controls for General Access and Parking

Item No	Control	Comment	Compliance
<p>22.1 Equitable Access</p>	<p>(1) For the purpose of this Part “access” is defined as: i) an ability to travel from one point to another in a continuous and independent manner, following a reasonable route; ii) an ability to communicate or obtain information or service from any person, display or facility which is intended to communicate or provide that information or service to any person.</p>	<p>Note.</p>	<p>Note.</p>
	<p>(4) Applications for development, other than single dwellings, are to demonstrate how access to and within developments meets the requirements of the Disability Discrimination Act 1992 (DDA) and the Disability (Access to Premises – Buildings) Standards 2010.</p> <p>Note: Section 23 of the Disability Discrimination Act 1992 (DDA) requires</p>	<p>DDA is a complaints-based act and not a compliance-based act. While the BCA is recognised as a design standard to satisfy certain aspects of the DDA, compliance with the BCA and the referenced standards does not guarantee that a complaint will not be lodged.</p>	<p>For noting.</p>

Item No	Control	Comment	Compliance
	non- discriminatory access to premises which the public or a section of the public is entitled or allowed to use. It does not apply to single dwellings.	Nonetheless and subject to further design development/information, the development can be designed to meet the relevant requirements of Disability (Access to Premises – Buildings) Standards 2010 (DAPS), relevant Australian Standards such as AS1428.1-2021, AS1735.12-1999 and relevant/applicable BCA clauses contained within Part D4, E3 and F4.	
	(5) Entry access ramps for people with a disability are to be located within the site and is not to dominate the front façade	From the documentation provided, no ramps are noted at the building entrances to satisfy this control.	Complies in design.
	(14) All Multi Dwelling Housing, Residential Flat Buildings and Shop Top Housing within Mixed Use developments are to provide access to, and between, dwellings and parking in accordance with the Livable Housing Guidelines as stipulated in Part 6 Multi Dwelling Housing, Part 7 Residential Flat Buildings and Part 8 Mixed Use Development.	Review Table 3.	Refer to the comments in Table 3.
22.4 'Visitor Parking'	This section applies where visitor parking is required by this DCP. (3) At least one visitor parking space is to be accessible, designed in accordance with AS2890.6.	The proposed visitor accessible parking bays currently noted on the Ground Level appear spatially capable of complying with the requirements of AS2890.6-2009.	Complies in design.
22.5 'Parking for People with Disability'	(1) Accessible car parking spaces are to be level and have a continuous path of travel to the building's principal entrance or lift.	The subject development is being assessed against the minimum requirements of the BCA 2022 Vol 1, Amendment 2 and thus, assessment will meet this control.	Complies in design.
	(2) Accessible car parking spaces are to be identified by a sign incorporating the international symbol specified in AS1428 and be designed in accordance with the provisions of AS2890.6.	For noting and consideration by the design team as the design progresses.	For noting and consideration by the design team.

Item No	Control	Comment	Compliance
	(3) Appropriate international symbols for the disabled are to be displayed/used where appropriate to assist in direction to ramps, lifts etc	For noting and consideration by the design team as the design progresses.	For noting and consideration by the design team.
	(4) Car parking spaces for residential development (excluding single dwellings) are to be designed in accordance with the requirements of the Livable Housing Guidelines 2012 as stated within Part 6 Multi-Dwelling Housing, Part 7 Residential Flat Buildings and Part 8 Mixed Development.	Review Table 3.	Refer to the comments in Table 3.
Part 22.6 'Pedestrian Movement within Car Parks'	(3) All pathways and ramps within car parks are to conform to the minimum dimensional requirements set out in AS1428.1.	The subject development is being assessed against the minimum requirements of the BCA 2022 Vol 1, Amendment 2 and thus, this control will be satisfied if Part D4 of the BCA is satisfied.	For Noting.

3.6 Residential Sole Occupancy Units

The following table summarises the required accessible features for the proposed Residential SOUs. This is based upon the Premises Standards Access Code, SEPP65 Apartment Design Guide, Council DCP and BCA;

Table 5: Residential Sole Occupancy Units

Unit Type	SOU's
Adaptable SOU's	There are no Adaptable SOUs noted within the Council DCP.
Livable SOU's	As per Ku-ring-gai Council DCP, all units in the residential flat building development are to be designed to Silver Level and 15% of those are to be of Platinum Level as indicated in the Livable Housing Design Guideline. On the basis of one-hundred and eleven (111) SOUs proposed, seventeen (17) shall be designed to Platinum Level Livable. This is a provision rate of no less than 15% to satisfy

Unit Type	SOU's
	<p>Control (1) of 7C.4. As per the Apartment Yield Schedule and development data, ninety-four (94) Silver SOUs and seventeen (17) Platinum SOUs are noted as being provided to satisfy this requirement.</p> <p>The requirement of all units needing to be designed to Silver Level will satisfy the 20% SEPP Housing Policy 2021 (including referenced Apartment Design Guide) minimum benchmark for SOUs.</p>

3.7 Areas required to be accessible

The following areas of the building are required to be accessible:

Table 6: Areas Required to be Accessible

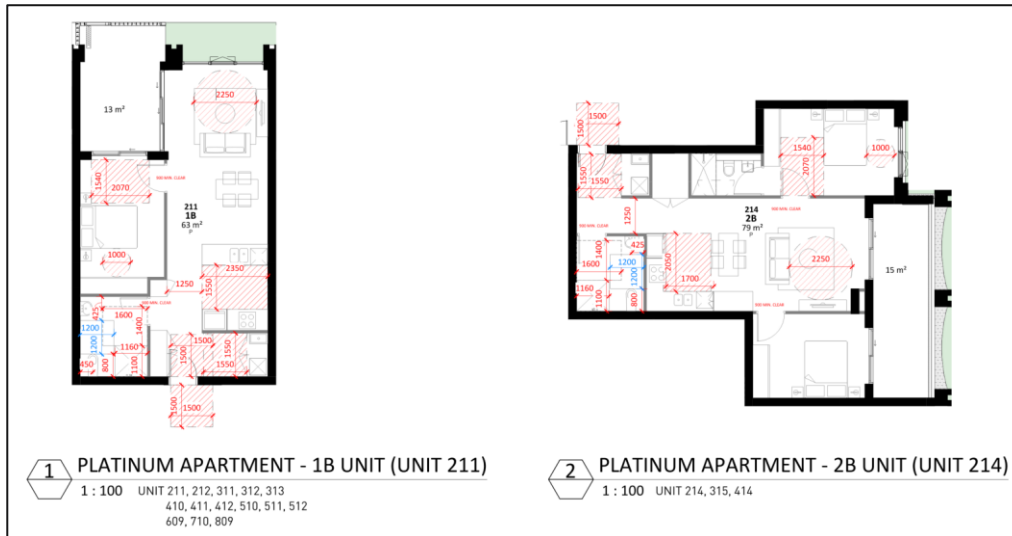
Area / Room	Description
<p>Class 2 Common Residential areas from the Ground Level to Level 10.</p>	<p>(4) For a Class 2 building, common areas are to be accessible as follows:</p> <p>(a) From a pedestrian entrance required to be accessible to at least 1 floor containing sole-occupancy units and to the entrance doorway of each sole-occupancy unit located on that level.</p> <p>(b) To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, swimming pool, common laundry, games room, individual shop, eating area, or the like.</p> <p>(c) Where a ramp complying with AS 1428.1 or a passenger lift is installed—</p> <ul style="list-style-type: none"> (i) to the entrance doorway of each sole-occupancy unit; and (ii) to and within rooms or spaces for use in common by the residents. <p>(d) The requirements of (c) only apply where the space referred to in (c)(i) or (ii) is located on the levels served by the lift or ramp.</p>
<p>Class 7a Car Parking</p>	<p>(7) For a Class 7a building, access must be provided to and within any level containing accessible carparking spaces.</p>
<p>Class 7b Storage</p>	<p>(6) For a Class 7b building, access must be provided to and within all areas normally used by the occupants.</p>

Note: The limitations and exemptions of Clauses D4D3, D4D4 and D4D5 of the BCA and Access Code have been considered where applicable in the process of developing the above table.

3.8 Livable Housing Design Guidelines Requirements (LHDG)

As mentioned in Table 4 of this report, out of a total of one-hundred and eleven (111) SOUs proposed for the development, all SOUs are required to be designed to Silver Level Livable Requirements and 15% seventeen (17) SOUs are required to be designed to Platinum Level as per the elements of the Livable Housing Design Guideline.

Typical Platinum unit types have been provided for review. Nominated as **Platinum Apartment – 1B (Unit 211, 212, 311, 312, 313, 410, 411, 412, 510, 511, 512, 609, 710, 809)**, **Platinum Apartments 2B Unit (Unit 214, 315, 414)**. Where no Silver level unit types have been provided, assessment of the GAs has been undertaken (where possible) with the design team to review Appendix C and apply accordingly.



The following elements are required to be included for Silver Level and Platinum Level Units. Refer to the Livable Housing Design Guideline, Annexure C and Annexure D, which capture the assessment of each unit type against the elements and features of the Silver Level and Platinum Level Design Guidelines.

Silver Level features include:

- Dwelling access
- Dwelling entrance
- Internal doors and corridors
- Toilet
- Shower
- Reinforcement of bathroom and toilet walls
- Internal stairways

Platinum Level features include:

All of the above, increased dimensions and the following additional features:

- Kitchen
- Laundry
- Ground (or entry level) bedroom space
- Switches and powerpoints
- Door and tap hardware
- Family/living space

- Windowsills

3.9 Design items requiring attention

Assessment of the Architectural Design Documentation against the Deemed-to-Satisfy Provisions of the Building Code of Australia, 2022 (BCA) relating to access for people with a disability has revealed the following areas where compliance with the BCA may require further consideration:

BCA Part D4 – Access for people with a disability

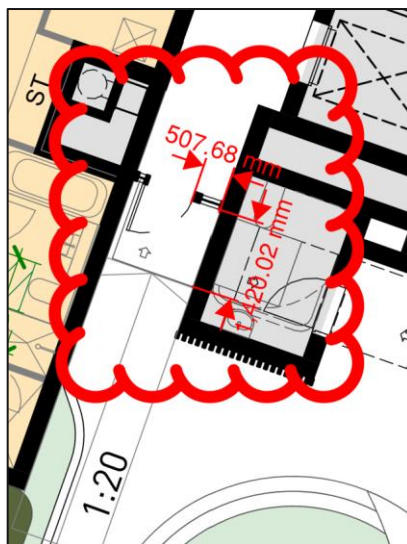
3.9.1 2.11.1 BCA Clause D4D2 – General building access requirements

For doorways that are located along a continuous accessible path of travel and that are to be manually operated, they must have the following accessible features and are capable of being addressed post-DA stage:

- Minimum of 850mm clearance width (920mm doors) incl. active leaf of double doors.
- Circulation spaces at doorways to demonstrate compliance with Clause 10.3 of AS1428.1-2021 as shown in Figures 31 & 32 on a 1:40 gradient.
- Latch side clearance: doors approached from the front require latch side clearance of 510mm and where door opens away from user, 530mm is required (unless the doorway is automated via sensor).
- 30% luminance contrast to be provided at the entry doorway to assist people with vision impairment locate the entry door.

From the documentation provided, disability access is capable of being provided to and within all areas of the development to satisfy D4D2 of the BCA, subject to the following areas:

1. The doorway providing access to the communal space on level 09 requires further design development to ensure a 530mm latch-side clearance for 1450mm (L) as per Figure 31(h) of AS1428.1-2021 is provided where current documentation notes a non-compliance. This item is capable of being addressed post-DA as the design progresses.



Level 09 – Communal space doorway

3.9.2 BCA Clause D4D3 - Access to buildings

From the architectural documentation provided, it appears that an accessway is proposed from the following to satisfy D4D3(1)(a) of the BCA:

- The allotment boundary from Bent Street to the building entrance and lobby on Level 01.
- The allotment boundary from Bent Street serving the communal garden.
- The allotment boundary from Drovers Way to the building entrance and lobby on Level 02.

Note, please refer to Part 3.9.3 of this report whereby assessment of the above accessways have been undertaken for consideration.

A continuous accessible path of travel is proposed from any required accessible carparking space on the Basement Levels/Level 01 via the passenger lifts to satisfy D4D3(1)(c) of the BCA.

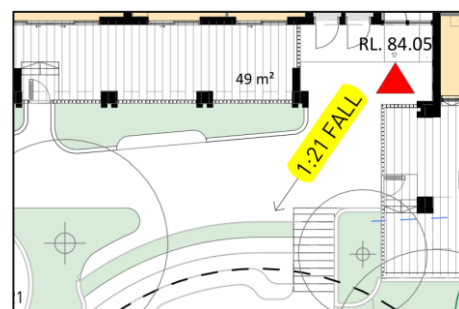
3.9.3 BCA Clause D4D4 – Parts of buildings to be accessible

1. For the proposed accessways noted in **Part 3.9.2** of this report, consider the following technical provisions of AS1428.1-2021 related to walkways and landings to satisfy compliance and ensure that they can be addressed as the design progresses:

- **1:20** walkways require landings at intervals no greater than **15m** in line with Clause 7.2(b)(ii) of AS1428.1-2021.
- **1:22** walkways require landings at intervals no greater than **16.54mm** in line with Clause 7.2(b)(iii) of AS1428.1-2021.
- The walkways shall comply with Clause 7.4 for curved walkways and Clause 4.2 of AS1428.1-2021 for the abutment of the sides.
- Landings (on a 1:40 gradient) shall be provided at all changes in direction in accordance with Clause 7.8 of AS1428.1-221 which requires **1200mm** (Figure 25 (A) in length where there is no change in direction, **1500mm** (Figure 25(B) where there is a change of direction not exceeding 90 degrees and for a 180 degree turn, the landing shall be as shown in Figure 25(C).
- A turning space complying with AS1428.1-2021 (1540mm wide x 2070mm long) is required at maximum 20m intervals along the accessways (walkway) as per D4D4(c)(ii)(B) of the BCA.
- A passing space complying with AS1428.1-2021(1800mm x 2000mm) is required at maximum 20m intervals on those parts of an accessway where a direct line of sight is not available.

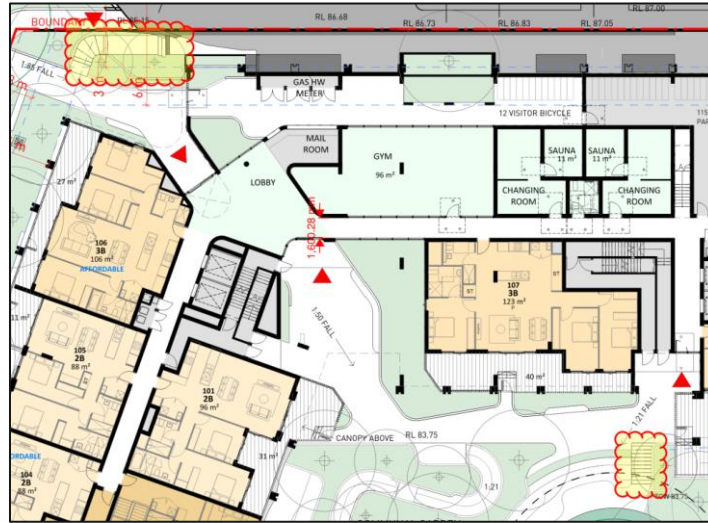


Level 01 - Accessways



Level 01 – Change in Direction

2. The general communication stairway noted on Level 01 (serving the communal garden) and the stairway serving the secondary access points to the SOUs is to provide dual handrails, 1m clear width between handrails, extensions/terminations as per AS1428.1-2021 and TGSIs as per AS14284.1-2009. This is capable of being addressed post-DA, however, is to be considered by the design team as the design progresses.



Level 01 – General communications stairway

3.9.4 BCA Clause D4D5 - Exemptions

The following are some areas of the development that are viewed to be inappropriate and unsafe for people with a disability and can be exempt from accessibility under BCA Clause D4D5– subject to certifier’s concurrence:

- > **Basement Level 1:** OSD Tank, Fire Pump, Fire Tank, Main Switch/Comm.
- > **Ground Floor :** Garbage Rooms subject to the below.

Confirmation is required to determine if the Garbage Room(s) on the Ground Level associated with the development will be accessed by residents or strictly for use by the maintenance staff, whereby D4D5 of the BCA can be applied. In the case that residents will access these rooms, then disability access requirements of the BCA and AS1428.1-2021 shall be provided.

- > **Level 1:** Intake/Plant.

3.9.5 BCA Clause D4D6 - Accessible Car Parking

There are no requirements in the BCA Clause D4D6 to provide accessible car parking spaces for a Class 2 building (or for car parking spaces associated with Class 2 part of the building) such is the case for the development. However, Part 2.5 (Table 6) of this report states separate DCP requirements related to accessible carparking.

3.9.6 BCA Clause D4D7– Signage

This detailed requirement can readily be coordinated and addressed to comply during subsequent detailed development stages, post-DA.

3.9.7 BCA Clause D4D8 – Hearing Augmentation

Please provide confirmation of areas within the building covered by a hearing augmentation system on the documentation. This detailed requirement can readily be coordinated and addressed to comply during subsequent detailed development stages, post-DA.

3.9.8 BCA Clause D4D9 – Tactile indicators

At this stage, sufficient details have not been provided to undertake an assessment. This detailed requirement can readily be coordinated and addressed to comply during subsequent detailed development stages, post-DA.

3.9.9 BCA Clause D4D10 – Wheelchair seating spaces in Class 9b assembly buildings

This requirement does not apply as this is not a Class 9b development.

3.9.10 BCA Clause D4D11 – Swimming pools

This requirement does not apply as there is no swimming pool proposed within the development.

3.9.11 BCA Clause D4D12 – Ramps

From the documentation provided, no ramp is noted as part of this development and thus, this requirement does not apply.

3.9.12 BCA Clause D4D13 – Glazing on an accessway

This detailed requirement can readily be coordinated and addressed to comply during subsequent detailed development stages, post-DA.

Part E3 Lift Installations

3.9.13 BCA Clause E3D7/E3D8 – Passenger Lift Types and their Limitations/Accessible Features Required for Passenger Lifts

The development is proposed with up to four (4) passenger lifts which are distributed as per the following:

- Four (4) passenger lifts with each lift serving Basement Level 3 to Level 10) of the proposed development.

All four (4) passenger lifts proposed throughout the development appear to be identical in size and each measured to be approximately 1.4m wide by 2.1m long in lift car dimensions. This can readily comply with AS1735.12-1999 and BCA E3D7/E3D8 for a lift travelling more than 12m in vertical distance, subject to lift car selection and specification details made available during subsequent detailed design development stages, post-DA.

Part F4 Sanitary and other facilities

3.9.14 BCA Clause F4D5/F4D6/F4D7– Accessible Sanitary Facilities/Accessible Unisex Sanitary Compartments/Accessible Unisex Showers

The building proposes the following sanitary facilities to serve people with a disability:

- One (1) unisex accessible sanitary compartment (RH) on Level 01 of the building.
- Two (2) unisex accessible sanitary compartments (RH) on Level 09 of the building.

The compartment(s) contain sufficient dimensions to readily comply with AS1428.1-2021.

Note, care shall also be given to internal wall profiles and linings to ensure that the circulation spaces within the unisex accessible sanitary facilities are achieved from finished wall surfaces as per AS1428.1-2009. Circulation spaces are noted as being extremely tight to achieve. To be addressed post-DA as the design progresses.

Detailed set outs and selections of all required sanitaryware, fixtures and fittings can readily be coordinated, detailed, and addressed to comply with AS1428.1-2021 at CC stage to demonstrate compliance with these provisions.

Refer to Annexure B – Compliance Specifications for further comments.

Annexures

Appendix A - Design Documentation

This report has been based on the following design documentation.

Table 7: Architectural Plans

Architectural Plans Prepared by PTW			
Drawing Number	Revision	Date	Title
AR-DA-A1-0100	A03	19.09.25	A1-GENERAL INFORMATION DEVELOPMENT DATA
AR-DA-A10010	A03	19.09.25	A1-GENERAL INFORMATION SITE PLAN
AR-DA-B10000	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS BASEMENT LEVEL 03 FLOOR PLAN
AR-DA-B10010	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS BASEMENT LEVEL 02 FLOOR PLAN
AR-DA-B10020	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS BASEMENT LEVEL 01 FLOOR PLAN
AR-DA-B10030	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS GROUND LEVEL FLOOR PLAN
AR-DA-B10040	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 01 FLOOR PLAN
AR-DA-B10050	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 02 FLOOR PLAN
AR-DA-B10060	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 03 FLOOR PLAN
AR-DA-B10070	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 04 FLOOR PLAN
AR-DA-B10080	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 05 FLOOR PLAN
AR-DA-B10090	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 06 FLOOR PLAN
AR-DA-B10100	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 07 FLOOR PLAN
AR-DA-B10110	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 08 FLOOR PLAN
AR-DA-B10120	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 09 FLOOR PLAN
AR-DA-B10130	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS LEVEL 10 FLOOR PLAN
AR-DA-B10140	A03	19.09.25	B1-GENERAL ARRANGEMENT PLANS ROOF PLAN
AR-DA-C1-0010	A03	19.09.25	C1-ELEVATIONS E-W ELEVATION
AR-DA-C1-0020	A03	19.09.25	C1-ELEVATIONS N-S ELEVATION
AR-DA-D10010	A03	19.09.25	D1-SECTIONS SECTION A-A

Architectural Plans Prepared by PTW			
AR-DA-D10020	A03	19.09.25	D1-SECTIONS SECTION B-B
AR-DA-D10030	A03	19.09.25	D1-SECTIONS SECTION C-C
DA-Q2-0010	A02	19.09.25	Q-COMPLIANCE DIAGRAMS PLATINUM/ SILVER APARTMENT
AR-DA-Q3-0010	A03	19.09.25	Q-COMPLIANCE DIAGRAMS SOLAR ACCESS COMPLIANCE DIAGRAMS
AR-DA-Q4-0010	A03	19.09.25	Q-COMPLIANCE DIAGRAMS CROSS VENTILATION COMPLIANCE DIAGRAMS
AR-DA-Q5-0010	A03	19.09.25	Q-COMPLIANCE DIAGRAMS GFA PLAN
AR-DA-Q6-0010	A03	19.09.25	Q-COMPLIANCE DIAGRAMS COMMUNAL OPEN SPACE
AR-DA-Q6-0050	A02	19.09.25	Q-COMPLIANCE DIAGRAMS HEIGHT PLANE DIAGRAM
AR-DA-Q6-0070	A03	19.09.25	Q-COMPLIANCE DIAGRAMS SEPARATION PLAN

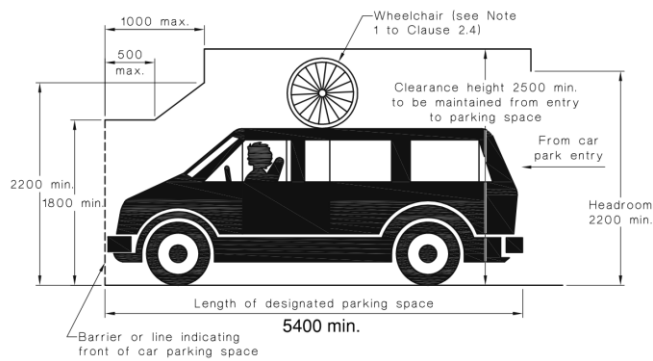
Appendix B - Compliance Specification

Design Certification

Further due to the level of detail provided at this stage the following items are to form part of a design statement or specification:

General

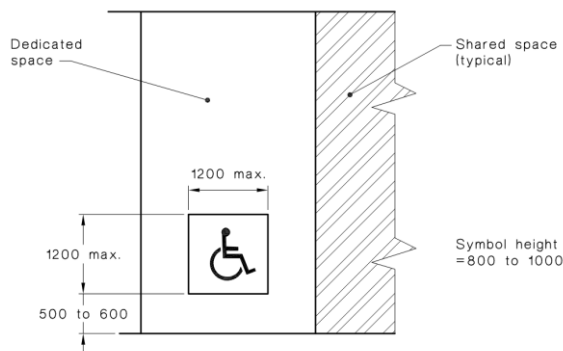
1. Tactile ground surface indicators will be installed at the top and bottom of stairways / ramps (other than fire isolated stairways / ramps); and where an overhead obstruction is less than 2 metres above the floor level. Tactile ground surface indicators will comply with Sections 1 and 2 of AS1428.4.1-2009 (incl. Amendments 1 and 2).
2. On an accessway where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening shall be clearly marked for their full width with an unbroken, solid and opaque contrasting line. The contrasting line shall be not less than 75mm high and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900mm and 1000mm above the plan of the finished floor level. Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2m of the glazing on the opposite side. The contrast shall be achieved when viewed from each side of the glazing.
3. All doorways will have a minimum luminance contrast of 30% in accordance with Clause 10.1 of AS1428.1-2021.
4. Fixtures and fittings in accessible sanitary facilities will be provided and installed in accordance Section 12 of AS1428.1-2021.
5. Fixtures and fittings in ambulant facilities will be provided and installed in accordance Section 13 of AS1428.1-2009.
6. Walkways will comply with Section 7 of AS1428.1-2021.
7. For the walkways, the floor or ground surface abutting the sides of the walkway shall provide a firm and level surface of a different material to that of the walkway at the same level of the walkway, follow the grade of the walkway and extend horizontally for a minimum of 600mm or be provided with a kerb or kerb rail in accordance with Figure 18 or Figure 19 or a wall, fence balustrade or similar barrier.
8. Stairways will comply with Section 8 of AS1428.1-2021.
9. The fire isolated stairs will comply with Section 8.1 (f) and (g) of AS1428.1-2021.
10. Handrails will comply with Section 9 of AS1428.1-2021.
11. Grabrails will comply with Section 14 of AS1428.1-2021.
12. Accessible car spaces will achieve compliant headroom clearances in accordance with Clause 2.4 of AS2890.6-2009. Refer to below for diagrammatic explanation.



DIMENSIONS IN MILLIMETRES

FIGURE 2.7 HEADROOM REQUIRED ABOVE CAR SPACES FOR PEOPLE WITH DISABILITIES

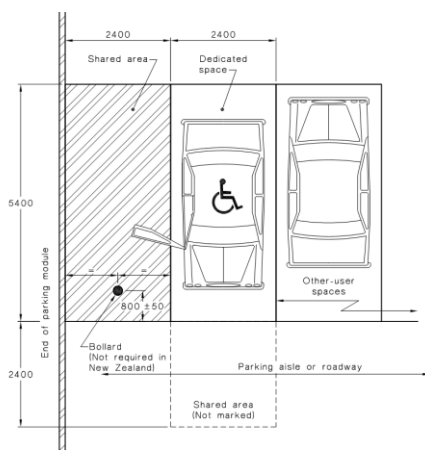
13. Demarcation will be provided in the accessible car space and adjacent shared zone in accordance with Clause 3.1 and 3.2 of AS2890.6-2009. Refer to below for diagrammatic explanation.



DIMENSIONS IN MILLIMETRES

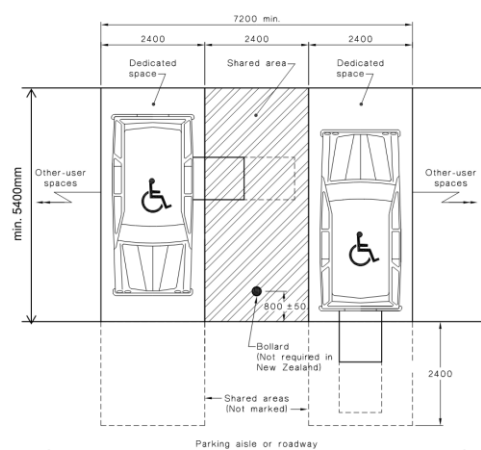
FIGURE 3.1 USE OF SYMBOL OF ACCESS TO IDENTIFY SPACES

14. Bollards will be provided in the shared disabled car space area in accordance with Clause 2.2.1(e) of AS2890.6-2009. Refer to below for diagrammatic explanation.



DIMENSIONS IN MILLIMETRES

FIGURE 2.2 EXAMPLE OF AN ANGLE PARKING SPACE WITH SHARED AREA ON ONE SIDE ONLY—DIMENSIONS FOR AUSTRALIA ONLY*



DIMENSIONS IN MILLIMETRES

FIGURE 2.3 EXAMPLE OF TWO PARKING SPACES WITH A COMMON SHARED AREA—DIMENSIONS FOR AUSTRALIA ONLY*

15. Switches and power points will comply with Section 11 of AS1428.1-2021.

16. Floor and ground floor surfaces on accessible paths and circulation spaces including the external areas will comply with Section 4 of AS1428.1-2021. Any level difference over 3mm must be ramped according AS1428.1 Section 7.5.
17. Braille and tactile signage will comply with BCA Clause D4D7 and Specification 15.
18. Signage will need to comply with Section 5 of AS1428.1-2021.
19. The passenger lifts will comply with BCA E3D7, E3D8 and AS1735.12-2009.
20. The unobstructed height of a continuous accessible path of travel will be a minimum of 2000mm and 1980mm at doorways.
21. Door handles and the like will be in accordance with Clause 10.4 of AS1428.1-2021.

Silver Level - Livable Housing Design Guidelines (LHDG)

1. Entrance door to have 820mm min. clear door width opening, level transition (5mm max. vertical tolerance) and reasonable shelter from the weather.
2. Entrance door to have 1200x1200mm level landings.
3. "Ramped threshold" (Fig 1b) allowed between 5-56mm height change.
4. Level & "step-free" entrance connected to the "safe and continuous pathway".
5. Waterproofing and termite management at entry door (as per NCC).
6. Garages to have minimum 3200x5400mm, an even, firm and slip resistant surface with 1:40 max. level surface (1:33 max. asphalt).
7. All internal doors to have 820mm min. clear door opening at entry level rooms, 5mm max. vertical tolerance surface, and 1000mm min. internal corridors at entry level rooms.
8. Toilet to be on entry level (ground floor).
9. If WC is located in a separate room. WC pan circulation space to be 900x1200mm front if WC (door not to encroach) (Fig 3a).
10. If WC is located within a bathroom. WC pan circulation space to be in the corner of the room to enable installation of grabrails (door not to encroach) (Fig 3b).
11. Bathroom to have slip resistant and hobless shower recess (portable shower screens allowed)
12. Shower recess located in a room corner to enable the installation of grabrails.
13. Walls to be constructed of solid masonry or concrete, otherwise to be reinforced (1100N min. withstand in all directions).
14. For WC, the reinforcement to be 25mm thick noggings (Fig 6a), or 12mm thick sheeting (Fig 6b)
15. For baths, reinforcement to be 25mm thick noggings (Fig 7a), or 12mm thick sheeting (Fig 7b)
16. For showers, reinforcement to be 25mm thick noggings (Fig 8a), or 12mm thick sheeting (Fig 8b)
17. A continuous stairway handrail where there is a rise of more than 1m.

Appendix C – Livable Housing Desing Guidelines (LHDG)

Table 8: LHDG Assessment

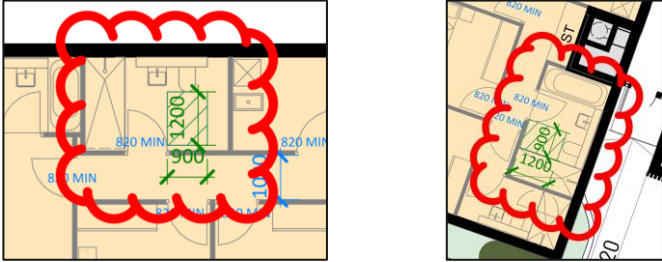
Item	Design Element	Comment
1.	<p>Dwelling (SOU) Access</p> <p>Silver Level</p> <ul style="list-style-type: none"> (a) Provide a safe, continuous step-free pathway from the front boundary of the property to an entry door to the dwelling. (a) This provision does not apply where the average slope of the ground where the path would feature is steeper than 1:14. (b) The path of travel referred to in (a) should have a minimum clear width of 1000mm and have; <ul style="list-style-type: none"> (i) No steps; (ii) An even, firm, slip resistant surface; (iii) A crossfall of not more than 1:40; (iv) A maximum pathway slope of 1:14 <p>Where ramps are required they should have landings provided at no greater than 9m for a 1:14 ramp and no greater than 15m for ramps steeper than 1:20. Landings should be no less than 1200mm in length.</p> <ul style="list-style-type: none"> (c) The path of travel referred to in (a) may be provided via an associated car parking space for the dwelling. Where a car parking space is relied upon as 	<p>The development site appears capable of complying with the requirements of Livable Housing Design Guidelines and the NCC access provisions.</p> <p>The proposed Platinum Level adaptable carparking space shall be designed as per the requirements of AS2890.6-2009. They appear spatially capable of satisfying AS2890.6-2009. Refer to Annexure B.</p>

Item	Design Element	Comment
	<p>the safe and continuous pathway to the dwelling entrance, the space should incorporate:</p> <ul style="list-style-type: none"> (i) Minimum dimensions of at least 3200 mm (width) x 5400mm (length); (ii) An even, firm and slip resistant surface; and (iii) A level surface (1:40 maximum gradient, 1:33 maximum gradient for bitumen). <p>(d) A step ramp may be incorporated at an entrance doorway where there is a change in height of 190mm or less. The step ramp should provide:</p> <ul style="list-style-type: none"> (i) A maximum gradient of 1:10 (ii) A minimum clear width of 1000mm (please note: width should reflect the pathway width) (iii) A maximum length of 1900 mm <p>(e) Where a ramp is part of the pathway, level landings no less than 1200mm in length, exclusive of the swing of the door or gate than opens onto them, must be provided at the head and foot of the ramp.</p> <p>Note: The width of the landing will be determined by the adjoining pathway. If the landing directly adjoins the doorway please refer to Element 2 for dimensional requirements.</p>	
	<p>Platinum Level</p> <p>As for Silver level except.</p> <ul style="list-style-type: none"> (i) Replace in (b) the minimum clear pathway width of 1000mm with 1200mm, and 	<p>Confirmation is required from council if the Platinum Livable Housing Guideline requirements are to be applied within common areas of the development where Part D4 of the BCA is usually applied i.e. accessway from the allotment boundary being 1000mm wide (BCA) vs 1200mm wide (LHDG).</p>

Item	Design Element	Comment
	<ul style="list-style-type: none"> (i) Replace in (c) the minimum dimensions of at least 3000mm (width) x 6000mm (length) (ii) Insert the following additional features: <ul style="list-style-type: none"> (A) A vertical clearance over the parking space of at least 2500mm; and (B) A covered parking space to ensure protection from the weather. 	<p>All Platinum Level adaptable units shall comply with the requirements of the Livable Housing Design Guideline.</p>
2.	<p>Dwelling (SOU) Entrance</p>	
	<p>Silver Level</p> <ul style="list-style-type: none"> a) The dwelling should provide an entrance door with – <ul style="list-style-type: none"> (i) A minimum clear opening width of 820mm (see Figure 2(a)); (ii) A level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled); and (iii) Reasonable shelter from the weather. b) A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door. A level landing area at the entrance door should be provided on the arrival side of the door (i.e. the external side of the door) to allow a person to safely stand and then open the door. c) Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b)). 	<p>As per documentation, the Silver Level entrance doorways are all internal to the building and therefore sheltered from the weather. 820mm clear width appears capable of being provided at the Silver Level SOU entrances.</p> <p>Confirmation required that the Silver & Platinum Level dwellings provide a step-free transition between abutting surfaces.</p> <p>Refer to Annexure B Compliance Specification.</p>

Item	Design Element	Comment
	<p>d) The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element 1.</p> <p>Note: The entrance must incorporate waterproofing and termite management requirements as specified in the NCC.</p>	
	<p>Platinum Level</p> <p>As for silver level except replace:</p> <p>(b) with a level landing area of at least 1500mm x 1500mm, and</p> <p>(a) (i) with a minimum clear door opening width of 900mm (see Figure 2(c)).</p>	<p>The Platinum Level SOUs are noted with 1.5m x 1.5m circulation space being proposed externally of the doorway.</p> <p>It appears that 900mm clear width doorways to the Platinum Unit SOUs, are proposed as per the requirements of this clause.</p>
3.	Internal Doors and Corridors	
	<p>Silver Level</p> <p>(a) Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:</p> <p>(i) A minimum clear opening width of 820mm (see Figure 2(a)); and</p> <p>(ii) A level transition and threshold (maximum vertical tolerance of 5mm between abutting surfacers if allowable provided the lip is rounded or bevelled).</p> <p>(b) Internal corridors/passageways to the doorways referred to in (a) should provide a minimum clear width of 1000mm</p>	<p>As per documentation, the Silver Level internal doorways are noted as providing 820mm clear width and 1m clear paths of travel noting this is required between finished wall surfaces as per the requirements of this clause and to be considered as the design progresses.</p> <p>Confirmation required the Silver & Platinum Level internal doorways provide a step-free transition between abutting surfaces.</p> <p>Refer to Annexure B Compliance Specification.</p>

Item	Design Element	Comment
	<p>* Corridor widths should be measured as described in Clause 6.3 of AS 1428.1 – 2009</p>	
	<p>Platinum Level</p> <p>As for the silver level except replace:</p> <p>(a)/(i) with a minimum clear opening width of 900mm (see Figure 2(c)), and</p> <p>(b) with a minimum corridor/passageway width of 1200mm.</p>	<p>As per documentation, the Platinum Level internal doorways are noted as providing 900mm clear width and 1200mm clear paths of travel noting this is required between finished wall surfaces as per the requirements of this clause and to be considered as the design progresses.</p> <p>Confirmation required the Platinum Level internal doorways provide a step-free transition between abutting surfaces. Refer to Annexure B Compliance Specification.</p>
4.	Toilet	
	<p>Silver Level</p> <ul style="list-style-type: none"> • Dwellings should have a toilet on the ground (or entry) level that provides: <ul style="list-style-type: none"> (i) A minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and (ii) A minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a). (iii) The toilet pan should be located in the corner of the room (if the toilet is located in a combined toilet / bathroom) to enable installation of grabrails at a future date. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6. 	<p>The Silver Level units are capable of complying, ensure 900mm width x 1200mm depth is provided forward of the WC pan and clear of wall linings, fixtures and door clearance. Refer to Annexure B.</p> <p>Note, ensure toilets are located in the corner of the room to satisfy item 6 or for toilets not located in the corner of the room, ensure the toilets are provided with sufficient adjacent solid wall space (min. 600mm forward of the WC pan) is provided for reinforcement (see element 6).</p>

Item	Design Element	Comment
		 <p data-bbox="1182 679 1684 703">Refer to Annexure B Compliance Specification.</p>
	<p data-bbox="277 759 450 783">Platinum Level</p> <p data-bbox="277 815 1144 871">As for the silver level with the following features added to (a) as detailed in Figure 4:</p> <ul style="list-style-type: none"> <li data-bbox="383 903 1144 991">a)/(i) with a minimum clear width of 1200mm between the walls of the bathroom if located in a separate room, or between amenities if located in a combined bathroom <li data-bbox="331 1023 1144 1078">(iv) A toilet seat positioned between 450mm – 460mm from the nearest wall as measured from the centre line of the toilet; <li data-bbox="331 1110 1144 1198">(v) 600mm minimum clearance forward of the cistern measured from the front of the cistern to the front of the toilet seat. 800mm (+/-10mm) clearance is required if the cistern is recessed; and <li data-bbox="331 1230 1144 1286">(vi) A height for the seat of between 460mm-480mm above the finished floor level. 	<p data-bbox="1182 919 1966 975">The toilet within the platinum level units provide the required 1200mm clear width between walls and/or amenities in the bathrooms for the toilet.</p> <p data-bbox="1182 1007 1899 1062">The additional requirements of this clause (iv), (v) and (vi) are to be addressed in the next phase of design and for consideration.</p> <p data-bbox="1182 1094 1684 1118">Refer to Annexure B Compliance Specification.</p>

Item	Design Element	Comment
	<p>Note: Compliance with the platinum level does not equate to compliance with AS 1428.1 2009 for accessible sanitary facilities.</p>	
5.	<p>Shower</p>	
	<p>Silver Level</p> <p>(a) One bathroom should feature a slip resistant, hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date.</p> <p>(b) The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date.</p> <p>For hobless specification please see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6.</p>	<p>The shower within the units are located in the corner of the room to comply with this clause.</p> <p>Compliance is readily achievable with the requirement for a slip resistant hobless shower recess as no details specification has been provided for assessment.</p> <p>Refer to Annexure B Compliance Specification.</p>
	<p>Platinum Level</p> <p>As for silver level except, the hobless shower recess in (a) should:</p> <p>(i) Be located in a bathroom on the ground (or entry) level;</p> <p>(ii) Provide dimensions of at least 1160mm (width) x 1100 (length). A level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled); and</p> <p>(iii) Provide dimensions of at least 1600mm(width) x 1400mm (length) forward of the shower recess as detailed in Figure 5(b).</p>	<p>All Platinum level units proposed to have a shower in the corner of the room with the required dimensions and circulation space forward of the shower to satisfy this clause.</p> <p>Compliance is readily achievable with the requirement for a slip resistant hobless shower recess as no details specification has been provided for assessment.</p> <p>Refer to Annexure B Compliance Specification.</p>

Item	Design Element	Comment
6.	Reinforcement of bathroom & toilet walls	
	<p>Silver Level</p> <ul style="list-style-type: none"> • Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails. <p>(b) The walls around the toilet are to be reinforced by installing:</p> <ul style="list-style-type: none"> (i) Noggings with a thickness of at least 25mm in accordance with Figure 6(a); or (ii) Sheeting with a thickness of at least 12mm in accordance with Figure 6(b). <p>(c) The walls around the bath are to be reinforced by installing:</p> <ul style="list-style-type: none"> (i) Noggings with a thickness of at least 25mm in accordance with Figure 7(a); or (ii) Sheeting with a thickness of at least 12mm in accordance with Figure 7(b). <p>(d) The walls around the hobless shower recess are to be reinforced by installing:</p> <ul style="list-style-type: none"> (i) Noggings with a thickness of at least 25mm in accordance with Figure 8(a); or (ii) Sheeting with a thickness of at least 12mm in accordance with Figure 8(b). 	<p>Configuration of the toilets in the Silver and Platinum units provide sufficient space to install grabrails as per the requirements of this clause around the toilet.</p> <p>Note, for toilets not located in the corner of the room, ensure the toilets are provided with sufficient adjacent solid wall space (min. 600mm forward of the WC pan) is provided for reinforcement (see element 6).</p> <p>Configuration of the bath in the silver level unit provides sufficient space to install grabrails as per the requirements of this clause.</p> <p>Configuration of the showers provide sufficient space to install grabrails as per the requirements of this clause in both silver and platinum units subject to Unit 210 (Silver) whereby the shower is not located in the corner of the room to enable grabrail installation as per this clause.</p> <p>Certification shall be provided at construction stage for the installation of the required wall reinforcement.</p>

Item	Design Element	Comment
	<p>Platinum Level</p> <p>Silver level requirements apply.</p>	<p>As above.</p>
7.	<p>Internal stairways</p>	
	<p>Silver Level</p> <ul style="list-style-type: none"> • Stairways in dwellings must feature: <ul style="list-style-type: none"> (i) A continuous handrail on one side of the stairway where there is a rise of more than 1m. <p>Note: This is a requirement for all new homes under the NCC. Homes built prior to 2014 may benefit from this element.</p>	<p>No internal stairways are noted in any Silver Level unit and thus this clause is N/A.</p>
	<p>Platinum Level</p> <p>As for the silver level with the following additional features:</p> <ul style="list-style-type: none"> (ii) A minimum clear width of 1000mm; (iii) Be straight in design; (iv) Be positioned adjoining a load bearing wall; (v) Closed risers; (vi) Continuous handrails on both sides of the stairway; and (vii) Minimum landing areas of 1200mm x 1200mm at the top and base of the stairway. 	<p>No internal stairways are noted in any Platinum Level unit and thus this clause is N/A.</p>

Item	Design Element	Comment
	<p>Note: The steps must provide a slip resistant finish and suitable non-slip tread as specified in the NCC.</p>	
8.	<p>Kitchen Space</p>	
	<p>Silver Level</p> <p>No requirements.</p>	<p>N/A</p>
	<p>Platinum Level</p> <p>The kitchen space should be designed to support ease of movement and adaptation with:</p> <ul style="list-style-type: none"> i. At least 1550mm clearance in front of fixed benches and appliances (excluding handles); ii. Slip resistant flooring⁶; and iii. Task lighting installed above workspaces. <p><i>Floor finishes should extend under kitchen cabinetry to enable cupboards to be removed without affecting the flooring. Where fixtures cannot be easily removed (eg. Ovens which are built in) the floor finishes should not be continued. If relying on advice from a third party, Assessors are advised to provide a note in the notes column of the Assessment.</i></p>	<p>1550mm clearance in front of benches and appliances is noted in each Platinum Level unit to satisfy this clause.</p> <p>Further information/confirmation is required regarding slip resistant flooring and task lighting as per this clause.</p> <p>Refer to Annexure B Compliance Specification.</p>
9.	<p>Laundry Space</p>	

Item	Design Element	Comment
	<p>Silver Level</p> <p>No requirements.</p>	<p>N/A</p>
	<p>Platinum Level</p> <p>a) The laundry space should be designed to support ease of movement and adaptation with:</p> <ul style="list-style-type: none"> i. At least 1550mm clear width provided in front of fixed benches and appliances (excluding handles). Where the appliances are not installed then the recessed area provision for an appliance shall be a minimum of 600mm in depth. ii. Slip resistant flooring⁶; and • Floor finishes should extend under Laundry cabinetry to enable cupboards to be removed without affecting the flooring. Where fixtures cannot be easily removed the floor finishes should not be continued. If relying on advice from a third party, Assessors are advised to provide a note in the notes column of the Assessment. 	<p>1550mm clearance in front of benches and appliances is noted in each Platinum Level unit to satisfy this clause.</p> <p>Further information/confirmation is required regarding slip resistant flooring as per this clause.</p> <p>Refer to Annexure B Compliance Specification.</p>
10.	<p>Ground (or entry level) bedroom space</p>	
	<p>Silver Level</p> <p>No requirements.</p>	<p>N/A</p>
	<p>Platinum Level</p>	<p>The requirements of this clause for each Platinum level unit appears capable of complying.</p>

Item	Design Element	Comment
	<ul style="list-style-type: none"> a) The dwelling should feature a space (or room) on the ground (or entry) level that: <ul style="list-style-type: none"> i. Is of at least 10m² clearance exclusive of wardrobes; skirtings and wall lining; ii. Provides for a minimum path of travel of at least 1000mm on at least on side of the bed iii. Provides a space of at least 1540mm (width) x 2070mm (in the direction of travel) on the side on the bed that is closest to the door approach; and iv. Provides for a minimum path of travel of 1000mm on the remaining side of the bed. v. Where no bed the design should assume a queen size. 	<p>Refer to Annexure B Compliance Specification.</p>
11.	Switches and powerpoints	
	<p>Silver Level</p> <p>No requirements</p>	<p>N/A</p>
	<p>Platinum Level</p> <ul style="list-style-type: none"> a) Light switches should be positioned in a consistent location; <ul style="list-style-type: none"> i. Between 900mm – 1100mm above the finished floor level; and ii. Horizontally aligned with the door handle at the entrance to a room. b) Powerpoints should be installed not lower than 300mm above the finished floor level. 	<p>For consideration and application by the Design Team as the design progresses, post-DA.</p>

Item	Design Element	Comment
	c) Light and powerpoint switches should rocker action, toggle or push pad in design with a recommended with of 35mm.	
12.	Door and tap hardware	
	<p>Silver Level</p> <p>No requirements.</p>	N/A
	<p>Platinum Level</p> <p>a) Doorways should feature door hardware installed at between 900mm – 1100mm above the finished floor.</p> <p>b) Doorways should feature lever or D-pull style door hardware; and</p> <p>c) Basins, sinks and tubs should feature lever or capstan style tap hardware with a central spout.</p> <p>For Gold and Platinum level, the handle clearances for D-pull style door hardware should be the same as AS1428.1 2009. AS 1428. 2009 is the most relevant set of specifications aimed at providing the greatest access to the greatest number of people and as such is an appropriate standard to reference for this Element.</p>	For consideration and application by the Design Team as the design progresses, post-DA.
13.	Family/living room space	
	<p>Silver Level</p> <p>No requirements.</p>	N/A

Item	Design Element	Comment
	<p>Platinum Level</p> <p>a) The family/living room should accommodate a free space, minimum 2250mm in diameter, to enable ease of movement clear of furniture.</p>	The platinum level units demonstrate 2250mm in diameter to satisfy this clause.
14.	Window sills	
	<p>Silver Level</p> <p>No requirements.</p>	N/A
	<p>Platinum Level</p> <p>a) Window sills on the ground (or entry) level in living areas and bedroom spaces should be positioned no higher than 1000mm above the finished floor level to enable enjoyment of the outlook.</p> <p>b) Window controls should be able to be easy to operate with one hand and located within easy reach from either a seated or standing position.</p> <p>Note: A concession from (a) is reasonable in kitchen, bathroom and utility spaces.</p>	For consideration and application by the Design Team as the design progresses, post-DA. Further information is required i.e. internal elevations for assessment against this clause.
15.	Flooring	
	<p>Silver Level</p> <p>No requirements.</p>	N/A
	<p>Platinum Level</p>	For consideration and application by the Design Team as the design progresses, post-DA.

Item	Design Element	Comment
	<ul style="list-style-type: none"> • All floor coverings should: <ul style="list-style-type: none"> a) Be firm, even and slip resistant; and b) Feature a level transition between abutting surfaces (a maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled). 	