

# **GEOTECHNICAL SITE INVESTIGATION REPORT**

**for**

**THE PROPOSED SUBDIVISION**

**at**

**25 MOSS VALE RD, BOMADERRY NSW 2540**

**Prepared for:**

**EG**

**Project No:**

**KFMGR-250583.1-Rev01**

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**20/10/2025**

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1	Secure PDF	Mr. Sahand Farooji, on behalf of EG	Level 21, Governor Phillip Tower, 1 Farrer Place, Sydney NSW 2000
2	Secure PDF	Dr. Mohammad Hossein Bazyar	36/07 Hoyle Ave, Castle Hill NSW 2154

### Revision History

Rev	Date of Issue	Revision Details	Author	Reviewer	Authorized by:
00	20/10/2025	Initial issue	Pegah Shahabivand BEng, MEng Geotechnical Engineer	Dr. Mohammad Hossein Bazyar Principal Geotechnical Engineer BEng MEng CPEng NER Design Practitioner	Dr. Mohammad Hossein Bazyar Managing Director

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## 1. INTRODUCTION

KFM Geotech Pty Ltd (KFM) was engaged by Mr. Sahand Farooji on behalf of EG to conduct a geotechnical site investigation for the proposed subdivision development at 25 Moss Vale Road, Bomaderry NSW 2540. The purpose of the site investigation was to provide a geotechnical assessment of the site and provide geotechnical parameters including subsurface soil profile, soil/site classification, suitable footing types, founding depth, bearing capacity of shallow footings, recommendations on the bearing capacity of deep foundations and geotechnical issues of the site for the proposed development. It is understood that a subdivision development to be constructed at the site. The scope of work followed in this investigation complies with the scope of work provided to the client and was approved on 24 September 2025.

The geotechnical investigation involved drilling of six (6) augured boreholes using a Ute-mounted drilling rig and conducting laboratory tests to assess soil reactivity and salinity/aggressivity. Three (3) groundwater wells were installed for the groundwater monitoring. This report provides comprehensive details of the fieldwork and laboratory tests, along with insights and recommendations for design and construction practices.

## 2. SITE DESCRIPTION

The site is located at 25 Moss Vale Rd, Bomaderry NSW 2540. An aerial photograph of the site is shown in Figure 1. The site condition is described below based on the results of our desktop study and the site inspection observations:

- The site is Irregular in shape and covers an approximate area of 8.5ha.
- The site is bounded to the north by Moss Vale Road and is surrounded by private properties and vacant land on the other sides.
- The site's elevation decreases by approximately 16 meters from east to west. Overall, the site slopes downward from east to west, with elevations ranging from RL 49.0 to RL 33.0, resulting in an average slope of less than 5.0%.



**Figure 1. Aerial Photograph of the Site**

### **3. PROPOSED DEVELOPMENT**

Based on the information obtained from the architectural drawings provided by the client, it is understood that a Subdivision development is proposed at the site, subdividing the existing lot into six (6) smaller lots with internal roads.

### **4. EXISTING AND PUBLISHED DATA**

#### **4.1 Site Geology**

The regional geology map obtained from MinView indicates that the site is located in the boundary of three geological formations. The first is the Nowra Sandstone (Pshn) unit of the Shoalhaven group, which consists of fine to very coarse-grained quartzose sandstone, with a three-fold subdivision: a very coarse-grained base with minor pebbly lenses, a central siltstone zone and a cross-bedded medium-grained quartz sandstone up-sequence.

The second geological unit is the Berry Siltstone (Pshb), characterized by mid to dark grey siltstone, grades up sequence to very fine-grained sandstone, highly fossiliferous, sporadic dropped pebbles. And the third unit is Alluvial floodplain deposits, characterized by silt, very fine- to medium-grained lithic to quartz-rich sand, clay. The geology map of the site is shown in Figure 2.



**Figure 2. Geology Map of the Subject Site and Surroundings**

## 5. FIELD INVESTIGATION

### 5.1 Fieldwork Methods

KFM Geotech (KFM), Geotechnical Engineer inspected the site on 29 September 2025 and drilled six (6) boreholes (BH1-BH6) using a Ute-mounted drilling rig to a maximum depth of 4.2m (bgl) depth. The boreholes' location is shown in Figure 3.

To estimate the soil strength and depth of bedrock, six (6) Dynamic Cone Penetration (DCP) tests were undertaken adjacent to the boreholes. The boreholes were logged by the KFM geotechnical engineer, and the full description of the subsurface profile encountered in the borehole is described in the logs attached to this report. The soil profile was logged based on Australian Standard AS1726-2017 "Geotechnical Site Investigation".

Upon completion of the borehole drilling, three (3) groundwater wells were installed in BH1, BH2 and BH3. Groundwater monitoring has been carried out a few days after the well installation.

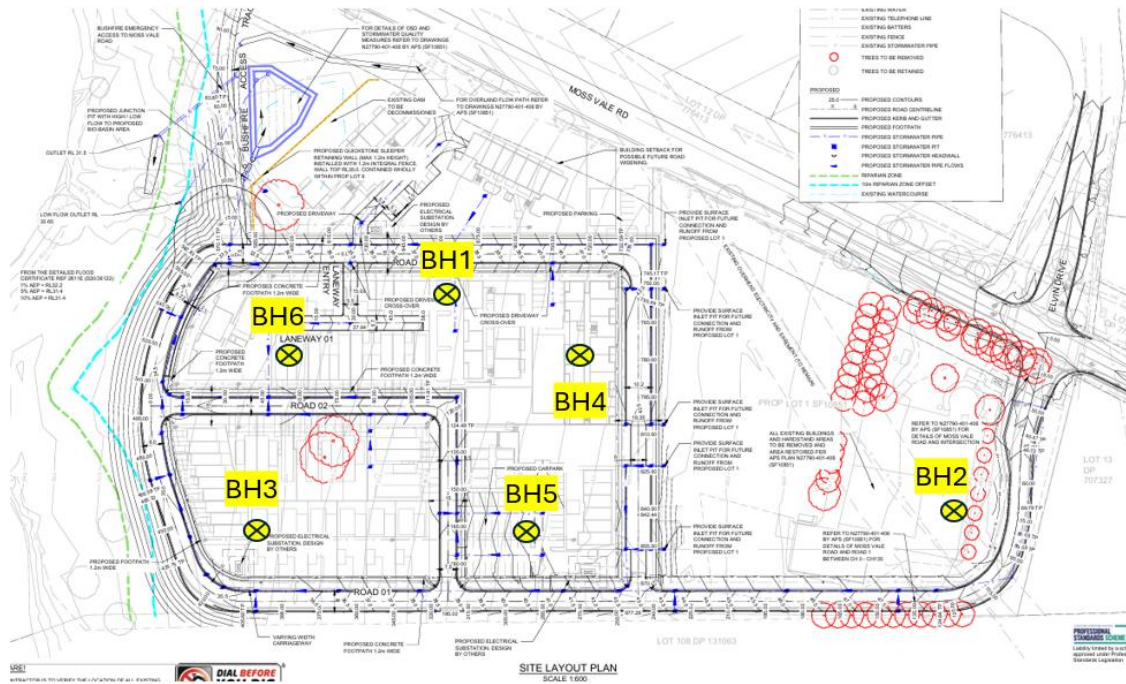


Figure 3. Borehole Locations

## 5.2 Site Subsurface Condition

The result of the site inspection and fieldwork observations indicates that the site's subsurface profile comprises fill materials with a maximum depth of 0.4m, overlying a natural clay layer with depths ranging from 1.3m to 2.4m, and then overlying sandstone bedrock. The subsurface materials are generally described as below:

**Topsoil/Fill:** Silty clay, sandy clay, dark brown, grass, trace gravel, moist, poorly compacted

**Natural Soil:** Clay, sandy clay, brown, medium plasticity, soft to hard

**Bedrock:** Sandstone, brown, grey, very low strength, extremely weathered. Note that higher-strength bedrock may be encountered at higher depths.

A summary of the subsurface profile encountered in the borehole/DCPs is presented in Table 1 with the detailed logs presented in Appendix A.

**Table 1. Summary of Site Subsurface Profile and Estimated Depth of Bedrock**

Unit #	Material	Top of Unit (m, below ground level (bgl))					
		BH1 (RL~37.5)	BH2 (RL~49.0)	BH3 (RL~34.5)	BH4 (RL~41.0)	BH5 (RL~40.5)	BH6 (RL~34.0)
1A	Fill/Topsoil	0.0 (RL~37.5)	0.0 (RL~49.0)	0.0 (RL~34.5)	0.0 (RL~41.0)	0.0 (RL~40.5)	0.0 (RL~34.0)
2A	Clay, soft to firm	0.3 (RL~37.2)	0.3 (RL~48.7)	0.2 (RL~34.3)	0.3 (RL~40.7)	0.3 (RL~40.2)	0.4 (RL~33.6)
2B	Clay, stiff to very stiff	-	0.6 (RL~48.4)	0.7 (RL~33.8)	0.7 (RL~40.3)	0.9 (RL~39.6)	0.9 (RL~33.1)
2C	Clay, hard	0.8 (RL~36.7)	1.3 (RL~47.7)	2.1 (RL~32.4)	1.3 (RL~39.7)	2.1 (RL~38.4)	2.2 (RL~31.8)
3	Sandstone	1.6 (RL~35.9)	2.8 (RL~46.2)	2.4 (RL~32.1)	2.2 (RL~38.8)	2.5 (RL~38.0)	2.8 (RL~31.2)

### 5.3 Groundwater

Groundwater was encountered in the BH3 and BH6 during borehole drilling. Three (3) groundwater monitoring wells MW1, MW2, and MW3 were installed in BH1, BH2, and BH3, respectively. The installation details are shown in Table 2.

**Table 2. Groundwater Well Installation Details**

Well Features	Groundwater Monitoring Well		
	MW1 (BH1)	MW2 (BH2)	MW3 (BH3)
Ground elevation (RL)	37.5	49.0	34.5
Well depth (m bgl)	3.5	3.5	4.0
Screen interval (m bgl)	0.5-3.5	0.5-3.5	1.0-4.0
screen length (m)	3	3	3
Screen lithology	Clay and Sandstone	Clay and Sandstone	Clay and Sandstone

Groundwater measurements were taken on 9 October 2025 using a dip meter. Table 3 presents readings of the groundwater level taken from monitoring wells MW1 (BH1), MW2 (BH2), and MW3 (BH3).

**Table 3. Groundwater Measured Levels**

Monitoring well	Groundwater Level (m)			
	Slotted Screen  RL  (m, AHD)	Ground Level  RL  (m, AHD)	09/10/2025	
			Depth (m)	RL (AHD)
<b>MW1 (BH1)</b>	RL37.0 to RL 34.0	37.5	1.49	36.01
<b>MW2 (BH2)</b>	RL 38.5 to RL 35.5	49.0	1.81	47.19
<b>MW3 (BH3)</b>	RL 33.5 to RL 30.5	34.5	1.67	32.83

Table 3 shows variations in groundwater levels at the site, ranging from RL 47.19 to RL 32.83 in MW2 (BH2) and MW3 (BH3), respectively. The depth of the groundwater from the existing ground surface varies between 1.5 to 1.8m.

## 6. LABORATORY TEST

Four (4) soil samples were collected from Borehole BH4, BH5, and BH6 and sent to NATA-accredited laboratories (ADE Consulting Group Pty Ltd) for Atterberg and Linear Shrinkage Tests. The Atterberg and linear Shrinkage lab results are presented in Table 4.

**Table 4. Atterberg Limit and Linear Shrinkage Test Results**

Sample ID	Liquid Limit (%)	Plastic Limit (%)	Plasticity Index (%)	Linear Shrinkage (%)
<b>BH2-0.9m</b>	34	19	15	8
<b>BH4-1.2m</b>	48	24	24	14
<b>BH5-1.2m</b>	33	21	12	8.5
<b>BH6-1.4m</b>	43	27	16	11.5

The lab results indicate the natural clay layer is medium plastic.

twelve (12) soil samples were sent to Eurofins, a NATA-accredited laboratory to obtain the salinity and aggressivity properties of the subsurface materials encountered in the boreholes. The lab results are presented in Table 5.

**Table 5. Salinity and Aggressivity Test Results**

Sample ID	EC (ds/m)	pH	Sulphate as SO <sub>4</sub> (mg/kg)	Chlorides (Cl) (mg/kg)	ECe <sup>+</sup> (ds/m)
BH1-0.7m	0.027	5.7	36	<10	0.243
BH1-1.7m	0.027	5.5	45	-	0.243
BH2-0.7m	0.037	5.6	30	28	0.333
BH2-1.6m	0.037	5.6	33	-	0.333
BH3-0.9m	0.019	6.6	180	45	0.171
BH3-1.1m	0.019	5.9	18	-	0.171
BH4-0.5m	0.055	5.7	51	31	0.495
BH4-1.6m	0.053	5.6	45	-	0.477
BH5-0.8m	0.038	6.1	46	<10	0.342
BH5-1.3m	0.029	5.9	43	-	0.261
BH6-0.6m	0.016	6.5	220	67	0.144
BH6-0.8m	0.020	6.2	28	-	0.18

- A factor of 9 for clay loams is assumed for converting EC (1:5) to ECe.

The salinity and aggressivity assessment and exposure classifications are presented in Table 6.

**Table 6. Salinity and Aggressivity Assessment**

Sample ID	Salinity Assessment	Aggressivity Assessment to concrete	Aggressivity Assessment to Steel	Exposure Classification for Concrete in Saline Soils	Exposure Classification for Concrete in Sulfate Soils
BH1-0.7m	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
BH1-1.7m	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1

<b>BH2-0.7m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH2-1.6m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH3-0.9m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH3-1.1m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH4-0.5m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH4-1.6m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH5-0.8m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH5-1.3m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH6-0.6m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1
<b>BH6-0.8m</b>	Non-Saline	Non-Aggressive	Non-Aggressive	A1	A1

The lab results indicate that the subsurface materials encountered on site are non-saline and non-aggressive to concrete and steel. As shown in Table 4, an exposure classification of A1 for concrete in saline soils and sulfate soils can be adopted for the concrete of the foundation and retaining wall design.

## 7. DISCUSSION AND RECOMMENDATIONS

### 7.1 Site/Soil Classification

Considering the depth and Atterberg/linear shrinkage test result of the natural clay layer, on a conservative basis, the site's natural soil is classified as class "H1" according to AS 2870-2011, "Residential Slabs and Footings" given that the site is not subjected to abnormal moisture conditions. Considering the subsurface conditions and site observations, the characteristic ground surface movement 'y' of class "H1" soils is estimated to be 40-50 mm. Note, AS 2870-2011, "Residential Slabs and Footings" may not apply to all the structures proposed on the site.

It is important to note that the recommendations in this report are based solely on the soil profile observed during the investigation, without considering any abnormal moisture conditions as defined in AS2870 – 2011, Clause 1.3.3, that may arise later. If such abnormal moisture conditions occur, they can lead to distress that results in "non-

acceptable probabilities of serviceability and safety of the building during its design life," as stated in AS2870-2011, Clause 1.3.1. Should these potential distresses be unacceptable to the builder, owner, or other relevant parties, additional fieldwork and revised footing recommendations will be necessary. Abnormal moisture conditions encompass scenarios such as insufficient site drainage during construction, the impact of trees positioned too near the foundation, excessive or irregular garden watering, neglect of site drainage maintenance, unresolved leaks, and the removal of vegetation from the vicinity of the building post-construction.

## 7.2 Earthquake Site Sub-Soil Class

Based on the results of the geotechnical investigation, a site sub-soil class of "Ce" –Soil site as per Section 4 Australian Standard AS 1170.4-2007 and a hazard factor (Z) of 0.08 can be adopted for earthquake design of the structure.

## 7.3 Foundations

The existing fill material is considered unsuitable as the foundation materials of the proposed development. If required, Australian Standard AS 2870-2011, Residential Slabs and Footings, can be considered for the design of the development footings/slab. Sections 3-5 of AS 2870-2011- Residential Slabs and Footings to be followed for the design of the building foundation systems, and all the Clauses of Section 6 to comply with construction requirements, especially Clause 6.3 temporary excavations, Clause 6.4 construction of slabs and Clause 6.5 construction of strip and pad footings.

Deep footings founded on sandstone bedrock (Unit 3) can be considered as the preferred footing system for the proposed development.

The allowable bearing capacity provided in Tables 7 and 8 can be adopted for the design of the shallow/deep footings.

**Table 7. Allowable bearing capacity of Shallow Footings**

Unit #	Material	Allowable Bearing Capacity (kPa)
2B	Clay, stiff to very stiff	100
2C	Clay, hard	300

3	Sandstone bedrock, very low strength or better	700*
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**Table 8. Allowable bearing capacity of Deep Foundations (Piers)**

Unit #	Material	Allowable End Bearing Capacity (kPa)	Allowable Shaft Friction (kPa)
2B	Clay, stiff to very stiff	-	15
2C	Clay, hard	600	20
3	Sandstone bedrock, very low strength or better	700*	50*

\*Note that higher-strength sandstone may be encountered at higher depths.

The piers are to have a minimum socket length of 1D (D: pier diameter) into the required unit. To mobilize the shaft adhesion, the piers are to be embedded in 3D into the required materials. Units 1 and 2A to be ignored in the pier shaft bearing capacity calculation. Higher-strength sandstone may be encountered at higher depths subject to a geotechnical site inspection during the construction. We recommend that the foundation excavations of any type be inspected by a qualified geotechnical engineer during the foundation works to confirm the subsurface conditions and recommended parameters.

To reduce the risk of potential differential settlement, all footings for the buildings are recommended to be founded on strata of similar strength and stiffness.

## 7.4 Excavation

### 7.4.1 Excavability

The major excavation will be for the foundation works and basement construction. The excavation class based on SANS 1200D is assessed as soft for the fill and natural clay materials and can be easily achieved using conventional earthworking plants such as small to moderate-size excavators fitted with a digging bucket and with no vibration occurring during the excavation. A soft to intermediate excavation will be likely encountered for sandstone bedrock. No major vibration is anticipated for the proposed development. If required, lower energy machines such as small rock breakers to be used on site to prevent noise pollution and vibration. The builder shall confirm that peak

particle velocities (PPV) of excavation in rock fall within acceptable limits. PPV at the site perimeter should not exceed 10 mm/sec during bedrock excavation using rock breakers. The limit of 10 mm/sec is expected to be achievable if rock breaker equipment or other excavation methods are restricted as indicated in Table 9:

**Table 9. Recommendations for Rock Breaking Equipment**

Distance from adjoining structure (m)	Maximum Peak Particle Velocity 5 mm/sec		Maximum Peak Particle Velocity 10 mm/sec*	
	Equipment	Operating Limit Equipment (% of Maximum Capacity)	Equipment	Operating Limit Equipment (% of Maximum Capacity)
1.5-2.5	Hand Operated Jackhammer	100	300kg rock hammer	50
2.5-5	300kg rock hammer	50	300kg rock hammer	100
			600kg rock hammer	50

#### 7.4.2 Cut Batter and Unsupported Excavation

It is anticipated that a maximum of 3.0 m of excavation will be required. Temporary unsupported excavation/batter of up to 1.0m into the existing fill and natural clay can be executed vertically as long as they are not located in the zone of influence of any adjacent footings or underground services. For cuts deeper than 1m to 3m, the cuts are to be battered with a slope not steeper than 1H:1V. Minor slumping could be anticipated in the fill materials, extremely weathered sandstone (if encountered) during rainy times.

#### 7.4.3 Excavation Support

The Retaining Wall Design Parameters presented in Table 10 can be adopted for any cantilever retaining wall design.

**Table 10: Retaining Wall Design Parameters**

Unit #	Unit weight (kN/m <sup>3</sup> )	Active Earth Pressure Coefficient	At Rest Earth Pressure Coefficient	Passive Earth Pressure Coefficient/Ultimate Passive Resistance
1 and 2A	19	0.39	0.56	2.56
2B-2C	21	0.36	0.53	2.77
3	22	0.3	0.4	200kPa

The parameters presented in Table 10 assume fully drained retaining walls. Free-draining granular materials such as back-wall drainage are to be considered in the design and construction of the retaining walls. This material is to be wrapped in a non-woven Geotextile fabric (i.e. Bidim A34 or similar), to prevent the drainage from becoming clogged with silty clay and sandstone. If no back-wall drainage is installed in retaining walls, the likely hydrostatic pressures are to be accounted for in the structural design of the retaining walls.

**7.4.4 Groundwater and Drainage Considerations During Excavation**

Groundwater was encountered during the fieldwork at a depth of 2.0 m and 2.7 m in BH3 and BH6, respectively. Three (3) groundwater monitoring wells MW1, MW2, and MW3 were installed in BH1, BH2, and BH3, respectively, to a maximum depth of 4m. Our groundwater monitoring carried out on 09 October 2025 indicates that the variations in groundwater levels at the site, range from RL 47.19 to RL 32.83 in MW2 (BH2) and MW3 (BH3), respectively. It should be noted that fluctuations in the level of groundwater might occur due to variations in rainfall, temperature, and/or other factors.

Based on the results of our preliminary assessment, a drained basement can be adopted for the proposed development for the blocks for which an excavation of less than 1.6m from the existing ground surface is required. For these blocks, adopting a drained basement has a negligible impact on nearby foundations, services, assets, structures, and ecosystems. It is recommended to install and maintain an effective drainage system behind all retaining walls to dissipate any hydrostatic pressure caused by seepage water accumulation. Additionally, under-slab drainage beneath the basement floor slab should be provided to prevent hydrostatic buildup and direct seepage to a pump-out system that

connects to the stormwater drainage system. To manage the seepage into the basement during the construction, a conventional sump and pump system can be used on site.

For the blocks, where the depth of excavation from the existing ground surface is greater than 1.6m, a fully tanked basement system will be required and should be detailed as part of the Construction Certificate phase (CC).

Based on the preliminary seepage assessment, KFM Geotech Pty Ltd believes that the proposed development may be exempt from requiring a Water Access License during construction; however, Water Supply Works (WSW) approval may be required.

If any excavation deeper than 1.6m is required and a drained basement is targeted, a detailed hydrogeological assessment is required to assess the seepage rate into the basement. The determined seepage rate will delineate the need to a drained or tanked basement and the need a Water Access License with a reference to Water NSW Fact Sheet 250920.

All site discharges should pass through a filtration system before being released into the Council's stormwater system or an approved alternative. Groundwater assessment and testing must be completed before discharging any groundwater to ensure that contaminant levels are within acceptable limits. Written approval from the Council should be obtained prior to any groundwater discharge.

## 7.5 Earthworks

### 7.5.1 Site Preparation

The sub-surface profile across the site comprises fill materials up to a depth of 0.4m overlying a natural clay layer to a depth varying up to 2.8m overlying sandstone bedrock. All topsoil, organic, and deleterious materials should be stripped from the building footprint and if required stockpiled on a corner of the site for possible re-use. All excavation spoil is to be removed from the site to be classified based on the current Environmental Protection Agency (EPA) waste classification guidelines. The topsoil/fill is to be classified based on EPA NSW-Waste Classification guidelines- Part 1- Classifying waste. Natural soil and crushed sandstone can be classified based on EPA NSW-ENM and VENM guidelines.

The building's slab should be placed on a layer of durable igneous granular material, such as DGB20 or another approved material, to act as a separation layer between the subgrade and the slab. Drainage should be installed around the perimeter and beneath the lowest level of the slab. The underfloor drainage should consist of strong, durable, single-sized washed aggregate, such as 'blue metal' gravel.

### 7.5.2 Fill and Re-use of Materials

If a fill layer is necessary during construction, it is essential to compact the fill materials adequately to prevent undue surface settling.

The required fill density and minimum frequency of control compaction tests as outlined in AS 3798 should be followed. If imported fill materials are required, suitable materials (preferably granular for controlled fill) as described in Section 4 of AS3798-2007 "Guideline on Earthworks for Commercial and Residential Development" should be used. If required, the suitable fill materials imported to the site to be placed in loose layers of 150-200mm and compacted to 98% of the standard maximum dry density in accordance with AS1289. Generally, the crushed sandstone materials encountered on site obtained from any excavation into bedrock, can be reused as engineered fill within the site.

All fill brought onto the site is to be certified as 'clean fill' with a VENM/ENM certificate or similar documentation in accordance with EPA guidelines. We recommend all structures be supported on the natural profile and sandstone bedrock as per the recommendations in the previous sections.

## 8. GENERAL RECOMMENDATIONS

- Stormwater drainage system to be used to collect the surface drainage and the drainage behind the retaining walls.
- The Builder and Plumber should implement all of the drainage requirements in AS 2870 to prevent water accumulation near the building footings either during or after the construction. The owners to follow the requirements of C.S.I.R.O requiring the owners to carry out regular maintenance of drainage and care for the soil moisture conditions.
- Care to be taken in the excavations close to any footings/easements. If the excavation is in the zone of influence of the existing footing/easement, the excavations should not

proceed below a level of 100mm above the base of the existing footing. The zone of influence can be determined from the invert of the existing footing/easement by a line projected up at 45° with respect to the horizontal.

- All the earthworks to be carried out on site must follow Australian Standard AS3798-Guidelines on Earthworks for Commercial and Residential Developments.

## 9. LIMITATIONS AND CONDITIONS OF THE REPORT

This report is the copyright of KFM Geotech Pty Ltd and any unauthorized reproduction and usage by any person or third party other than the client for whom this investigation was commissioned is strictly prohibited. The results of this investigation should not be used for any other purpose other than that for which it is specifically intended.

This Geotechnical Site Investigation report has been prepared based only on the information provided at the time of this investigation and may not be valid if site conditions change. The findings presented in the report reflect the sub-surface conditions specifically at the designated sampling and testing locations, and only to the depths probed during the investigation and at the time of assessment. It's important to note that sub-surface conditions are subject to abrupt changes influenced by geological processes and human activities. These alterations might occur subsequent to KFM Geotech fieldwork.

KFM Geotech recommendations are formulated based on the observed conditions during the investigation. However, the accuracy of these recommendations may be impacted by undetected variations in ground conditions across the site, extending beyond the sampled areas. Additionally, budget constraints imposed by external parties or limitations in site accessibility may further constrain the scope of advice provided. We recommend that the foundation excavation for any type to be inspected by a qualified geotechnical engineer to confirm the subsurface conditions and advice recommended in this report.

If the construction phase recommendations presented in this report are not implemented, the general recommendations may become inapplicable and KFM accepts no responsibility whatsoever for the performance of the building where recommendations are not implemented in full and properly tested, inspected, and documented.



During the earthworks, if site conditions significantly differ from those indicated in this report, KFM Geotech to be contacted to provide further advice.

## 10. REFERENCES



- Australian Standard (AS 2870-2011), Residential Slabs and Footings
- Australian Standard (AS 1726-2017), Geotechnical Site Investigations
- Australian Standard (AS 3600-2009), Concrete structures
- Australian Standard (AS 4678-2002), Earth-retaining structures
- Australian Standard (AS 2159.2009), Piling-Design and installation
- Australian Standard (AS 3798-1996), Guidelines on earthworks for commercial and residential developments
- Pells, P.J.N, Mostyn, G, Bertuzzi R and Wong P.K, Classification of Sandstones and Shales in the Sydney Region: A Forty Year Review, Australian Geomechanics, Volume 54: NO.2 June 2019

## APPENDIX A



### Borehole logs

KFM GEOTECH					Boring Log				
Project: 25 Moss Vale Rd, Bomaderry NSW 2540			Project Number: KFMGR-250583		Client: EG		Boring No. BH1 (RL~37.5)		
Logged By: PSh			Drilling Date: 29/09/2025		Drilling Type: : Ute-Mounted Drilling Rig		Driller: RK		
Depth (m)	Sample Type	Sample Number	Graphic Log	USCS	Lithology	Density/Consistency	Moisture Content	DCP (blows per 100mm penetration)	
					<b>Soil Group Name:</b> type, color, grain size, other descriptors				
0.0					Fill: silty clay, dark brown, trace gravel	PC	M	2 4 2	
0.5				Cl	Clay, brown, medium plasticity, shale fragments	F	M	2 1 2 2 4 12 12 14 B	
1.0					DCP bounced at 1.1 m depth	H			
1.5									
2.0					Sandstone, brown, very low strength, extremely weathered				
2.5									
3.0									
3.5					Drilling terminated at 3.5m depth on sandstone bedrock.				
4.0									
4.5									
5.0									



Consistency		Density		Moisture		Compaction	
S:	Soft	VL:	Very Loose	D:	Dry	PC:	Poorly Compacted
F:	Firm	L:	Loose	M:	Moist	MC:	Moderately Compacted
St:	Stiff	MD:	Medium Dense	W:	Wet	WC:	Well Compacted
Vst:	Very Stiff	D:	Dense				
H:	Hard	VD:	Very Dense	B	Bouncing	R	Refusal


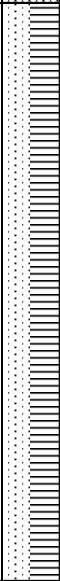
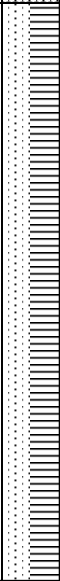
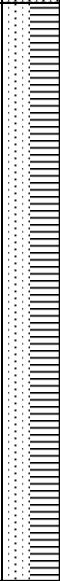
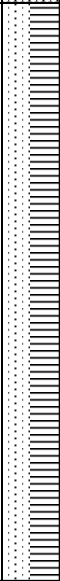
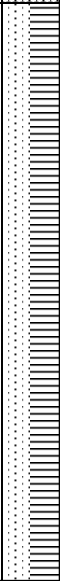
KFM GEOTECH		Boring Log						
Project: 25 Moss Vale Rd, Bomaderry NSW 2540		Project Number: KFMGR-250583		Client: EG		Boring No. BH2 (RL~49.0)		
Logged By: PSh		Drilling Date: 29/09/2025		Drilling Type: : Ute-Mounted Drilling Rig		Driller: RK		
Depth (m)	Sample Type	Sample Number	Graphic Log	USCS	Lithology	Density/Consistency	Moisture Content	DCP (blows per 100mm penetration)
					Soil Group Name: type, color, grain size, other descriptors			
0.0					Fill: silty clay, dark brown, grass	PC	M	5 6 3
0.5				Cl	Clay, brown, medium plasticity	S	M	1 0 1 3 5 7
1.0						Vst		6 6 13 8
1.5						H		16 17 16
2.0								
2.5								
3.0					Sandstone, brown, orange, very low strength, extremely weathered			
3.5					Drilling terminated at 3.5m depth on sandstone bedrock.			
4.0								
4.5								
5.0								







Consistency		Density		Moisture		Compaction	
S:	Soft	VL:	Very Loose	D:	Dry	PC:	Poorly Compacted
F:	Firm	L:	Loose	M:	Moist	MC:	Moderately Compacted
St:	Stiff	MD:	Medium Dense	W:	Wet	WC:	Well Compacted
Vst:	Very Stiff	D:	Dense				
H:	Hard	VD:	Very Dense	B	Bouncing	R	Refusal

KFM GEOTECH				Boring Log					
Project: 25 Moss Vale Rd, Bomaderry NSW 2540				Project Number: KFMGR-250583		Client: EG		Boring No. BH3 (RL~34.5)	
Logged By: PSh				Drilling Date: 29/09/2025		Drilling Type: : Ute-Mounted Drilling Rig		Driller: RK	
Depth (m)	Sample Type	Sample Number	Graphic Log	USCS	Lithology	Density/Consistency	Moisture Content	DCP (blows per 100mm penetration)	
					<b>Soil Group Name:</b> type, color, grain size, other descriptors				
0.0					Fill: silty clay, dark brown, grass	PC	M	1 3	
0.5				Cl	Clay, brown, medium plasticity	S	M	3 1 1 0 1 4 6 3 6 7 5 8 7 7 7 10 8	
1.0						St		4 6 3 6 7 5 8 7 7 7 10 8	
1.5						Vst		8 7 7 7 10 8	
2.0					Groundwater was observed at a depth of 2.0 m.	H		8 11 11 16	
2.5					Sandstone, grey, very low strength, extremely weathered			22 19 B	
3.0					DCP bounced at 2.6 m depth on bedrock.				
3.5									
4.0									
4.5					Drilling terminated at 3.5m depth on sandstone bedrock.				
5.0									

Consistency		Density		Moisture		Compaction	
S:	Soft	VL:	Very Loose	D:	Dry	PC:	Poorly Compacted
F:	Firm	L:	Loose	M:	Moist	MC:	Moderately Compacted
St:	Stiff	MD:	Medium Dense	W:	Wet	WC:	Well Compacted
Vst:	Very Stiff	D:	Dense				
H:	Hard	VD:	Very Dense	B	Bouncing	R	Refusal

KFM GEOTECH					Boring Log					
Project: 25 Moss Vale Rd, Bomaderry NSW 2540			Project Number: KFMGR-250583		Client: EG		Boring No. BH4 (RL~41.0)			
Logged By: PSh			Drilling Date: 29/09/2025		Drilling Type: : Ute-Mounted Drilling Rig		Driller: RK			
Depth (m)	Sample Type	Sample Number	Graphic Log	USCS	Lithology	Density/Consistency	Moisture Content	DCP (blows per 100mm penetration)		
					<b>Soil Group Name:</b> type, color, grain size, other descriptors					
0.0					Fill: silty clay, dark brown, grass	PC	M	2 2 0		
0.5				Cl	Clay, brown, medium plasticity	S/F	M	1 0 1 2 8 7 9 18 9 13 B		
1.0						Vst				
1.5					DCP bounced at 1.4 m depth	H				
2.0										
2.5					Sandstone, red, very low strength, extremely weathered					
3.0					Drilling terminated at 2.5m depth on sandstone bedrock.					
3.5										
4.0										
4.5										
5.0										
<b>Consistency</b>			<b>Density</b>			<b>Moisture</b>			<b>Compaction</b>	
S: Soft			VL: Very Loose			D: Dry			PC: Poorly Compacted	
F: Firm			L: Loose			M: Moist			MC: Moderately Compacted	
St: Stiff			MD: Medium Dense			W: Wet			WC: Well Compacted	
Vst: Very Stiff			D: Dense							
H: Hard			VD: Very Dense			B Bouncing			R Refusal	

KFM GEOTECH				Boring Log				
Project: 25 Moss Vale Rd, Bomaderry NSW 2540		Project Number: KFMGR-250583		Client: EG		Boring No. BH5 (RL~40.5)		
Logged By: PSh		Drilling Date: 29/09/2025		Drilling Type: : Ute-Mounted Drilling Rig		Driller: RK		
Depth (m)	Sample Type	Sample Number	Graphic Log	USCS	Lithology	Density/Consistency	Moisture Content	DCP (blows per 100mm penetration)
					<b>Soil Group Name:</b> type, color, grain size, other descriptors			
0.0					Fill: sandy clay, dark brown	WC	M	15 16 8
0.5				Cl	Sandy clay, brown, medium plasticity, sandstone fragments	S	M	7 2 0 1
1.0						F		2 2
1.5						St		3 3 4 5
2.0						Vst		8 9 7 8 6 6 7
2.5					DCP bounced at 2.3 m depth	H		9 11 13 B
3.0					Sandstone, white, grey, very low strength, extremely weathered			
3.5					Drilling terminated at 3.0m depth on sandstone bedrock.			
4.0								
4.5								
5.0								
<b>Consistency</b>		<b>Density</b>		<b>Moisture</b>		<b>Compaction</b>		
S: Soft		VL: Very Loose		D: Dry		PC: Poorly Compacted		
F: Firm		L: Loose		M: Moist		MC: Moderately Compacted		
St: Stiff		MD: Medium Dense		W: Wet		WC: Well Compacted		
Vst: Very Stiff		D: Dense						
H: Hard		VD: Very Dense		B Bouncing		R Refusal		

KFM GEOTECH					Boring Log				
Project: 25 Moss Vale Rd, Bomaderry NSW 2540			Project Number: KFMGR-250583		Client: EG		Boring No. BH6 (RL~34.0)		
Logged By: PSh			Drilling Date: 29/09/2025		Drilling Type: : Ute-Mounted Drilling Rig		Driller: RK		
Depth (m)	Sample Type	Sample Number	Graphic Log	USCS	Lithology	Density/Consistency	Moisture Content	DCP (blows per 100mm penetration)	
					<b>Soil Group Name:</b> type, color, grain size, other descriptors				
0.0					Fill: silty clay, dark brown, grass	PC	M	1	2
0.5				Cl	Clay, brown, medium plasticity	S/F	M	1	0
1.0						St		2	2
1.5						Vst		4	5
2.0								5	6
2.5						H		6	6
					Groundwater was observed at a depth of 2.7 m.			7	7
								7	17
								9	9
								13	20
								20	16
3.0					Sandstone, grey, very low strength, extremely weathered				
					Drilling terminated at 3.0m depth on sandstone bedrock.				
3.5									
4.0									
4.5									
5.0									
<b>Consistency</b>		<b>Density</b>		<b>Moisture</b>		<b>Compaction</b>			
S:	Soft	VL:	Very Loose	D:	Dry	PC:	Poorly Compacted		
F:	Firm	L:	Loose	M:	Moist	MC:	Moderately Compacted		
St:	Stiff	MD:	Medium Dense	W:	Wet	WC:	Well Compacted		
Vst:	Very Stiff	D:	Dense						
H:	Hard	VD:	Very Dense	B	Bouncing	R	Refusal		

## GENERAL NOTES

The methods of description and classification of soils and rocks used in this report are based on Australian Standard 1726-2017, the Geotechnical Site Investigations. Explanatory notes are located at the bottom of the drilling log sheets. In the "lithology" column, details about the soil/rock group, origin, geology, colour, density/consistency, grain size and other descriptions are presented. The depth of the excavation base for the logged section is noted in the same column at the appropriate depth. If there is a refusal of the excavation/drilling tool, it is documented. The explanatory notes define the terms and symbols used in the preparation of the logs, are described below. Subsurface conditions between the investigation points may vary significantly from conditions encountered at those locations.

### Materials Description-Soil

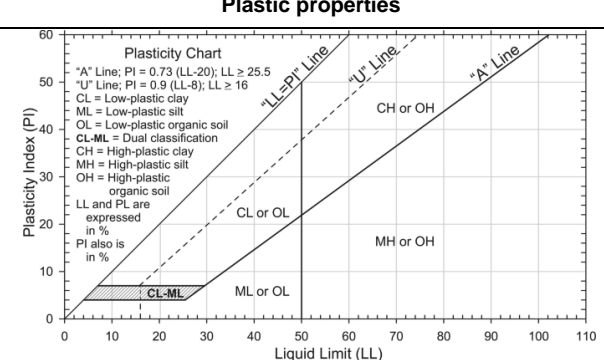
#### Particle size characteristics of soils

Fraction	Components	Grain	Size (mm)
Oversize	Boulders		>200
	Cobbles		63-200
Coarse-grained soil	Gravel	Coarse	19-63
		Medium	6.7-19
		Fine	2.36-6.7
	Sand	Coarse	0.6-2.36
		Medium	0.21-0.6
		Fine	0.075-0.21
Fine-grained soil	Silt		0.002-0.075
	Clay		<0.002

#### Soil Group Symbols

Major Divisions		Symbol	Description
Coarse-grained soils	Gravel	GW	Well-graded gravel and gravel-sand mixtures, little or no fines, no dry strength.
		GP	Poorly graded gravel and gravel-sand mixtures, little or no fines, no dry strength.
		GM	Silty gravel, gravel-sand-silt mixtures, zero to medium dry strength.
		GC	Clayey gravel, gravel-sand-clay mixtures, medium to high dry strength.
	Sand	SW	Well Graded Sand, gravelly Sand
		SP	Poorly graded sand and gravelly sand, little or no fines, no dry strength.
		SM	Silty sand, sand-silt mixtures, zero to medium dry strength.
Fine-grained soils	Liquid limit < 50%	SC	Clayey sand, sandy-clay mixtures, medium to high dry strength.
		ML	Inorganic silts of low plasticity, very fine sands, rock flour, silty or clayey fine sands, zero to medium dry strength.
		CL, CI	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, medium to high dry strength.
	Liquid limit > 50%	OL	Organic silts and organic silty clays of low plasticity, low to medium dry strength.
		MH	Inorganic silts of high plasticity, high to very high dry strength.
Highly organic soil		CH	Inorganic clays of high plasticity, high to very high dry strength.
		OH	Organic clays of medium to high plasticity, medium to high dry strength.
		PT	Peat muck and other highly organic soils.

**Plastic properties and moisture condition**

Plastic properties		Moisture condition	
 <p>Plasticity Chart                      *A* Line; PI = 0.73 (LL-20); LL <math>\geq</math> 25.5                      *U* Line; PI = 0.9 (LL-8); LL <math>\geq</math> 16                      CL = Low-plastic clay                      ML = Low-plastic silt                      OL = Low-plastic organic soil                      CL-ML = Dual classification                      CH = High-plastic clay                      MH = High-plastic silt                      OH = High-plastic organic soil                      LL and PL are expressed in %                      PI also is in %</p>	Term	Symbol	Description
	Dry	D	Dry, looks and feels dry.
	Moist	M	Soils feel cool, darkened in colour. There is a tendency for soil to stick together.
	Wet	W	Soils feel cool, darkened in colour. When handling cohesive soils, free water usually forms on hands; granular soils tend to cohere.
It is important to describe the moisture content of cohesive soils according to their liquid limit (LL) or plastic limit (PL) as follows: Moist, dry of plastic limit ( $w < PL$ ); Moist, near plastic limit ( $w \approx PL$ ); Moist, wet of plastic limit ( $w < PL$ ); Wet, near liquid limit ( $w \approx LL$ ); Wet, wet of liquid limit ( $w > LL$ ).			

**Descriptive terms for plasticity of cohesive soils**

Descriptive term	Liquid limit range for silt	Liquid limit range for clay
High plasticity	>50	>50
Medium plasticity	Not applicable	>35 & $\leq$ 50
Low plasticity	$\leq$ 50	$\leq$ 35
Non-Plastic	Not applicable	Not applicable

**Consistency of Cohesive Soils- in accordance with AS1726-2017 & Geotechnical Engineering Handbook, R.L**

Symbol	Term	Undrained Cohesion (kPa)	Unconfined Strength-Pocket Penetrometer Strength (kPa)	DCP (blows/100mm penetration)	SPT (Blows per 300mm) (N-corrected)	Field Assessment
VS	Very Soft	<12.5	25	0-1	<2	Exudes between fingers when squeezed.
S	Soft	12.5-25	25-50	0-1	2-4	Can be moulded by light finger pressure.
F	Firm	25-50	50-100	1-2	4-8	Can be moulded by strong finger pressure.
St	Stiff	50-100	100-200	2-5	8-15	Cannot be moulded by fingers. Can be indented by thumb pressure.
Vst	Very Stiff	100-200	200-400	6-9	15-30	Can be indented by thumbnail.
H	Hard	>200	>400	$\geq$ 10	>30	Difficult to be indented by thumbnail.

**The density of non-cohesive Soils- in accordance with AS1726-2017- Geotechnical Engineering Handbook, R.L**

Symbol	Term	Density Index (%)	DCP (blows/100mm penetration)	Corrected SPT (Blows per 300mm)	Field Assessment
VL	Very Loose	<15	0-1	<4	50 mm peg easily driven. Foot imprints easily.
L	Loose	15-35	1-3	4-10	12 mm reinforcing bar easily pushed by hand. Shovels easily.
MD	Medium Dense	35-65	3-8	10-30	12 mm bar needs hammer to drive >200 mm. Shovelling difficult.
D	Dense	65-85	8-15	30-50	50 mm peg hard to drive. 12 mm bar needs hammer to drive <200mm. Needs pick for excavation.
VD	Very Dense	>85	>15	>50	12 mm bar needs hammer to drive <60mm. Picking difficult.

## Materials Description-Rock

Identification of rock type, composition and texture based on visual features in accordance with AS 1726-2017.

### Description of Weathering

Term	Symbol	Weathering Definition
Residual Soil	Rs	Soil derived from the weathering of rock. The mass structure and substance fabric are no longer evident. There is a large change in volume, but the soil has not been significantly transported.
Extremely Weathered	EW	Rock substance affected by weathering to the extent that the rock exhibits soil properties - ie. it can be remoulded and can be classified according to the Unified Classification System, but the texture of the original rock is still evident.
Highly Weathered	HW	Rock substance affected by weathering to the extent that limonite staining or bleaching affects the whole of the rock substance and other signs of chemical or physical decomposition are evident. Porosity and strength may be increased, or decrease compared to the fresh rock usually because of iron leaching or deposition. The colour and strength of the original rock substance is no longer recognisable.
Moderately Weathered	MW	Rock substance affected by weathering to the extent that staining extends throughout the whole of the rock substance and the original colour of the fresh rock is no longer recognisable.
Slightly Weathered	SW	Rock substance affected by weathering to the extent that partial staining or discolouration of the rock substance usually by limonite has taken place. The colour and texture of the fresh rock is recognisable.
Fresh	Fr	Rock substance unaffected by weathering.

### Description of Rock Strength

Term	Symbol	Point Load Index (Is (50)) MPa	Weathering Definition
Extremely Low Strength	EL	<0.03	Easily remoulded by hand to a material with soil properties.
Very Low Strength	VL	0.03-0.1	Material crumbles under firm blows with sharp end of pick; can be peeled with knife; too hard to cut a triaxial sample by hand. Pieces up to 30mm can be broken by finger pressure.
Low Strength	L	0.1-0.3	Easily scored with a knife; indentations 1 mm to 3 mm show in the specimen with firm blows of pick point; has dull sound under hammer. A piece of core 150 mm long by 50 mm diameter may be broken by hand. Sharp edges of core may be friable and break during handling.
Medium Strength	M	0.3-1	Readily scored with a knife; a piece of core 150 mm long by 50 mm diameter can be broken by hand with difficulty.
High Strength	H	1-3	A piece of core 150 mm long by 50 mm diameter cannot be broken by hand but can be broken with pick with a single firm blow; rock rings under hammer.
Very High Strength	VH	3-10	Hand specimen breaks with pick after more than one blow; rock rings under hammer.
Extremely High Strength	EH	>10	Specimen requires many blows with geological pick to break through intact material; rock rings under hammer.

Note:  
Relationship between rock strength test result (Is (50)) and unconfined compressive strength (UCS) will vary with rock type and strength, and should be determined on a site-specific basis. UCS is typically 10 to 30 x Is (50), but can be as low as 5 MPa. KFM uses UCS=16 x Is (50).

### Rock Core Recovery

Core recovery parameter describe the quality of core recovered from a borehole.

$$\text{TCR (Total Core Recovery (\%))} = \frac{\text{Length of core recovered}}{\text{Length of core run}} \times 100$$


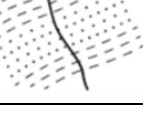
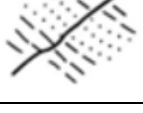


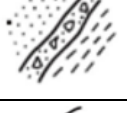
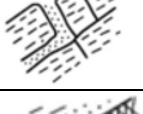

### Rock Quality Designation

The quality of the cored rock can be measured using the Rock Quality Designation (RQD) index, defined as:

$$\text{RQD (\%)} = \frac{\sum \text{Axial lengths of core} > 100 \text{ mm}}{\text{Length of core run}} \times 100$$

The RQD applies only to natural fractures. If the core is broken by drilling or handling (i.e. drilling breaks) then the broken pieces are fitted back together and are not included in the calculation of RQD.

**Rock Defect Types**

Type	Sub-type	Abbreviation	Definition	Diagram
Parting		PT	A surface or crack across which the rock has little or no tensile strength. Parallel or sub-parallel to layering (e.g. bedding) or a planar anisotropy in the rock material (e.g. cleavage). May be open or closed.	
Joint		JT	A surface or crack with no apparent shear displacement and across which the rock has little or no tensile strength, but which is not parallel or sub-parallel to layering or to planar anisotropy in the rock material. May be open or closed.	
Sheared Surface		SH	A near planar, curved or undulating surface which is usually smooth, polished or slickensided and which shows evidence of shear displacement.	
Sheared Zone		SZ	Zone of rock material with roughly parallel near planar, curved or undulating boundaries cut by closely spaced joints, sheared surfaces or other defects. Some of the defects are usually curved and intersect to divide the mass into lenticular or wedge-shaped blocks.	
Seams	Sheared Seam	SS	Seam of soil material with roughly parallel almost planar boundaries, composed of soil materials with roughly parallel near planar, curved or undulating boundaries cut by closely spaced joints, sheared surfaces or other defects. Some of the defects are usually curved and intersect to divide the mass into lenticular or wedge-shaped blocks.	
	Crushed Seam	CS	Seam of soil material with roughly parallel almost planar boundaries, composed of disoriented, usually angular fragments of the host rock material which may be more weathered than the host rock. The seam has soil properties.	
	Infield Seam	IS	Seam of soil material usually with distinct roughly parallel boundaries formed by the migration of soil into an open cavity or joint, infilled seams less than 1 mm thick may be described as a veneer or coating on a joint surface.	
	Extremely Weathered Seam	XWS	Seam of soil material, often with gradational boundaries. Formed by weathering of the rock material in place.	

**Details of rock defect spacing**

Defect Spacing		Stratification spacing	
Term	Description	Term	Spacing(mm)
Massive	No layering apparent	Thinly laminated	<6
		Laminated	6 to 20
Indistinct	Layering just visible; Properties are little affected	Very thinly bedded	20 to 60
		Thinly bedded	60 to 200
Distinct	Layering (bedding, foliation, cleavage) distinct; rock breaks more easily parallel to layering	Medium bedded	200 to 600
		Thickly bedded	600 to 2000
		Very thickly bedded	>2000

**Degree of fracturing**

Term	Description
Fragmented	Fragments of <20 mm
Highly Fractured	20-40 mm Core lengths with some fragments
Fractured	40-200 mm core lengths with short and long sections
Slightly Fractured	200-1000 mm core lengths with some shorter and longer sections
Unbroken	Core lengths mostly > 1000 mm





**Descriptions defect shape and roughness**

Shape	Abbreviation	Description	Roughness	Abbreviation	Description
Planar	PR	Consistent orientation	Polished	POL	Shiny smooth surface.
Curved	CU	Gradual change in orientation	Slickensided	SL	Grooved or striated surface, usually polished.
Undulating	UN	Wavy surface	Smooth	SM	Smooth to touch. Few or no surface irregularities.
Stepped	ST	One or more well defined steps	Rough	RO	Many small surface irregularities (amplitude generally <1mm). Feels like fine to coarse sandpaper.
Irregular	IR	Many sharp changes in orientation	Very Rough	VR	Many large surface irregularities, amplitude generally >1mm. Feels like very coarse sandpaper.

**Abbreviations & descriptions for coating or Infilling term**

Coating	Abbreviation	Description	Defect Aperture		
			Aperture	Abbreviation	Description
Clean	CN	No visible coating or infilling			
Stain	SN	No visible coating or infilling but surfaces are discoloured by staining	Closed	CL	Closed.
Veneer	VNR	A visible coating of soil or mineral substance but usually unable to be measured (<1mm); may be patchy	Open	OP	Without any infill material.
	-----		Infilled	inf	Soil or rock i.e. clay, silt, talc, pyrite, quartz, etc.

These notes summarise abbreviations commonly used on borehole logs and test pit reports.

Drilling/Excavation method							
C	Core drilling	R	Rotary drilling	SFA	Spiral flight augers	HA	Hand Auger
DT	Diatube Coring	NDD	Non-destructive digging	AD	Auger Drilling	ADH	Hollow Auger
EX	Tracked Hydraulic Excavator	HAND	Excavated by Hand Methods	RT	Rotary Tricone bit	RAB	Rotary Air Blast
RC	Reverse Circulation	PT	Push Tube	WB	Washbore	V	V-Bit
T	TC-Bit	NMLC	Diamond Core - 52 mm dia	NQ	Diamond core - 47 mm dia	HQ	Diamond core - 63 mm dia
PQ	Diamond core - 81 mm dia	HMLC	Diamond Core - 63 mm dia				
Water							
 Standing Water Level				 Partial water loss			
 Water Seepage				 Complete Water Loss			
<b>GWNO</b>	GROUNDWATER NOT OBSERVED – Because of drilling water, surface seepage or cave-in of the borehole/ test pit, observation of groundwater, whether present or not, was not possible.						
<b>GWNE</b>	GROUNDWATER NOT ENCOUNTERED – The borehole/ test pit was dry soon after excavation. In less permeable strata, however, groundwater may exist. It is possible that inflow could have been observed if the borehole/test pit had been left open longer.						

## SAMPLING & TESTING

Sampling	
A	Auger Sample
B	Bulk Sample
DS	Disturbed Sample
ES	Environmental Sample
WS	Water Sample
GS	Gas Sample
U50	Undisturbed Tube Sample (50mm)
Testing	
PP	Pocket penetrometer (kPa)
PID	Photo ionisation detector reading in ppm
PM	Pressuremeter test over section noted
PL	Point load strength $I_s$ (50) MPa
FP	Field Permeability test over section noted
FVS	Field Vane Shear test expressed as uncorrected shear strength (sv= peak value, sr= residual value)
WPT	Water Pressure tests
DCP	Dynamic Cone Penetrometer test
CPT	Static Cone Penetration test
CPT <sub>u</sub>	Static Cone Penetration test with pore pressure (u) measurement
SPT	Standard Penetration Test to AS1289.6.3.1-2004

## APPENDIX B

### Site Photographs



BH1



BH2



BH3



BH4



BH5



BH6

## APPENDIX C

### Laboratory Test Results

**KFM Geotech Pty Ltd**  
**21 Doreen Cr**  
**Baulkham Hills**  
**NSW 2153**



**NATA Accredited**  
**Accreditation Number 1261**  
**Site Number 18217**

Accredited for compliance with ISO/IEC 17025 – Testing  
 NATA is a signatory to the ILAC Mutual Recognition  
 Arrangement for the mutual recognition of the  
 equivalence of testing, medical testing, calibration,  
 inspection, proficiency testing scheme providers and  
 reference materials producers reports and certificates.

**Attention:** **Mohammad Bazyar**

**Report** **1274425-S**  
 Project name **25 Moss Vale Road Bomaderry NSW 2540**  
 Project ID **KFMGR-250583**  
 Received Date **Sep 30, 2025**

Client Sample ID			<b>BH1-0.7m</b>	<b>BH1-1.7m</b>	<b>BH2-0.7m</b>	<b>BH2-1.6m</b>
Sample Matrix			<b>Soil</b>	<b>Soil</b>	<b>Soil</b>	<b>Soil</b>
Eurofins Sample No.			<b>S25-Se0093168</b>	<b>S25-Se0093169</b>	<b>S25-Se0093170</b>	<b>S25-Se0093171</b>
Date Sampled			<b>Sep 30, 2025</b>	<b>Sep 30, 2025</b>	<b>Sep 30, 2025</b>	<b>Sep 30, 2025</b>
Test/Reference	LOR	Unit				
Chloride	10	mg/kg	< 10	-	28	-
Conductivity (1:5 aqueous extract at 25 °C as rec.)	10	uS/cm	27	27	37	37
pH (1:5 Aqueous extract at 25 °C as rec.)	0.1	pH Units	5.7	5.5	5.6	5.6
Resistivity*	0.5	ohm.m	370	-	270	-
Sulphate (as SO4)	10	mg/kg	36	45	30	33
<b>Sample Properties</b>						
% Moisture	1	%	15	34	17	18

Client Sample ID			<b>BH3-0.9m</b>	<b>BH3-1.1m</b>	<b>BH4-0.5m</b>	<b>BH4-1.6m</b>
Sample Matrix			<b>Soil</b>	<b>Soil</b>	<b>Soil</b>	<b>Soil</b>
Eurofins Sample No.			<b>S25-Se0093172</b>	<b>S25-Se0093173</b>	<b>S25-Se0093174</b>	<b>S25-Se0093175</b>
Date Sampled			<b>Sep 30, 2025</b>	<b>Sep 30, 2025</b>	<b>Sep 30, 2025</b>	<b>Sep 30, 2025</b>
Test/Reference	LOR	Unit				
Chloride	10	mg/kg	45	-	31	-
Conductivity (1:5 aqueous extract at 25 °C as rec.)	10	uS/cm	19	19	55	53
pH (1:5 Aqueous extract at 25 °C as rec.)	0.1	pH Units	6.6	5.9	5.7	5.6
Resistivity*	0.5	ohm.m	520	-	180	-
Sulphate (as SO4)	10	mg/kg	180	18	51	45
<b>Sample Properties</b>						
% Moisture	1	%	18	14	17	14

Client Sample ID			BH5-0.8m	BH5-1.3m	BH6-0.6m	BH6-0.8m
Sample Matrix			Soil	Soil	Soil	Soil
Eurofins Sample No.			S25-Se0093176	S25-Se0093177	S25-Se0093178	S25-Se0093179
Date Sampled			Sep 30, 2025	Sep 30, 2025	Sep 30, 2025	Sep 30, 2025
Test/Reference	LOR	Unit				
Chloride	10	mg/kg	< 10	-	67	-
Conductivity (1:5 aqueous extract at 25 °C as rec.)	10	uS/cm	38	29	16	20
pH (1:5 Aqueous extract at 25 °C as rec.)	0.1	pH Units	6.1	5.9	6.5	6.2
Resistivity*	0.5	ohm.m	260	-	640	-
Sulphate (as SO4)	10	mg/kg	46	43	220	28
<b>Sample Properties</b>						
% Moisture	1	%	13	16	21	21

**Sample History**

Where samples are submitted/analysed over several days, the last date of extraction is reported.

If the date and time of sampling are not provided, the Laboratory will not be responsible for compromised results should testing be performed outside the recommended holding time.

Description	Testing Site	Extracted	Holding Time
Chloride - Method: LTM-INO-4270 Anions by Ion Chromatography	Sydney	Oct 01, 2025	28 Days
Conductivity (1:5 aqueous extract at 25 °C as rec.) - Method: LTM-INO-4030 Conductivity	Sydney	Oct 01, 2025	7 Days
pH (1:5 Aqueous extract at 25 °C as rec.) - Method: LTM-GEN-7090 pH by ISE	Sydney	Oct 01, 2025	7 Days
Sulphate (as SO <sub>4</sub> ) - Method: In-house method LTM-INO-4270 Sulphate by Ion Chromatograph	Sydney	Oct 01, 2025	28 Days
% Moisture - Method: LTM-GEN-7080 Moisture	Sydney	Sep 30, 2025	14 Days

**Melbourne**  
 6 Monterey Road  
 Dandenong South  
 VIC 3175  
 +61 3 8564 5000  
 NATA# 1261  
 Site# 1254

**Geelong**  
 19/8 Lewalan Street  
 Grovedale  
 VIC 3216  
 +61 3 8564 5000  
 NATA# 1261  
 Site# 25403

**Sydney**  
 179 Magowar Road  
 Girraween  
 NSW 2145  
 +61 2 9900 8400  
 NATA# 1261  
 Site# 18217

**Canberra**  
 Unit 1,2 Dacre Street  
 Mitchell  
 ACT 2911  
 +61 2 6113 8091  
 NATA# 1261  
 Site# 25466

**Brisbane**  
 1/21 Smallwood Place  
 Murarrie  
 QLD 4172  
 +61 7 3902 4600  
 NATA# 1261  
 Site# 20794 & 2780

**Newcastle**  
 1/2 Frost Drive  
 Mayfield West  
 NSW 2304  
 +61 2 4968 8448  
 NATA# 1261  
 Site# 25079

**Perth**  
 46-48 Banksia Road  
 Welshpool  
 WA 6106  
 +61 8 6253 4444  
 NATA# 2377  
 Site# 2370 & 2554

**Company Name:** KFM Geotech Pty Ltd  
**Address:** 21 Doreen Cr  
 Baulkham Hills  
 NSW 2153

**Project Name:** 25 Moss Vale Road Bomaderry NSW 2540  
**Project ID:** KFMGR-250583

**Order No.:**  
**Report #:** 1274425  
**Phone:** (02) 9139 8951  
**Fax:**
**Received:** Sep 30, 2025 3:40 PM  
**Due:** Oct 8, 2025  
**Priority:** 5 Day  
**Contact Name:** Mohammad Bazyar

**Eurofins Analytical Services Manager : Asim Khan**

Sample Detail						Conductivity (1:5 aqueous extract at 25 °C as rec.)	pH (1:5 Aqueous extract at 25 °C as rec.)	Sulphate (as SO4)	Aggressivity Soil Set	Moisture Set
<b>Sydney Laboratory - NATA # 1261 Site # 18217</b>						X	X	X	X	X
<b>External Laboratory</b>										
No	Sample ID	Sample Date	Sampling Time	Matrix	LAB ID					
1	BH1-0.7m	Sep 30, 2025		Soil	S25-Se0093168				X	X
2	BH1-1.7m	Sep 30, 2025		Soil	S25-Se0093169	X	X	X		X
3	BH2-0.7m	Sep 30, 2025		Soil	S25-Se0093170				X	X
4	BH2-1.6m	Sep 30, 2025		Soil	S25-Se0093171	X	X	X		X
5	BH3-0.9m	Sep 30, 2025		Soil	S25-Se0093172				X	X
6	BH3-1.1m	Sep 30, 2025		Soil	S25-Se0093173	X	X	X		X
7	BH4-0.5m	Sep 30, 2025		Soil	S25-Se0093174				X	X
8	BH4-1.6m	Sep 30, 2025		Soil	S25-Se0093175	X	X	X		X
9	BH5-0.8m	Sep 30, 2025		Soil	S25-Se0093176				X	X
10	BH5-1.3m	Sep 30, 2025		Soil	S25-Se0093177	X	X	X		X
11	BH6-0.6m	Sep 30, 2025		Soil	S25-Se0093178				X	X
12	BH6-0.8m	Sep 30, 2025		Soil	S25-Se0093179	X	X	X		X
<b>Test Counts</b>						6	6	6	6	12

**Internal Quality Control Review and Glossary**
**General**

- Laboratory QC results for Method Blanks, Duplicates, Matrix Spikes, and Laboratory Control Samples follow guidelines delineated in the National Environment Protection (Assessment of Site Contamination) Measure 1999, as amended May 2013. They are included in this QC report where applicable. Additional QC data may be available on request.
- Unless otherwise stated, all soil/sediment/solid results are reported on a dry weight basis.
- Unless otherwise stated, all biota/food results are reported on a wet weight basis on the edible portion.
- For CEC results where the sample's origin is unknown or environmentally contaminated, the results should be used advisedly.
- Actual LORs are matrix dependent. Quoted LORs may be raised where sample extracts are diluted due to interferences.
- Results are uncorrected for matrix spikes or surrogate recoveries except for PFAS compounds where annotated.
- SVOC analysis on waters is performed on homogenised, unfiltered samples unless noted otherwise.
- Samples were analysed on an 'as received' basis.
- Information identified in this report with **blue** colour indicates data provided by customers that may have an impact on the results.
- This report replaces any interim results previously issued.

**Holding Times**

Please refer to the 'Sample Preservation and Container Guide' for holding times (QS3001).

For samples received on the last day of holding time, notification of testing requirements should have been received at least 6 hours before sample receipt deadlines as stated on the SRA.

If the Laboratory did not receive the information in the required timeframe, and despite any other integrity issues, suitably qualified results may still be reported.

Holding times apply from the sampling date; therefore, compliance with these may be outside the laboratory's control.

For VOCs containing vinyl chloride, styrene and 2-chloroethyl vinyl ether, the holding time is seven days; however, for all other VOCs, such as BTEX or C6-10 TRH, the holding time is 14 days.

**Units**

<b>mg/kg:</b> milligrams per kilogram	<b>mg/L:</b> milligrams per litre	<b>ppm:</b> parts per million
<b>µg/L:</b> micrograms per litre	<b>ppb:</b> parts per billion	<b>%:</b> Percentage
<b>org/100 mL:</b> Organisms per 100 millilitres	<b>NTU:</b> Nephelometric Turbidity Units	<b>MPN/100 mL:</b> Most Probable Number of organisms per 100 millilitres
<b>CFU:</b> Colony Forming Unit	<b>Colour:</b> Pt-Co Units (CU)	

**Terms**

<b>APHA</b>	American Public Health Association
<b>CEC</b>	Cation Exchange Capacity
<b>COC</b>	Chain of Custody
<b>CP</b>	Client Parent - QC was performed on samples pertaining to this report
<b>CRM</b>	Certified Reference Material (ISO17034) - reported as percent recovery.
<b>Dry</b>	Where moisture has been determined on a solid sample, the result is expressed on a dry weight basis.
<b>Duplicate</b>	A second piece of analysis from the same sample and reported in the same units as the result to show comparison.
<b>LOR</b>	Limit of Reporting.
<b>LCS</b>	Laboratory Control Sample - reported as percent recovery.
<b>Method Blank</b>	In the case of solid samples, these are performed on laboratory-certified clean sands and in the case of water samples, these are performed on de-ionised water.
<b>NCP</b>	Non-Client Parent - QC performed on samples not pertaining to this report, QC represents the sequence or batch that client samples were analysed within.
<b>RPD</b>	Relative Percent Difference between two Duplicate pieces of analysis.
<b>SPIKE</b>	Addition of the analyte to the sample and reported as percentage recovery.
<b>SRA</b>	Sample Receipt Advice
<b>Surr - Surrogate</b>	The addition of a similar compound to the analyte target is reported as percentage recovery. See below for acceptance criteria.
<b>TBTO</b>	Tributyltin oxide ( <i>bis</i> -tributyltin oxide) - individual tributyltin compounds cannot be identified separately in the environment; however, free tributyltin was measured, and its values were converted stoichiometrically into tributyltin oxide for comparison with regulatory limits.
<b>TCLP</b>	Toxicity Characteristic Leaching Procedure
<b>TEQ</b>	Toxic Equivalency Quotient or Total Equivalence
<b>QSM</b>	US Department of Defense Quality Systems Manual Version 6.0
<b>US EPA</b>	United States Environmental Protection Agency
<b>WA DWER</b>	Sum of PFBA, PFPeA, PFHxA, PFHpA, PFOA, PFBS, PFHxS, PFOS, 6:2 FTSA, 8:2 FTSA

**QC - Acceptance Criteria**

The acceptance criteria should only be used as a guide and may be different when site-specific Sampling Analysis and Quality Plan (SAQP) have been implemented.

RPD Duplicates: Global RPD Duplicates Acceptance Criteria is ≤30%; however, the following acceptance guidelines are equally applicable:

Results <10 times the LOR:	No Limit
Results between 10-20 times the LOR:	RPD must lie between 0-50%
Results >20 times the LOR:	RPD must lie between 0-30%

NOTE: pH duplicates are reported as a range, not as RPD

Surrogate Recoveries: Recoveries must lie between 20-130% for Speciated Phenols & 50-150% for PFAS. SVOCs recoveries 20 – 150%, VOC recoveries 50 – 150%

PFAS field samples containing surrogate recoveries above the QC limit designated in QSM 6.0, where no positive PFAS results have been reported or reviewed, and no data was affected.

**QC Data General Comments**

- Where a result is reported as less than (<), higher than the nominated LOR, this is due to either matrix interference, extract dilution required due to interferences or contaminant levels within the sample, high moisture content or insufficient sample provided.
- Duplicate data shown within this report that states the word "BATCH" is a Batch Duplicate from outside of your sample batch but within the laboratory sample batch at a 1:10 ratio. The Parent and Duplicate data shown are not data from your samples.
- pH and Free Chlorine analysed in the laboratory - Analysis on this test must begin within 30 minutes of sampling. Therefore, laboratory analysis is unlikely to be completed within holding time. Analysis will begin as soon as possible after sample receipt.
- Recovery Data (Spikes & Surrogates) - where chromatographic interference does not allow the determination of recovery, the term "INT" appears against that analyte.
- For Matrix Spikes and LCS results, a dash "-" in the report means that the specific analyte was not added to the QC sample.
- Duplicate RPDs are calculated from raw analytical data; thus, it is possible to have two sets of data.

**Quality Control Results**

Test				Units	Result 1		Acceptance Limits	Pass Limits	Qualifying Code			
<b>Method Blank</b>												
Chloride				mg/kg	< 10		10	Pass				
Conductivity (1:5 aqueous extract at 25 °C as rec.)				uS/cm	< 10		10	Pass				
Sulphate (as SO4)				mg/kg	< 10		10	Pass				
<b>LCS - % Recovery</b>												
Conductivity (1:5 aqueous extract at 25 °C as rec.)				%	99		70-130	Pass				
<b>LCS - % Recovery</b>												
Chloride				%	105		70-130	Pass				
Sulphate (as SO4)				%	108		70-130	Pass				
Test	Lab Sample ID	QA Source	Units	Result 1			Acceptance Limits	Pass Limits	Qualifying Code			
<b>Spike - % Recovery</b>												
					Result 1							
Chloride				S25-Se0093169	CP	%	113	70-130	Pass			
Sulphate (as SO4)				S25-Se0093169	CP	%	112	70-130	Pass			
Test	Lab Sample ID	QA Source	Units	Result 1			Acceptance Limits	Pass Limits	Qualifying Code			
<b>Duplicate</b>												
					Result 1	Result 2	RPD					
Chloride				S25-Se0093168	CP	mg/kg	< 10	< 10	<1	30%	Pass	
Conductivity (1:5 aqueous extract at 25 °C as rec.)				S25-Se0092402	NCP	uS/cm	660	540	20	30%	Pass	
pH (1:5 Aqueous extract at 25 °C as rec.)				S25-Se0092402	NCP	pH Units	6.1	5.8	Fail	30%	Pass	
Resistivity*				S25-Se0092402	NCP	ohm.m	15	19	20	30%	Pass	
Sulphate (as SO4)				S25-Se0093168	CP	mg/kg	36	34	5.0	30%	Pass	
<b>Duplicate</b>												
					Result 1	Result 2	RPD					
Chloride				S25-Se0093174	CP	mg/kg	31	30	5.0	30%	Pass	
Sulphate (as SO4)				S25-Se0093174	CP	mg/kg	51	48	7.0	30%	Pass	
<b>Duplicate</b>												
					Result 1	Result 2	RPD					
Conductivity (1:5 aqueous extract at 25 °C as rec.)				S25-Se0092853	NCP	uS/cm	85	86	1.0	30%	Pass	
pH (1:5 Aqueous extract at 25 °C as rec.)				S25-Se0092853	NCP	pH Units	4.9	4.9	Pass	30%	Pass	
<b>Duplicate</b>												
					Result 1	Result 2	RPD					
Sample Properties												
% Moisture				S25-Se0093178	CP	%	21	15	31	30%	Fail	Q02
<b>Duplicate</b>												
					Result 1	Result 2	RPD					
Chloride				S25-Se0093179	CP	mg/kg	< 10	< 10	<1	30%	Pass	
Sulphate (as SO4)				S25-Se0093179	CP	mg/kg	28	27	1.0	30%	Pass	

**Comments**
**Sample Integrity**

Custody Seals Intact (if used)	N/A
Attempt to Chill was evident	Yes
Sample correctly preserved	Yes
Appropriate sample containers have been used	No
Sample containers for volatile analysis received with minimal headspace	Yes
Samples received within HoldingTime	Yes
Some samples have been subcontracted	No

**Qualifier Codes/Comments**

Code	Description
Q02	The duplicate %RPD is outside the recommended acceptance criteria. Further analysis indicates sample heterogeneity as the cause

**Authorised by:**

Andrew Black	Analytical Services Manager
Dilani Samarakoon	Senior Analyst-Inorganic
Ryan Phillips	Senior Analyst-Inorganic
Ryan Phillips	Senior Analyst-Sample Properties



**Glenn Jackson**  
**Managing Director**

Final Report – this report replaces any previously issued Report

- Indicates Not Requested

\* Indicates NATA accreditation does not cover the performance of this service

Measurement uncertainty of test data is available on request or please [click here](#).

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# Material Test Report



Report Number: A201024.0567.00-36  
 Issue Number: 1  
 Date Issued: 08/10/2025  
 Client: KFM Geotech

ADE Consulting Group Pty Ltd  
 Construction and Material Testing Laboratory  
 Unit 1, 68-72 Asquith Street Silverwater NSW 2128  
 Phone: (02) 9648 6669  
 Email: Songwei.che@ade.group

Project Number: A201024.0567.00  
 Project Name: Laboratory Testing -KFMGR 250583  
 Project Location: 25 Moss Vale Rd, Bomaderry NSW 2540  
 Work Request: 11053  
 Sample Number: 25-11053A  
 Client Sample #: BH2-0.9m  
 Date Sampled: 30/09/2025  
 Dates Tested: 03/10/2025 - 03/10/2025  
 Sampling Method: Sampled by Client

Accredited for compliance with ISO/IEC 17025 - Testing



*Songwei CHE*

Approved Signatory: songwei che  
 Geotechnical engineer  
 NATA Accredited Laboratory Number: 21005

*The results apply to the sample as received*  
 Preparation Method: AS 1289.1.1 - Sampling and Preparation of Soils  
 Remarks: Reference: 4\* Atterberg + LS  
 KFMGR-250583  
 Sample Location: 25 Moss Vale Rd, Bomaderry NSW 2540, Depth: 0.9m  
 Material: Silty CLAY, brown

Atterberg Limit (AS1289 3.1.2 & 3.2.1 & 3.3.1)		Min	Max
Sample History	Oven Dried		
Preparation Method	Dry Sieve		
Liquid Limit (%)	34		
Plastic Limit (%)	19		
<b>Plasticity Index (%)</b>	<b>15</b>		

Linear Shrinkage (AS1289 3.4.1)		Min	Max
Moisture Condition Determined By	AS 1289.3.1.2		
<b>Linear Shrinkage (%)</b>	<b>8.0</b>		
Cracking Crumbling Curling	Cracking		

# Material Test Report



Report Number: A201024.0567.00-36  
 Issue Number: 1  
 Date Issued: 08/10/2025  
 Client: KFM Geotech

ADE Consulting Group Pty Ltd  
 Construction and Material Testing Laboratory  
 Unit 1, 68-72 Asquith Street Silverwater NSW 2128  
 Phone: (02) 9648 6669  
 Email: Songwei.che@ade.group

Project Number: A201024.0567.00  
 Project Name: Laboratory Testing -KFMGR 250583  
 Project Location: 25 Moss Vale Rd, Bomaderry NSW 2540  
 Work Request: 11053  
 Sample Number: 25-11053B  
 Client Sample #: BH4-1.2m  
 Date Sampled: 30/09/2025  
 Dates Tested: 03/10/2025 - 03/10/2025  
 Sampling Method: Sampled by Client



Accredited for compliance with ISO/IEC 17025 - Testing

*Songwei CHE*

Approved Signatory: songwei che  
 Geotechnical engineer  
 NATA Accredited Laboratory Number: 21005

*The results apply to the sample as received*  
 Preparation Method: AS 1289.1.1 - Sampling and Preparation of Soils  
 Remarks: Reference: 4\* Atterberg + LS  
 KFMGR-250583  
 Sample Location: 25 Moss Vale Rd, Bomaderry NSW 2540, Depth: 1.2m  
 Material: Silty CLAY, brown

Atterberg Limit (AS1289 3.1.2 & 3.2.1 & 3.3.1)		Min	Max
Sample History	Oven Dried		
Preparation Method	Dry Sieve		
Liquid Limit (%)	48		
Plastic Limit (%)	24		
<b>Plasticity Index (%)</b>	<b>24</b>		

Linear Shrinkage (AS1289 3.4.1)		Min	Max
Moisture Condition Determined By	AS 1289.3.1.2		
<b>Linear Shrinkage (%)</b>	<b>14.0</b>		
Cracking Crumbling Curling	Cracking		

# Material Test Report



Report Number: A201024.0567.00-36  
 Issue Number: 1  
 Date Issued: 08/10/2025  
 Client: KFM Geotech

ADE Consulting Group Pty Ltd  
 Construction and Material Testing Laboratory  
 Unit 1, 68-72 Asquith Street Silverwater NSW 2128  
 Phone: (02) 9648 6669  
 Email: Songwei.che@ade.group

Project Number: A201024.0567.00  
 Project Name: Laboratory Testing -KFMGR 250583  
 Project Location: 25 Moss Vale Rd, Bomaderry NSW 2540  
 Work Request: 11053  
 Sample Number: 25-11053C  
 Client Sample #: BH5-1.2m  
 Date Sampled: 30/09/2025  
 Dates Tested: 03/10/2025 - 03/10/2025  
 Sampling Method: Sampled by Client

Accredited for compliance with ISO/IEC 17025 - Testing



*Songwei CHE*

Approved Signatory: songwei che  
 Geotechnical engineer  
 NATA Accredited Laboratory Number: 21005

Preparation Method: AS 1289.1.1 - Sampling and Preparation of Soils  
 Remarks: Reference: 4\* Atterberg + LS  
 KFMGR-250583  
 Sample Location: 25 Moss Vale Rd, Bomaderry NSW 2540, Depth: 1.2m  
 Material: Silty CLAY, brown

Atterberg Limit (AS1289 3.1.2 & 3.2.1 & 3.3.1)		Min	Max
Sample History	Oven Dried		
Preparation Method	Dry Sieve		
Liquid Limit (%)	33		
Plastic Limit (%)	21		
<b>Plasticity Index (%)</b>	<b>12</b>		

Linear Shrinkage (AS1289 3.4.1)		Min	Max
Moisture Condition Determined By	AS 1289.3.1.2		
<b>Linear Shrinkage (%)</b>	<b>8.5</b>		
Cracking Crumbling Curling	Cracking		

# Material Test Report



Report Number: A201024.0567.00-36  
 Issue Number: 1  
 Date Issued: 08/10/2025  
 Client: KFM Geotech

ADE Consulting Group Pty Ltd  
 Construction and Material Testing Laboratory  
 Unit 1, 68-72 Asquith Street Silverwater NSW 2128  
 Phone: (02) 9648 6669  
 Email: Songwei.che@ade.group

Project Number: A201024.0567.00  
 Project Name: Laboratory Testing -KFMGR 250583  
 Project Location: 25 Moss Vale Rd, Bomaderry NSW 2540  
 Work Request: 11053  
 Sample Number: 25-11053D  
 Client Sample #: BH6-1.4m  
 Date Sampled: 30/09/2025  
 Dates Tested: 03/10/2025 - 03/10/2025  
 Sampling Method: Sampled by Client

Accredited for compliance with ISO/IEC 17025 - Testing



*Songwei CHE*

Approved Signatory: songwei che  
 Geotechnical engineer  
 NATA Accredited Laboratory Number: 21005

Preparation Method: AS 1289.1.1 - Sampling and Preparation of Soils  
 Remarks: Reference: 4\* Atterberg + LS  
 KFMGR-250583  
 Sample Location: 25 Moss Vale Rd, Bomaderry NSW 2540, Depth: 1.4m  
 Material: Silty CLAY, yellowish brown

Atterberg Limit (AS1289 3.1.2 & 3.2.1 & 3.3.1)		Min	Max
Sample History	Oven Dried		
Preparation Method	Dry Sieve		
Liquid Limit (%)	43		
Plastic Limit (%)	27		
<b>Plasticity Index (%)</b>	<b>16</b>		

Linear Shrinkage (AS1289 3.4.1)		Min	Max
Moisture Condition Determined By	AS 1289.3.1.2		
<b>Linear Shrinkage (%)</b>	<b>11.5</b>		
Cracking Crumbling Curling	Cracking		

# Material Test Report



**Report Number:** A201024.0567.00-36  
**Issue Number:** 1  
**Date Issued:** 08/10/2025  
**Client:** KFM Geotech

ADE Consulting Group Pty Ltd  
Construction and Material Testing Laboratory  
Unit 1, 68-72 Asquith Street Silverwater NSW 2128  
Phone: (02) 9648 6669  
Email: Songwei.che@ade.group

**Project Number:** A201024.0567.00  
**Project Name:** Laboratory Testing -KFMGR 250583  
**Project Location:** 25 Moss Vale Rd, Bomaderry NSW 2540  
**Work Request:** 11053  
**Date Sampled:** 30/09/2025  
**Dates Tested:** 03/10/2025 - 03/10/2025  
**Sampling Method:** Sampled by Client  
*The results apply to the sample as received*  
**Preparation Method:** AS 1289.1.1 - Sampling and Preparation of Soils  
**Remarks:** Reference: 4\* Atterberg + LS  
KFMGR-250583  
**Location:** 25 Moss Vale Rd, Bomaderry NSW 2540



Accredited for compliance with ISO/IEC 17025 - Testing

*Songwei CHE*

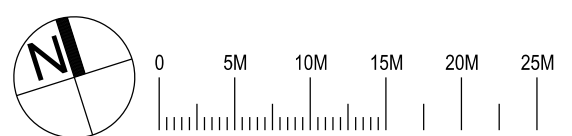
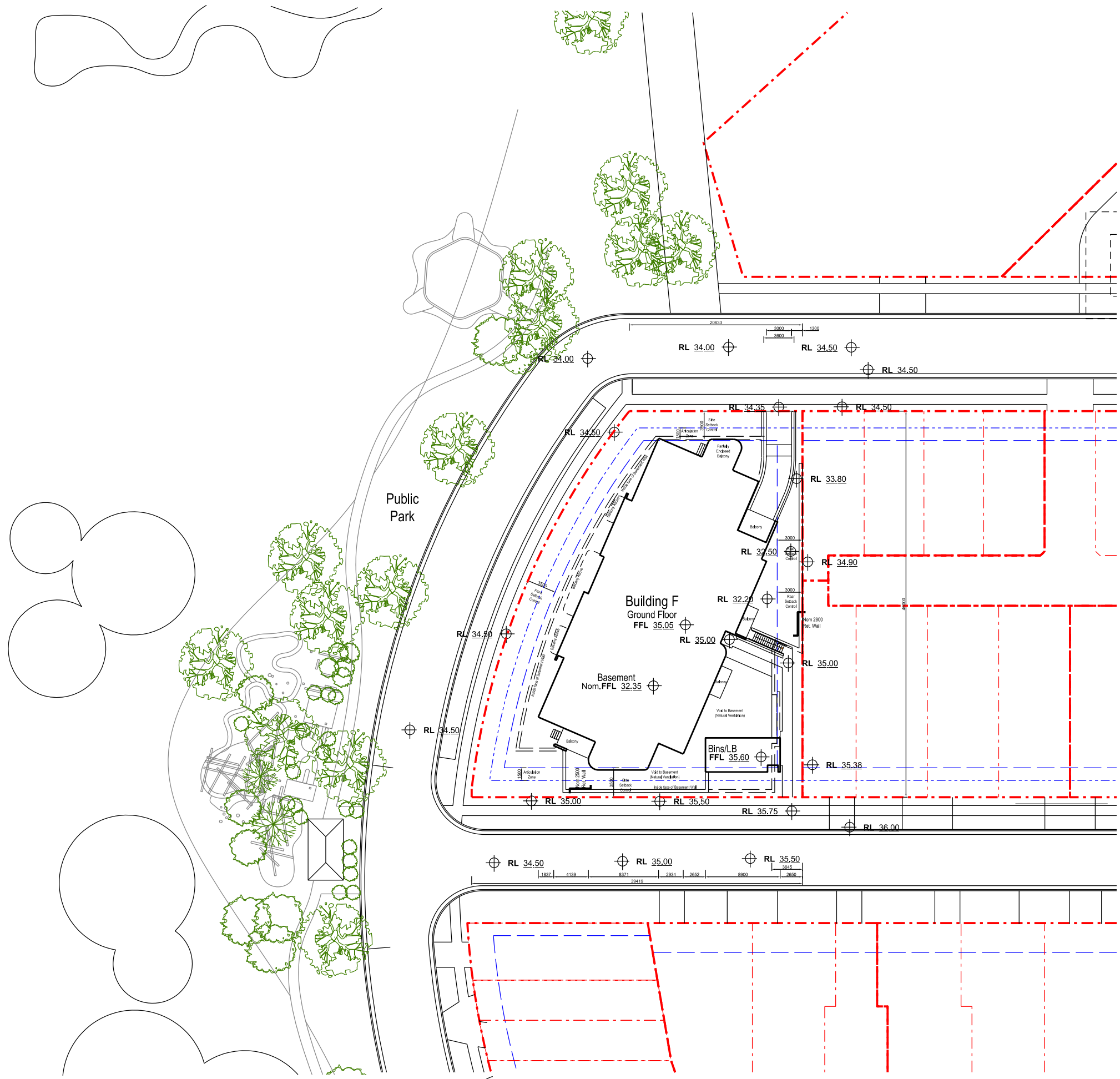
Approved Signatory: songwei che  
Geotechnical engineer  
NATA Accredited Laboratory Number: 21005

## Moisture Content AS 1289 2.1.1

Sample Number	Client Sample Number	Sample Location	Moisture Content (%)	Min	Max	Material
25-11053A	BH2-0.9m	25 Moss Vale Rd, Bomaderry NSW 2540, Depth: 0.9m	19.9 %	**	**	Silty CLAY, brown
25-11053B	BH4-1.2m	25 Moss Vale Rd, Bomaderry NSW 2540, Depth: 1.2m	25.0 %	**	**	Silty CLAY, brown
25-11053C	BH5-1.2m	25 Moss Vale Rd, Bomaderry NSW 2540, Depth: 1.2m	20.8 %	**	**	Silty CLAY, brown
25-11053D	BH6-1.4m	25 Moss Vale Rd, Bomaderry NSW 2540, Depth: 1.4m	27.2 %	**	**	Silty CLAY, yellowish brown

## APPENDIX D

### Drawings



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10113  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au

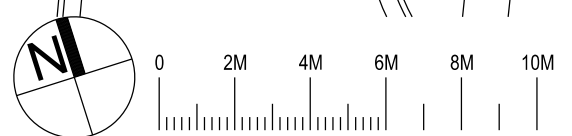
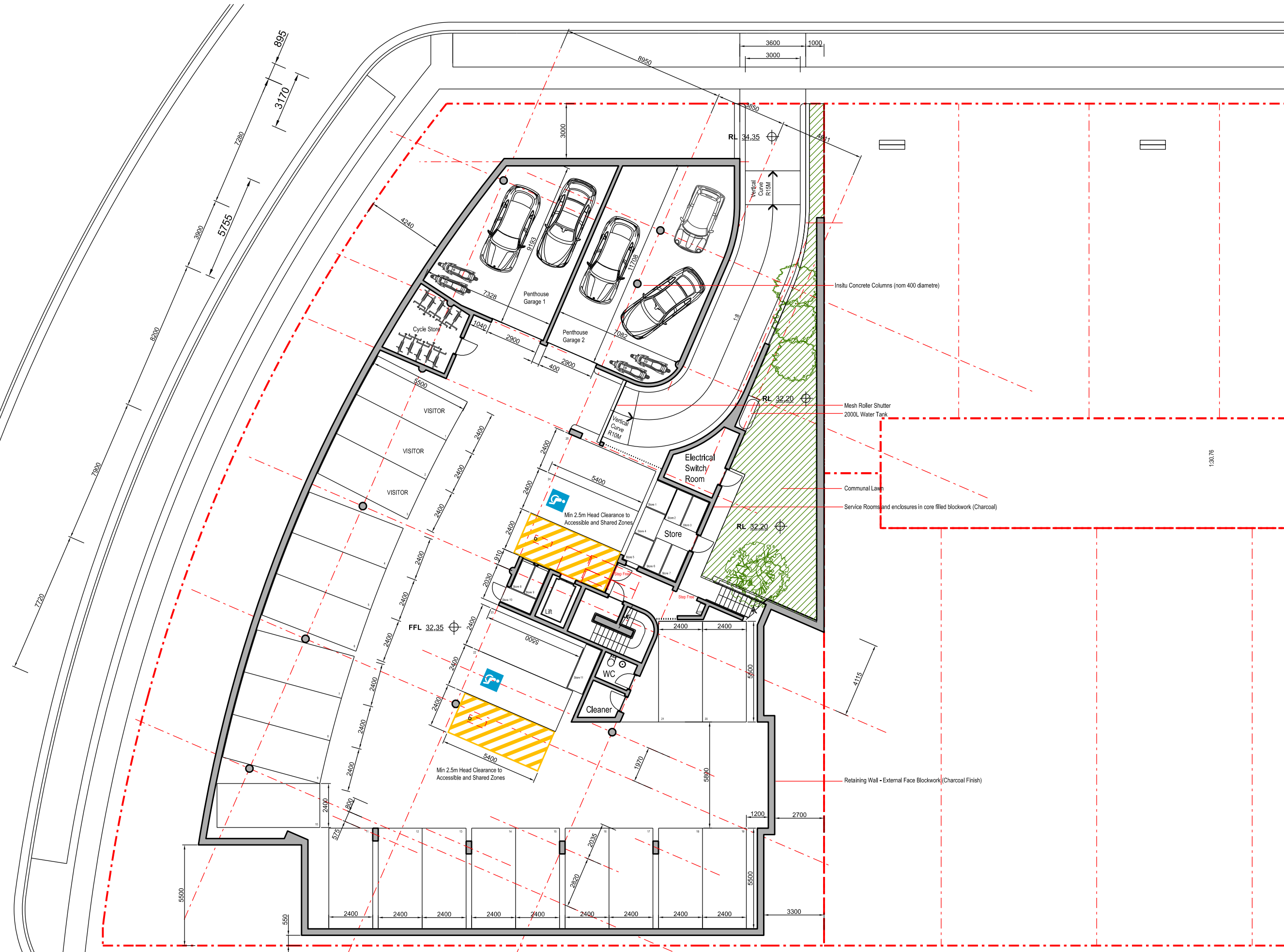


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SDA  
 Site Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:500 @ A3
Dwg No.	FA090	Rev.	A

- Legend**
- Site Boundary
  - Strata Subdivision Boundary
  - Setback Control
  - Setback Articulation Zone



Nominated Architect: David Dove  
 SAArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 18113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au

**EG**

**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SDA  
 Undercroft (Level 0) Floor Plan

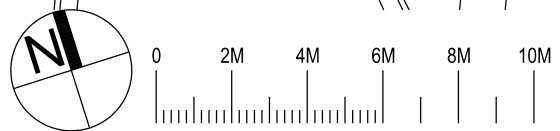
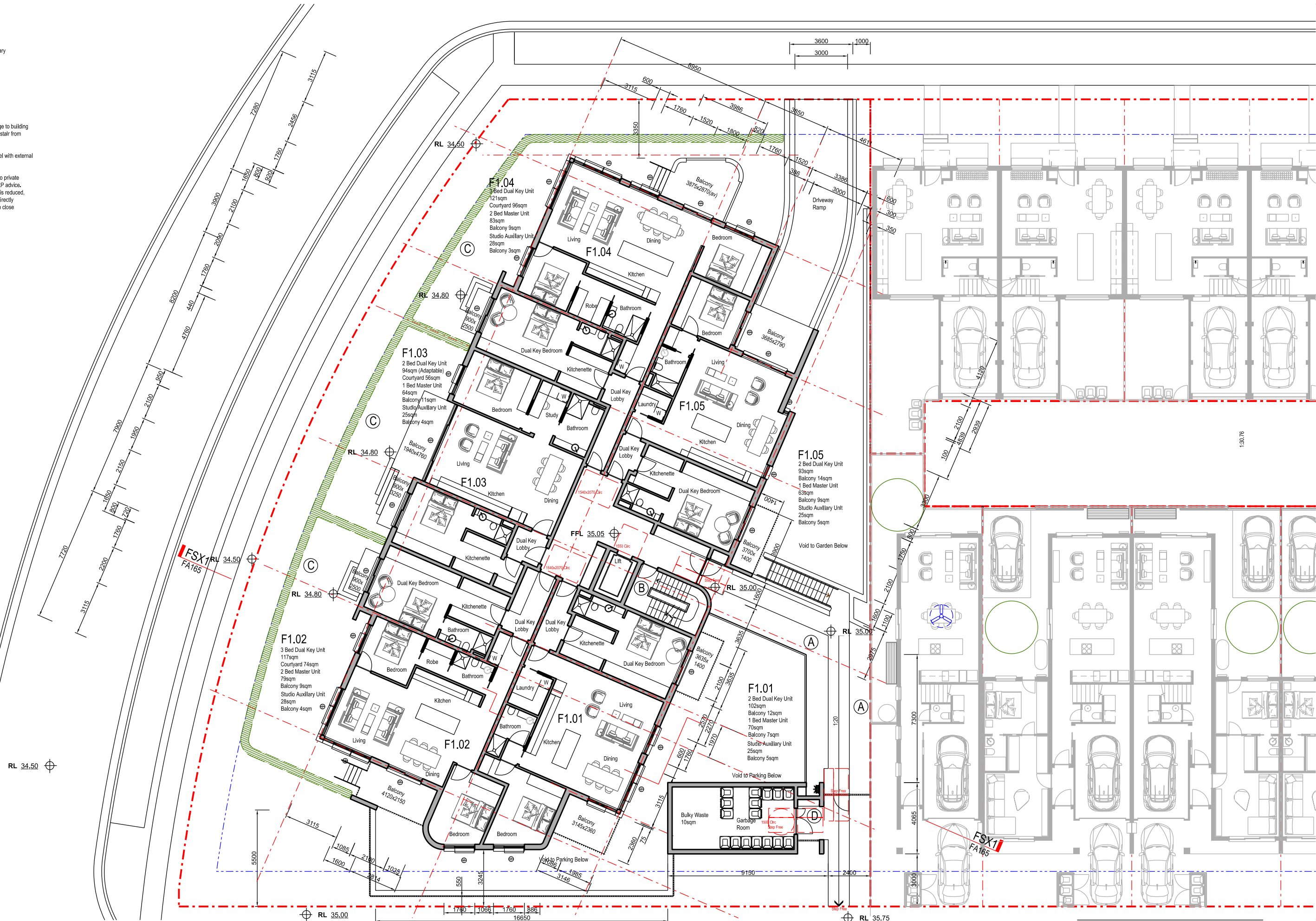
Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	FA100 Rev. F

**Legend**

- Site Boundary
- - - Strata Subdivision Boundary
- Setback Control
- - - Setback Articulation Zone

**Notes:**

- (A)** Landscaped garden and bridge to building entry. Stair to basement / egress stair from basement.
- (B)** Fire egress stair exits at lower level with external route to street.
- (C)** Site block open space dedicated to private courtyard in accordance with SDRP advice. Note - the communal open space is reduced, offset by park area (Village Park) directly adjacent and the creek park within close proximity.
- (D)** Mail Boxes



Nominated Architect: David Dove  
 Blarich (Hons), AssocApSoc (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 18118  
 Licensed Building Contractor (NSW) 2537800  
 29/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
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EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. (02) 9233 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SSSA  
 Ground (Level 1) Floor Plan

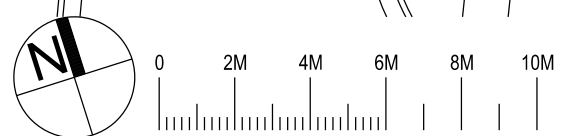
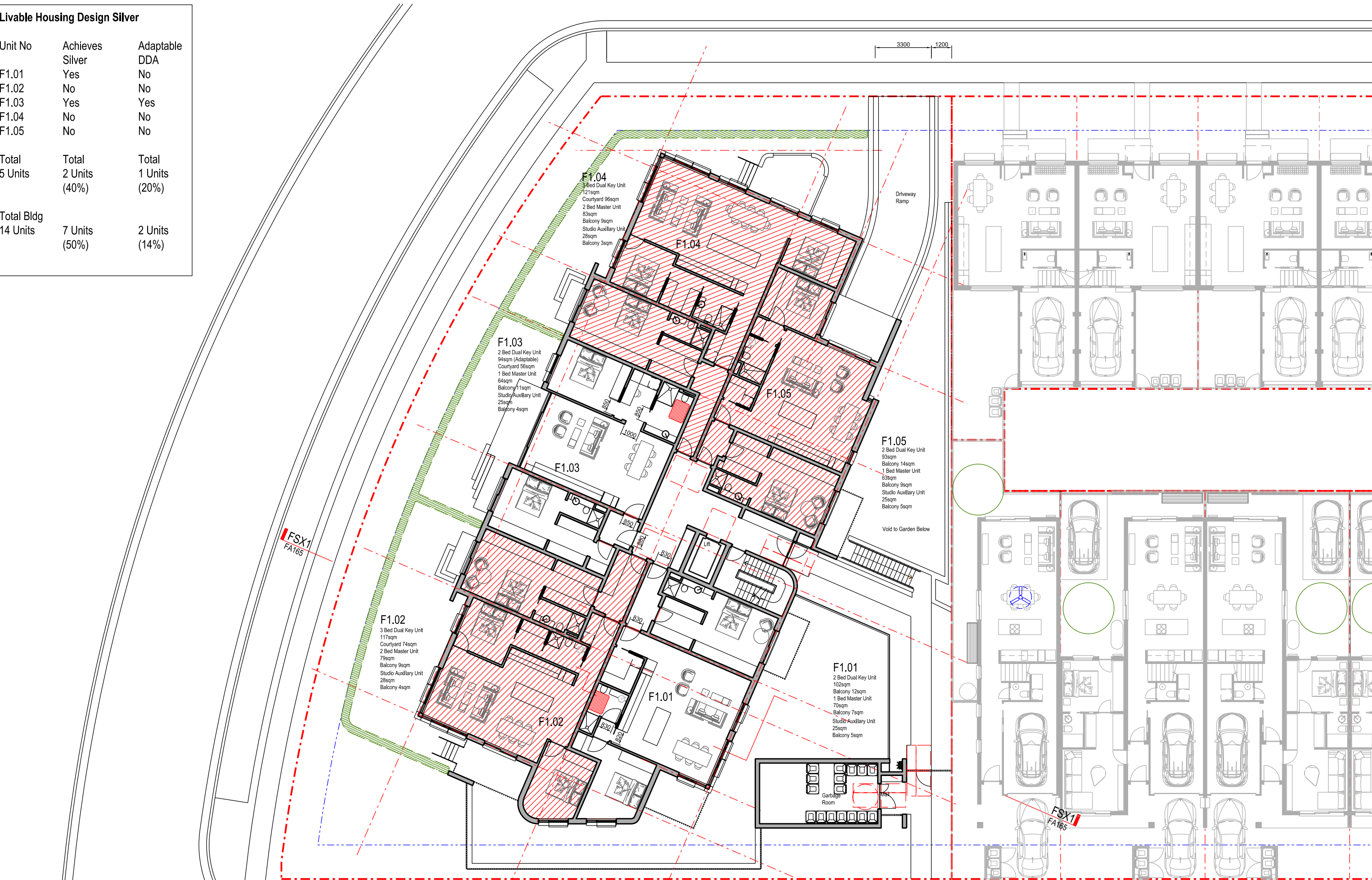
Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	FA110 Rev. J

**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
F1.01	Yes	No
F1.02	No	No
F1.03	Yes	Yes
F1.04	No	No
F1.05	No	No

Total 5 Units	Total 2 Units (40%)	Total 1 Units (20%)

Total Bldg 14 Units	7 Units (50%)	2 Units (14%)



Nominated Architect: David Dove  
 Branch (Home), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19103  
 Licensed Building Contractor (NSW) 2537800  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 F. (02) 9230 7100  
 W. www.eg.com.au

**EG**



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SSSA  
 Ground (Level 1) LHA Compliance Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	FA111 Rev. E

**Legend**

- - - Site Boundary
- - - Strata Subdivision Boundary
- - - Setback Control
- - - Setback Articulation Zone

Note:  
Dimensions to match Level One (FA110)



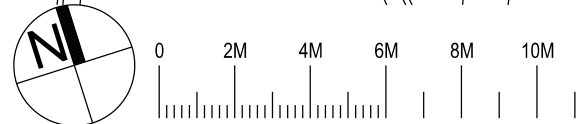
**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Building Site F - SDA  
Mid (Level 2) Floor Plan

Drawn	DJD	Date	1st December 2024
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	FA120	Rev.	F

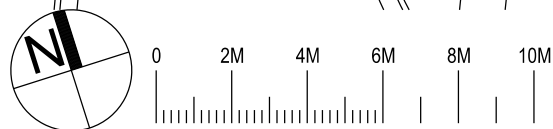
Nominated Architect: David Dove  
Architect (Home), AssocAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) No. 19113  
Licensed Building Contractor (NSW) 2537800  
29/04 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com

EG Funds Management  
Level 21  
Governor Philip Tower  
11 Farrer Place  
Sydney, NSW  
2000  
P. (02) 9233 7100  
W. www.eg.com.au



**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
F2.01	Yes	No
F2.02	No	No
F2.03	Yes	Yes
F2.04	No	No
F2.05	No	No
<b>Total 5 Units</b>	<b>Total 2 Units (40%)</b>	<b>Total 1 Units (20%)</b>
<b>Total Bldg 14 Units</b>	<b>7 Units (50%)</b>	<b>2 Units (14%)</b>



Nominated Architect: David Dove  
 BAArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19103  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



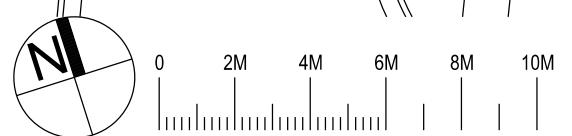
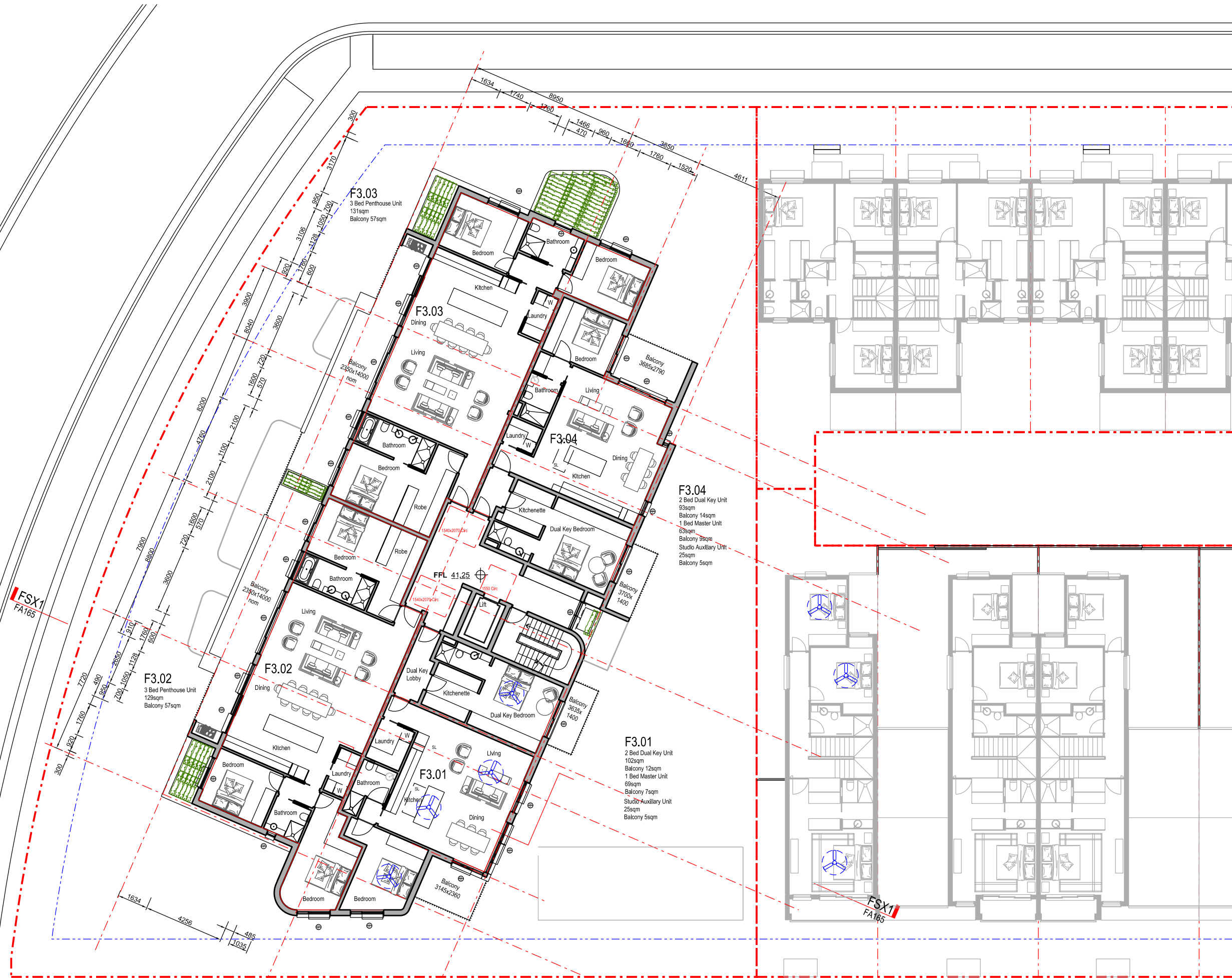
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SSSA  
 Mid (Level 2) LHA Compliance Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	FA120 Rev. D

Legend

- - - Site Boundary
- - - Strata Subdivision Boundary
- - - Setback Control
- - - Setback Articulation Zone



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 SAArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10113  
 Licensed Building Contractor (NSW) 253780C  
 29/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7000  
 W. www.eg.com.au

**EG**

**Southern Cross**  
Housing  
BUILDING COMMUNITY FUTURES

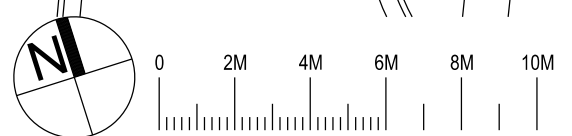
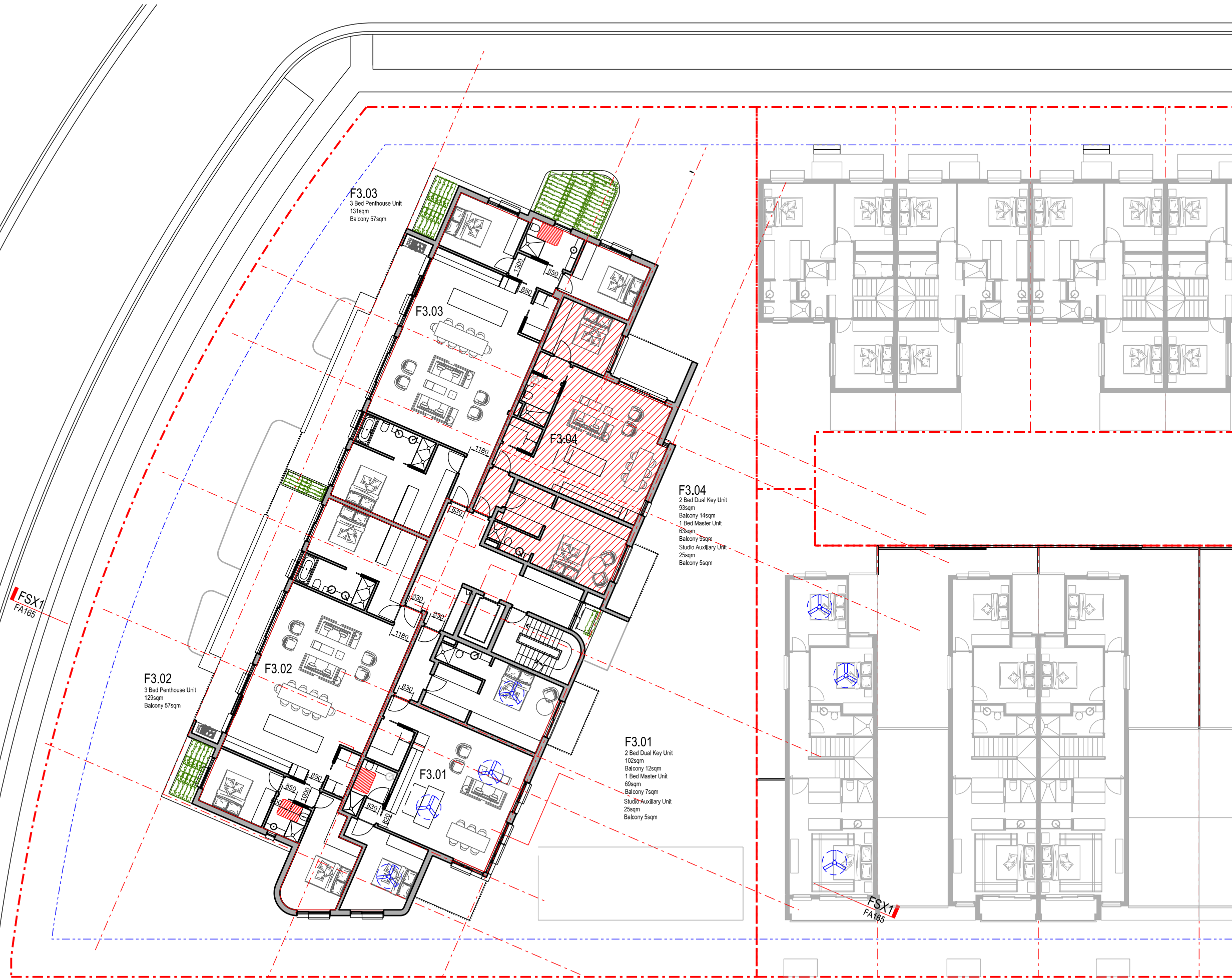
**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SDDA  
 Top (Level 3) Floor Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	FA130 Rev. J

**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
F1.01	Yes	No
F1.02	Yes	No
F1.03	Yes	No
F1.04	No	No
<b>Total 5 Units</b>	<b>Total 3 Units (75%)</b>	<b>Total 0 Units (0%)</b>
<b>Total Bldg 14 Units</b>	<b>7 Units (50%)</b>	<b>2 Units (14%)</b>



Nominated Architect: David Dove  
 SAArch (Hons), AArch (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19103  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9223 7160  
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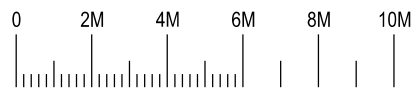
**EG**

**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SSSA  
 Top (Level 3) LHA Compliance Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	FA131 Rev. J



Nominated Architect: David Dove  
 BA Arch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19118  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



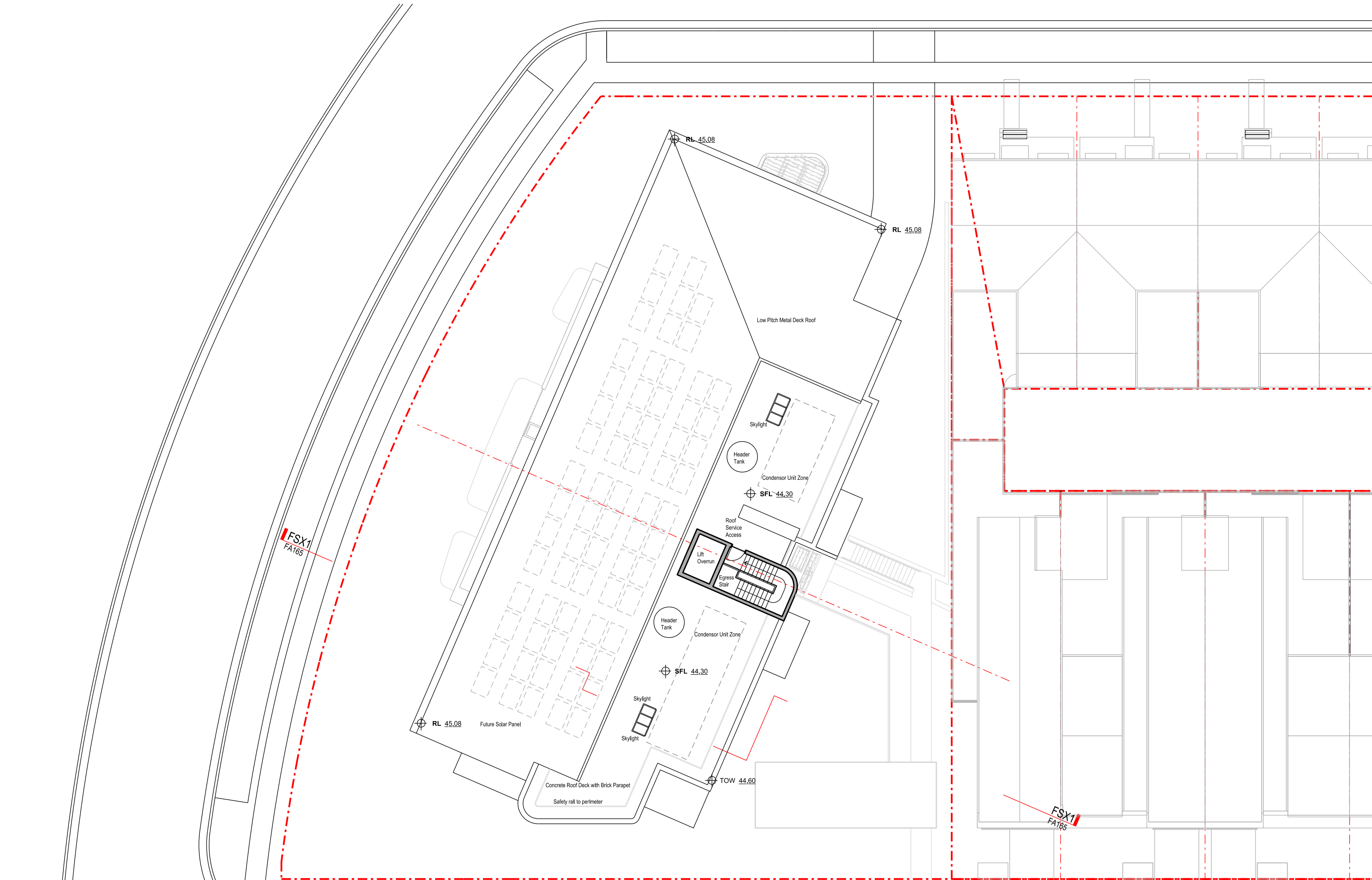
EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au

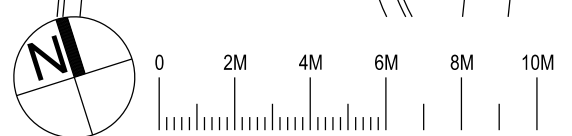
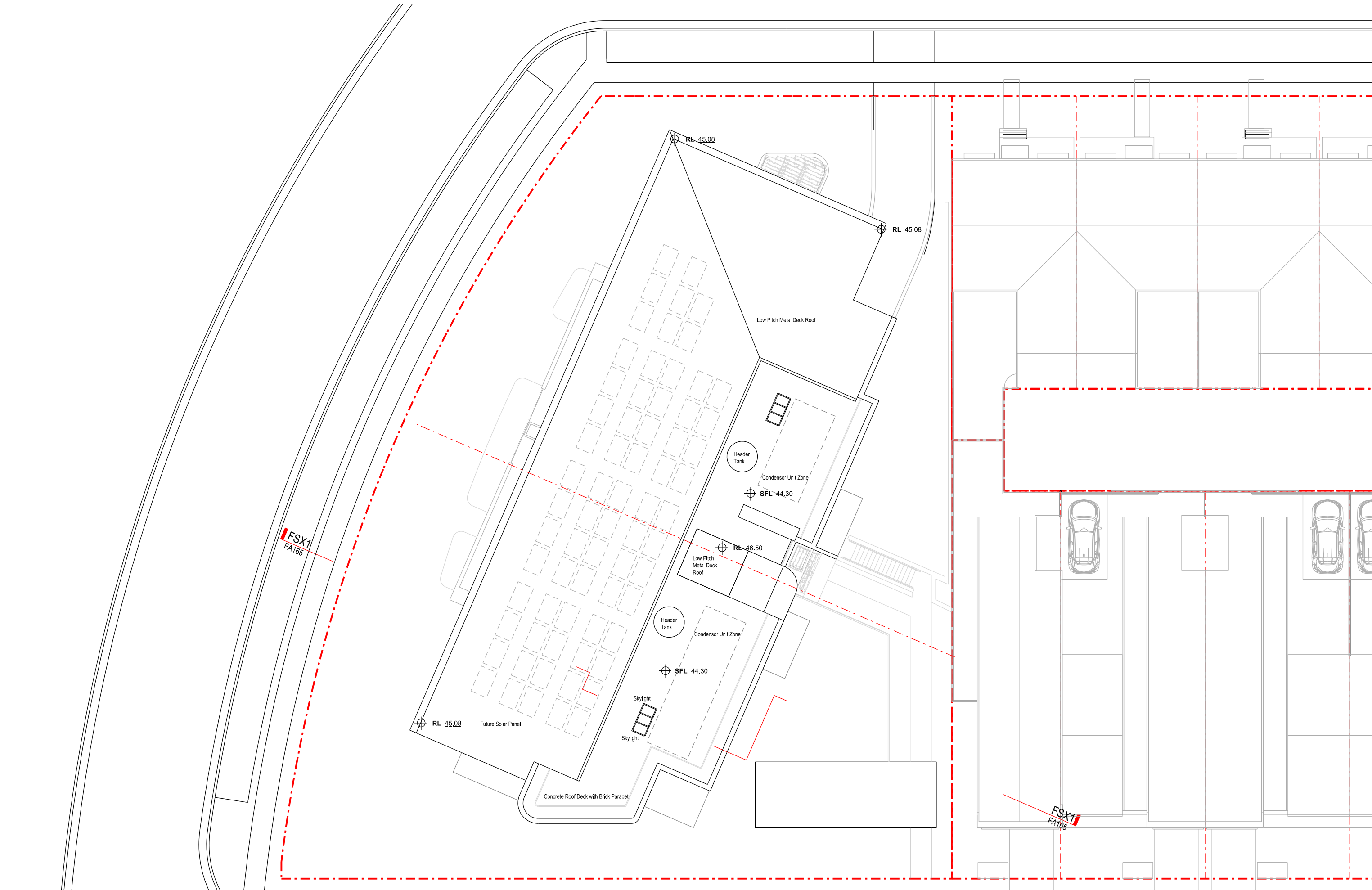


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SDA  
 Roof Access (Level 4) Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	FA140	Rev.	D





Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19118  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 Ph. (02) 9230 7100  
 W. www.eg.com.au

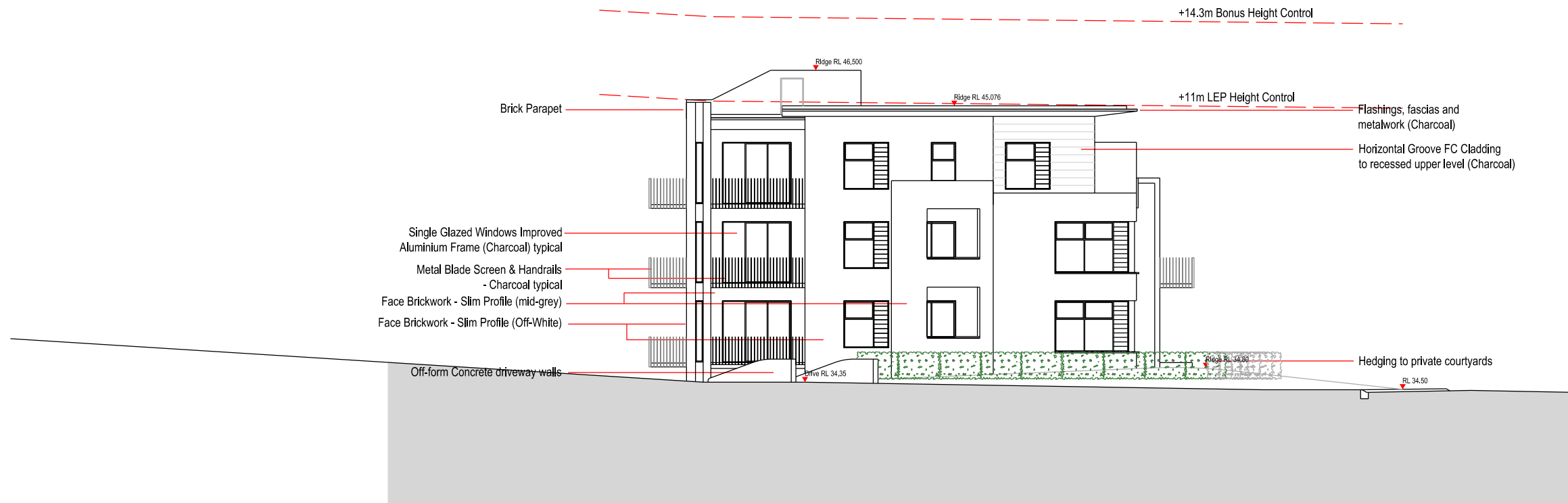



**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SSSA  
 Roof (Level 5) Plan

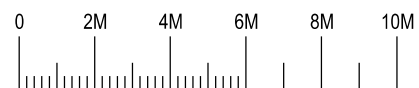
Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	FA150	Rev.	D



North Elevation



South Elevation



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



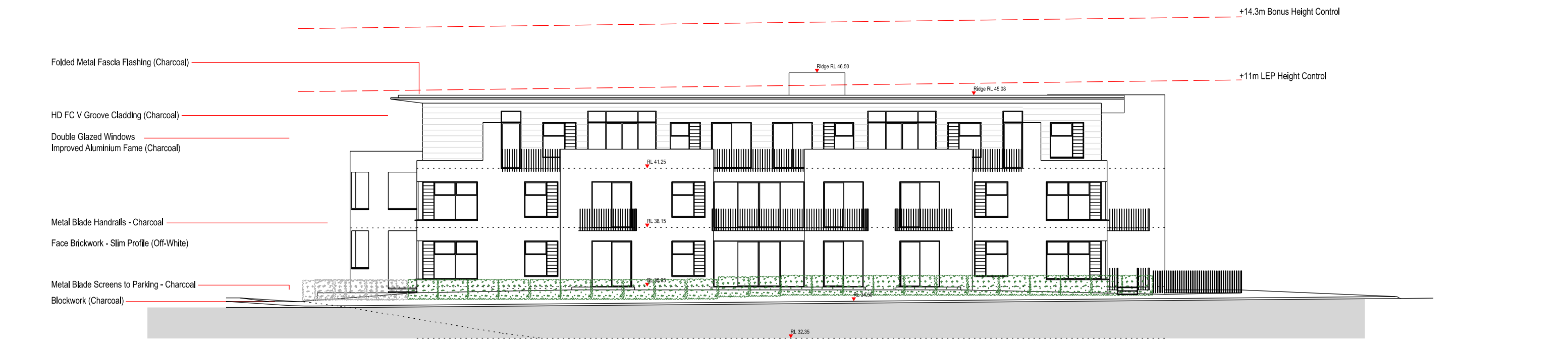
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Precinct F - SSSA  
 North / South Elevations

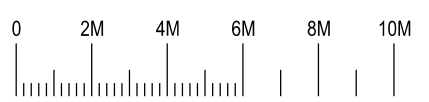
Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	FA160	Rev.	D



East Elevation



West Elevation



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



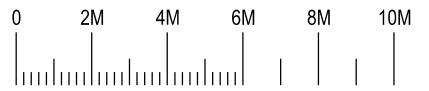
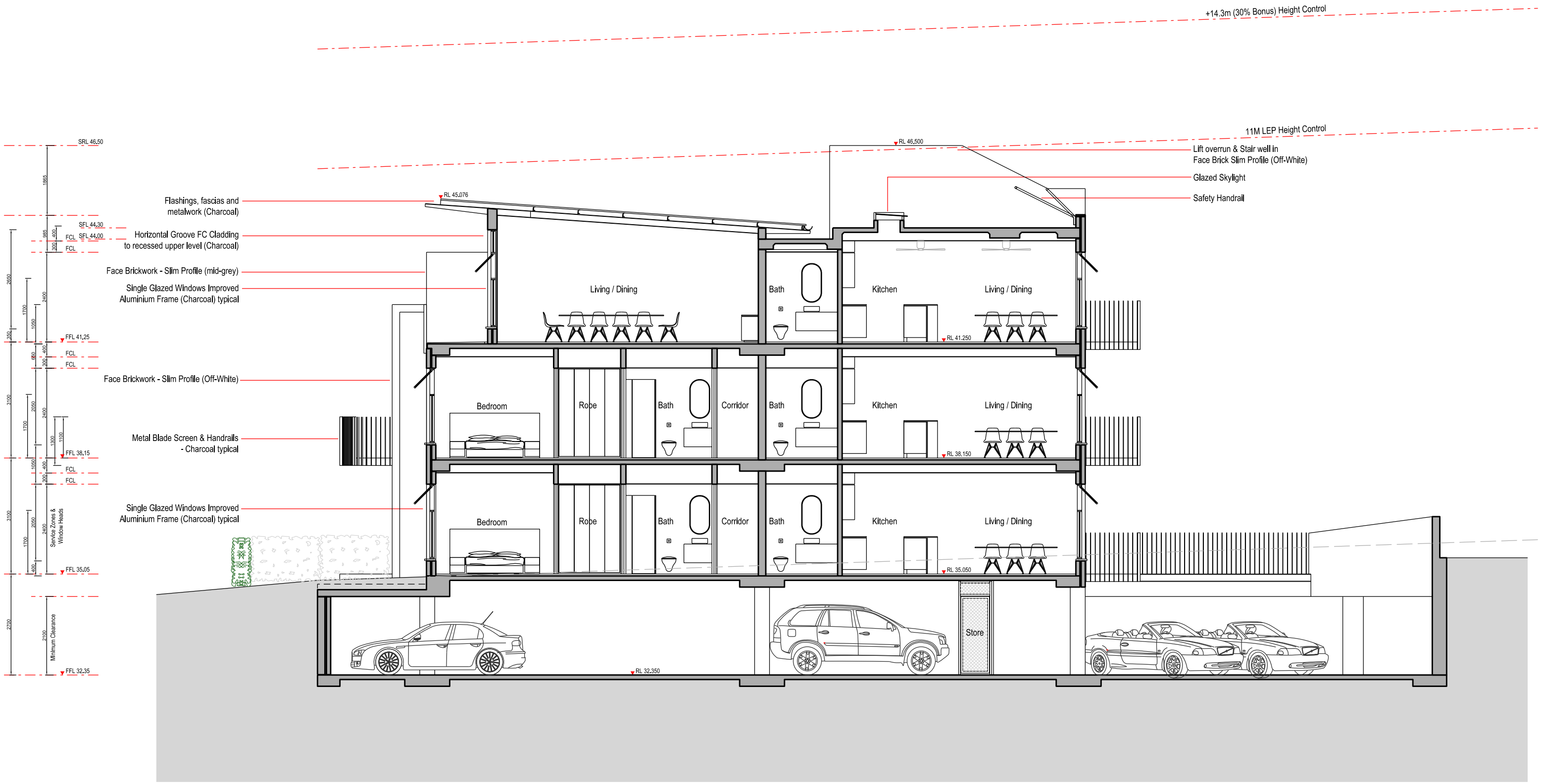
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 Governor Phillip Tower  
 11 Finner Place  
 Sydney, NSW  
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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SDA  
 East / West Elevations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	FA161	Rev.	B



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19103  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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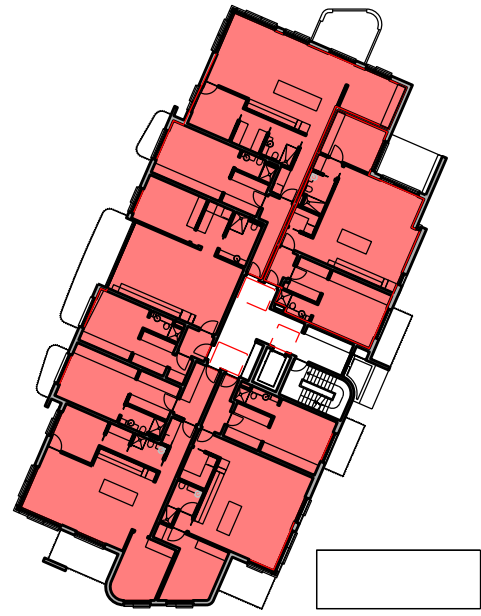
EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Precinct F - SSSA  
 Indicative Section A

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	FA165 Rev. D



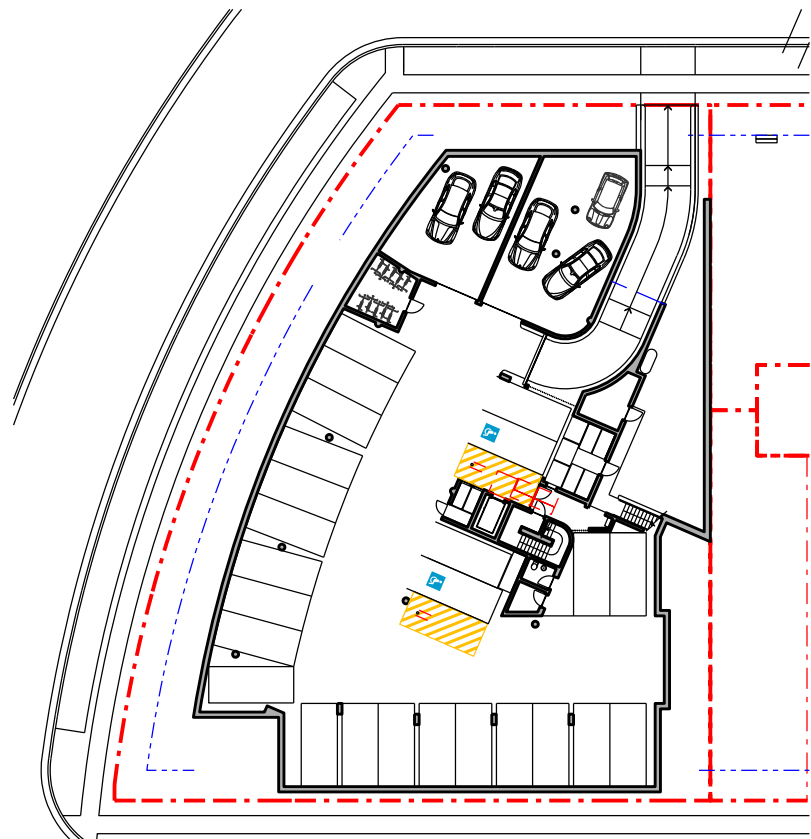
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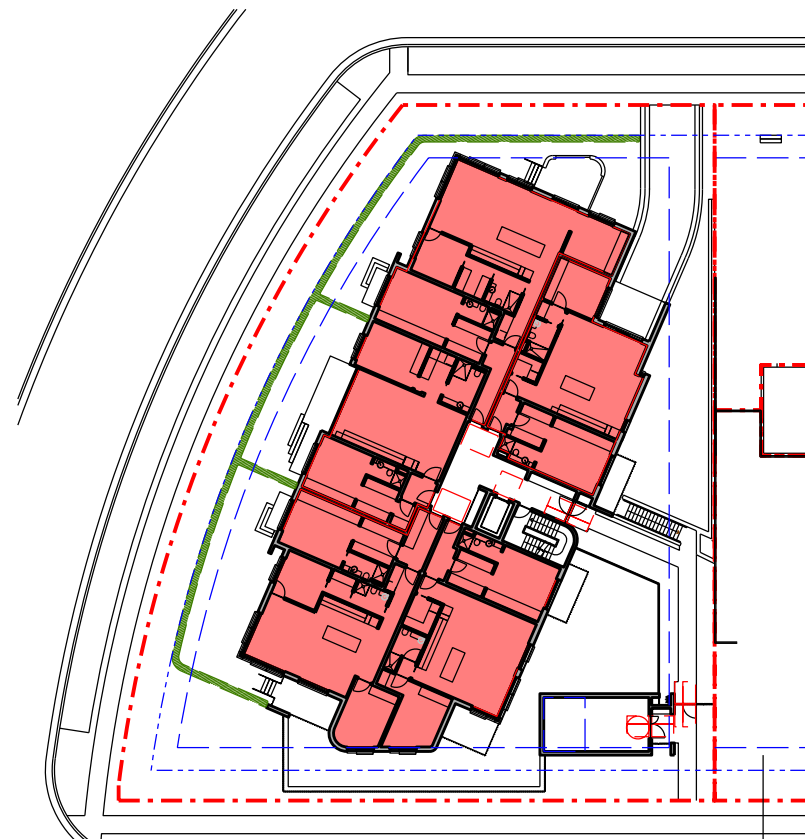
Construction Level 3

**Residential Site F  
Floor Space Area Calculations**

Level 3 (Top)	463m <sup>2</sup>
Level 2 (Mid)	537m <sup>2</sup>
Level 1 (Ground)	537m <sup>2</sup>
Level 0 (Undercroft)	0m <sup>2</sup>
<b>Total</b>	<b>1537m<sup>2</sup></b>



Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
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 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



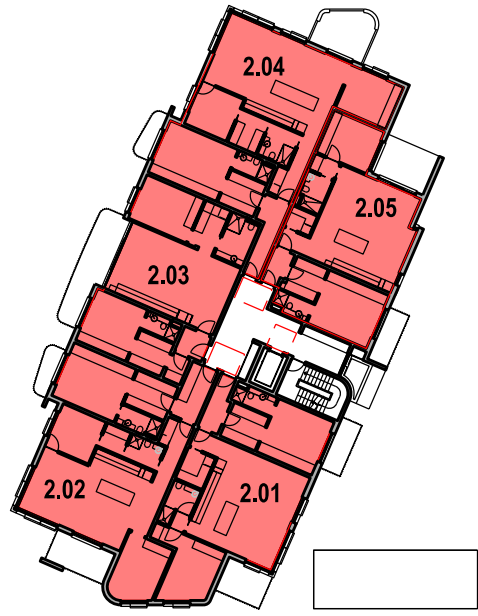
EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9233 7100  
 W: www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSDA  
 Floor Space Area Calculations

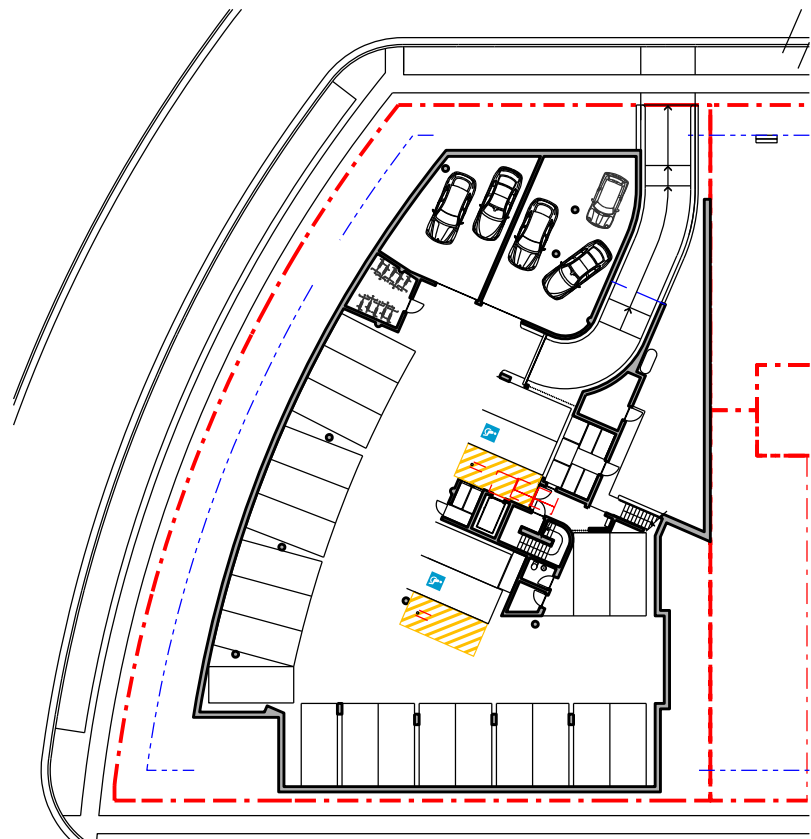
Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	FA170 Rev. B



Construction Level 2



Construction Level 3



Level 0 (Undercroft)



Construction Level 1 (Ground)

**Residential Site F  
Nett Saleable / Lettable Area Calculations**

Unit	NIA	Balcony
3.01	102m <sup>2</sup>	12m <sup>2</sup>
3.02	129m <sup>2</sup>	57m <sup>2</sup>
3.03	131m <sup>2</sup>	57m <sup>2</sup>
3.04	93m <sup>2</sup>	14m <sup>2</sup>
2.01	102m <sup>2</sup>	12m <sup>2</sup>
2.02	117m <sup>2</sup>	13m <sup>2</sup>
2.03	94m <sup>2</sup>	15m <sup>2</sup>
2.04	121m <sup>2</sup>	10m <sup>2</sup>
2.05	93m <sup>2</sup>	14m <sup>2</sup>
1.01	102m <sup>2</sup>	12m <sup>2</sup>
1.02	117m <sup>2</sup>	13m <sup>2</sup>
1.03	94m <sup>2</sup>	15m <sup>2</sup>
1.04	121m <sup>2</sup>	10m <sup>2</sup>
1.05	93m <sup>2</sup>	14m <sup>2</sup>
<b>Total</b>	<b>1509m<sup>2</sup></b>	



Nominated Architect: David Dove  
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 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

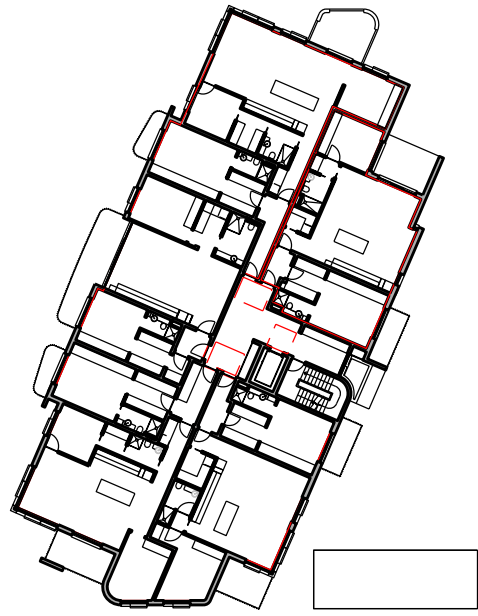
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 Level 21  
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 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au



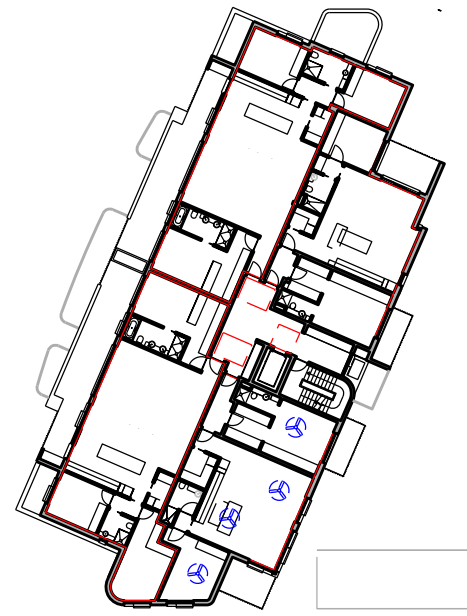
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSDA  
 Nett Saleable / Lettable Area Calculations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	FA171	Rev.	B



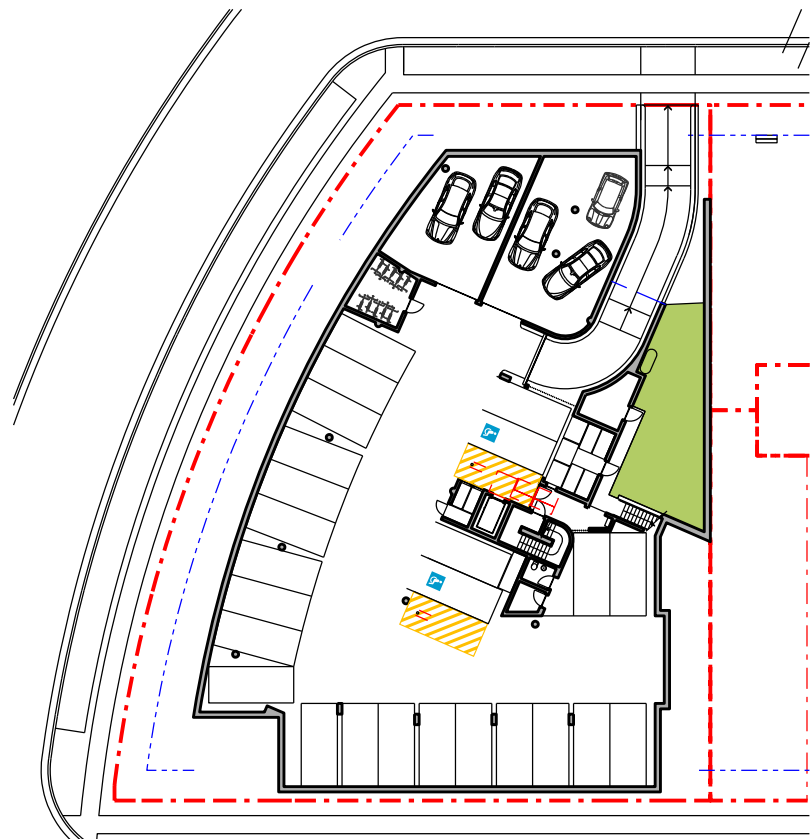
Construction Level 2



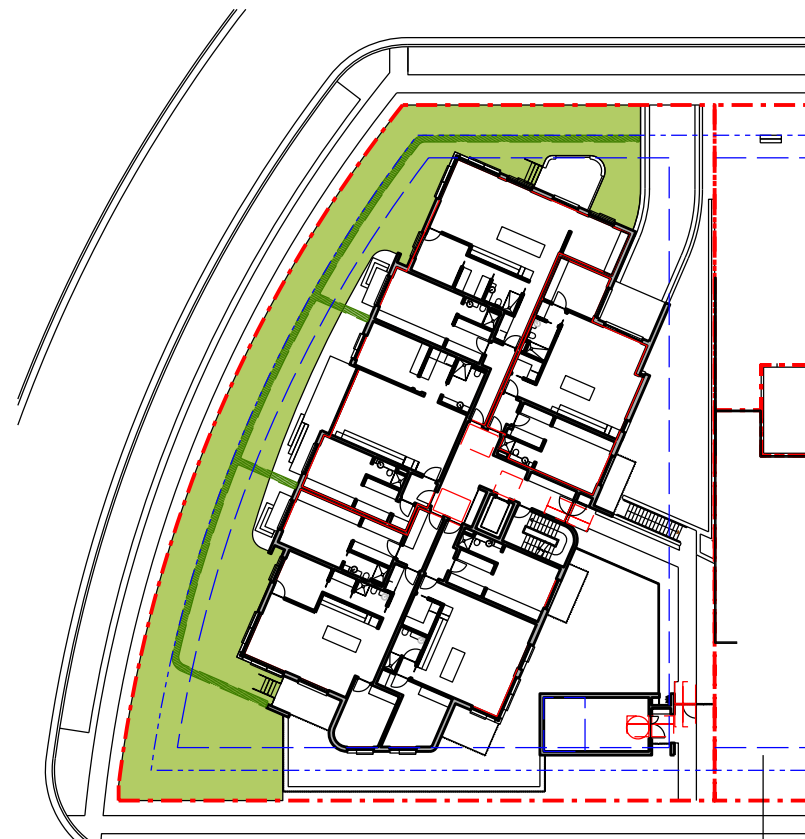
Construction Level 3

**Residential Site F  
Communal Open Space Calculations**

Site Area	1499m <sup>2</sup>
Communal Space	427m <sup>2</sup>
Percentage	28%



Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSDA  
 Communal Open Space Calculations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	FA172	Rev.	B

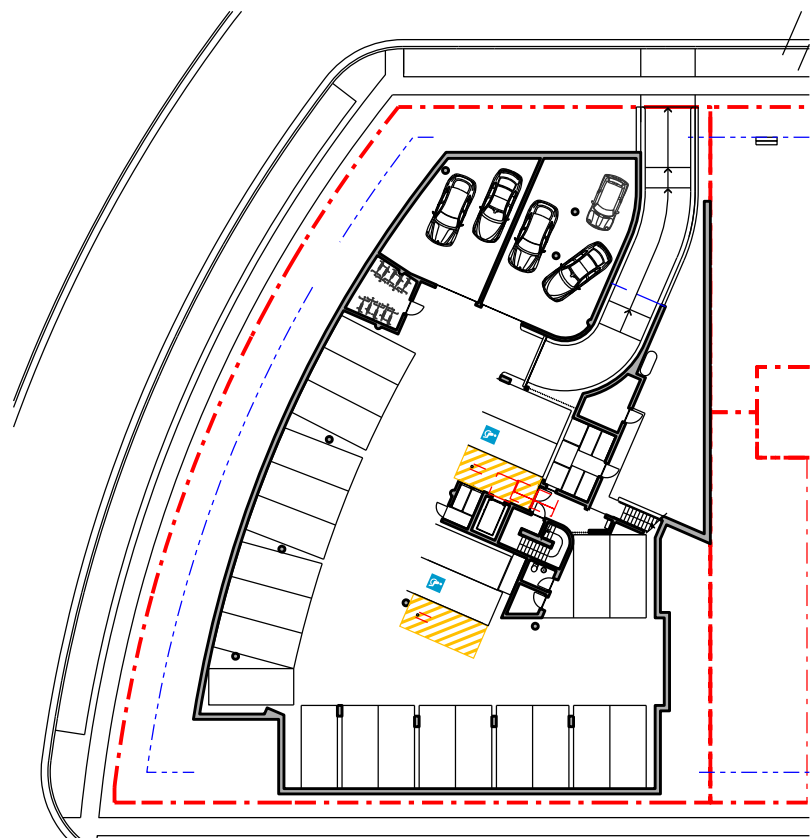


Construction Level 2

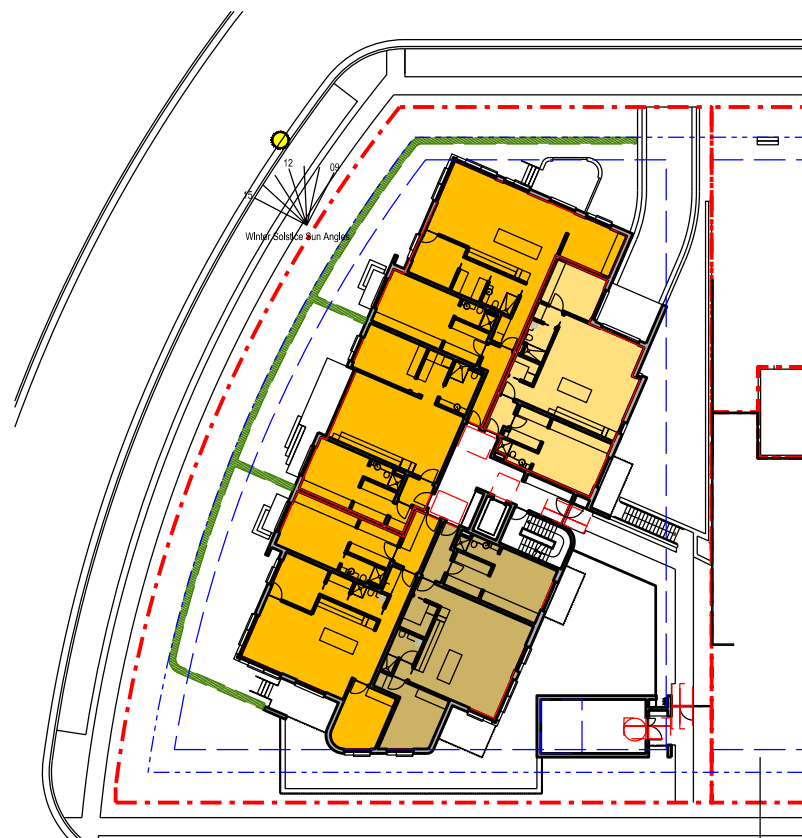


Construction Level 3

Residential Site F Solar Access Calculations			Compliance
Total Units	14		
Units receiving more than 3 Hrs	10 (71.4%)	>70% (Complies)	
Units receiving 2-3 Hrs	2 (14.3%)		
Units receiving less than 2 Hrs	0		
Units receiving no mid winter sun	2 (14.3%)	<15% (Complies)	



Level 0 (Undercroft)



Construction Level 1 (Ground)



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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
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 Level 21  
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 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
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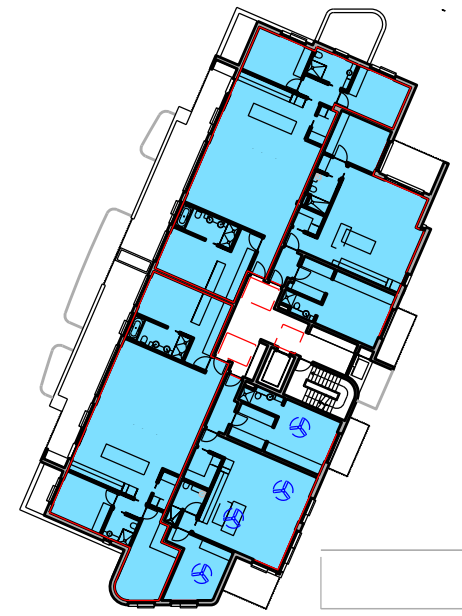
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSSA  
 Solar Access Calculations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	FA173	Rev.	B



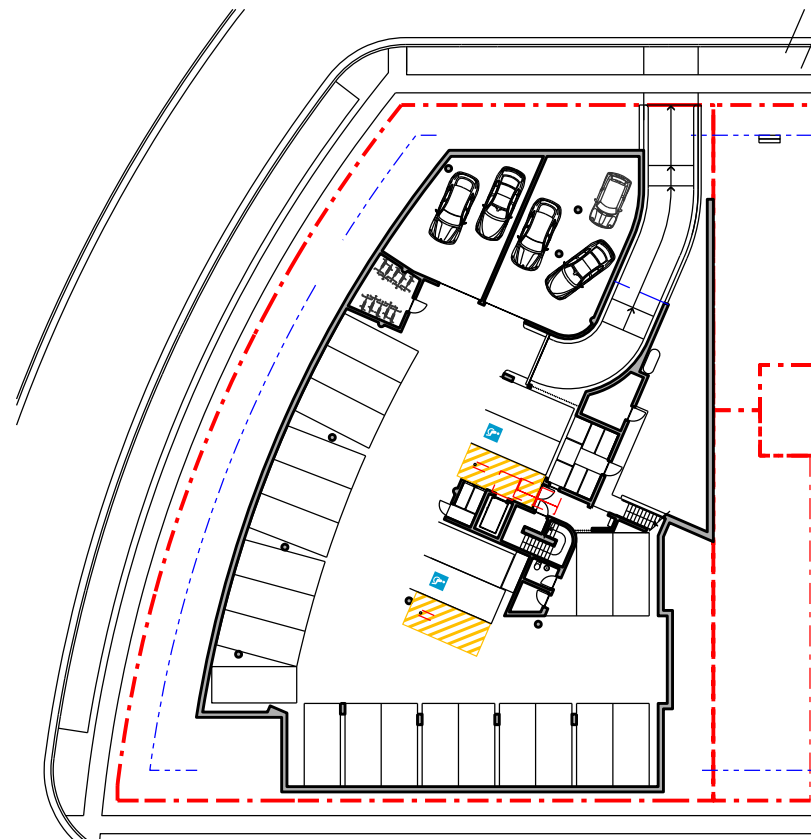
Construction Level 2



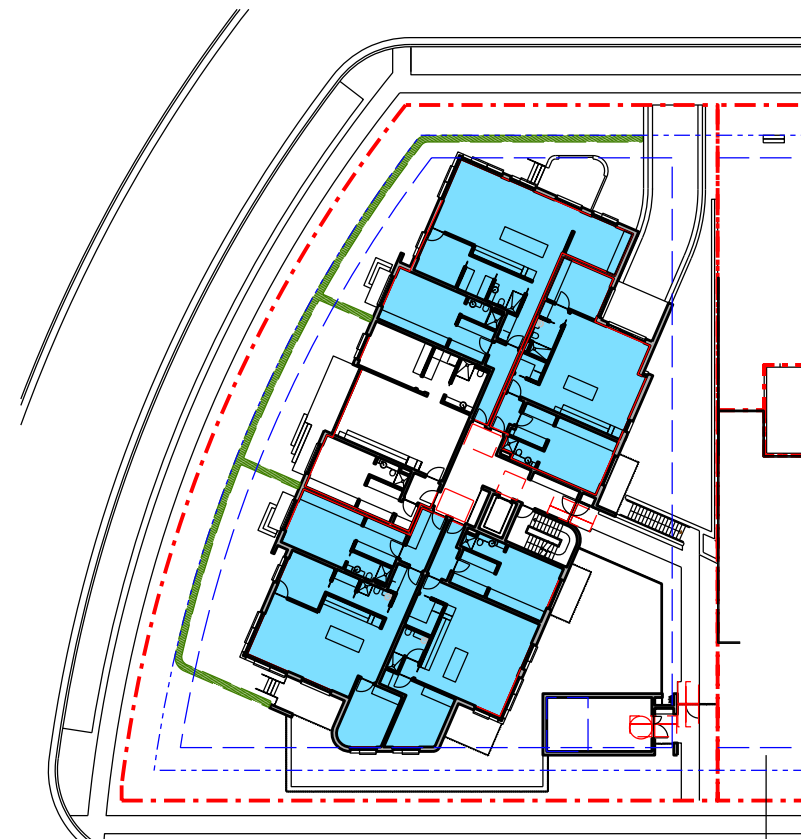
Construction Level 3

**Residential Site F  
Cross Ventilation Calculations**

		Compliance
Total Units	14	
Dual Orientation Units	12 (85.7%)	>60% (Complies)
Single Orientation Units	2 (14.3%)	



Level 0 (Undercroft)



Construction Level 1 (Ground)



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 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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 Level 21  
 Governor Phillip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au



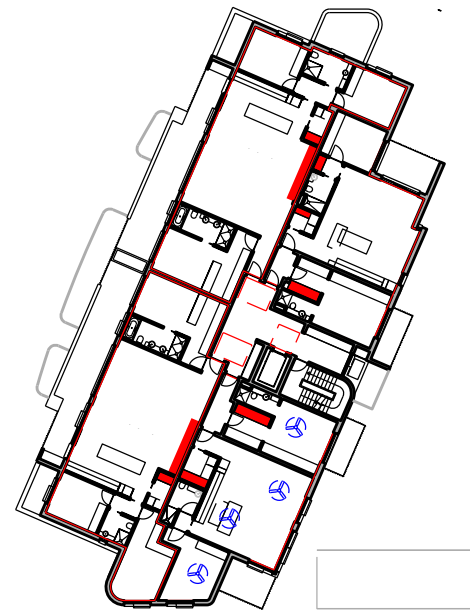
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSSA  
 Cross Ventilation Calculations

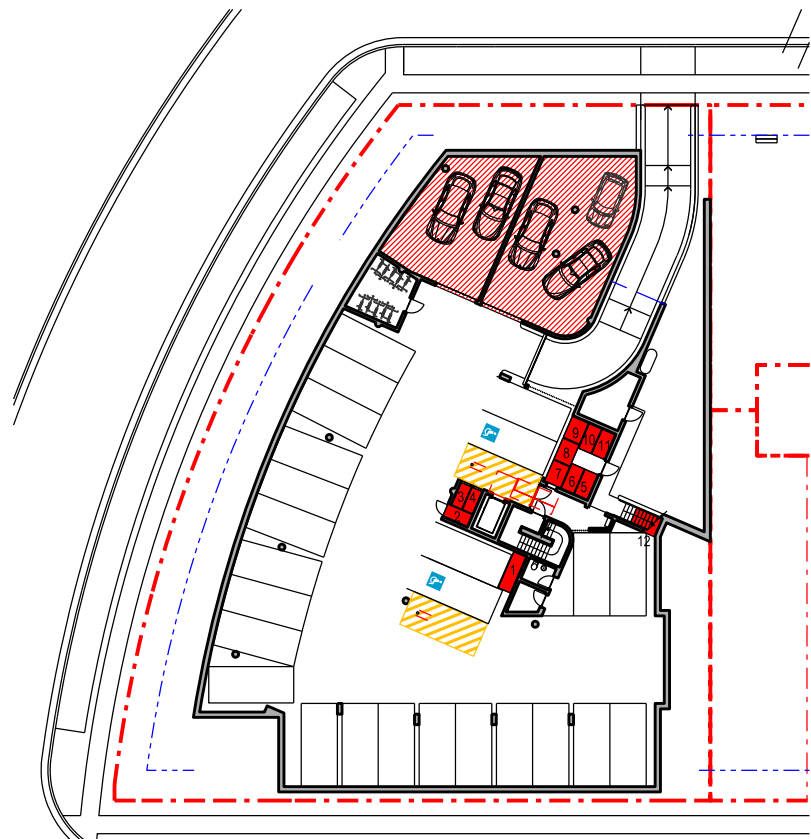
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Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	FA174	Rev.	B



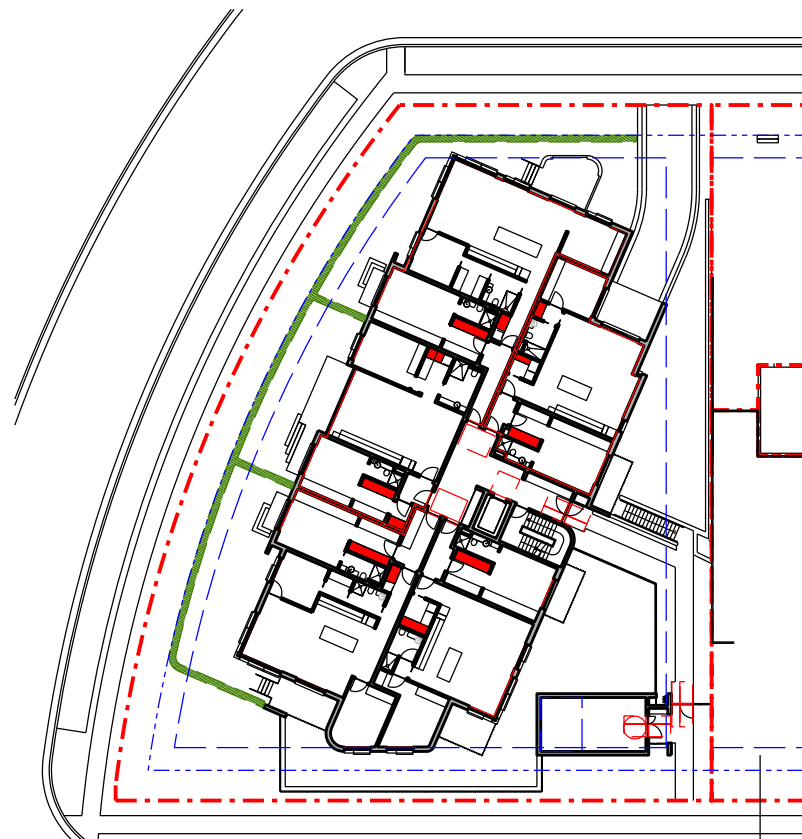
Construction Level 2



Construction Level 3



Level 0 (Undercroft)



Construction Level 1 (Ground)

**Residential Site F  
Storage Calculations**

Unit No	In Unit	In Basement	Required	
1.01	7.0m3	2.8m3 (12)	8m3	Complies
1.02	6.2m3	3.9m3 (5)	10m3	Complies
1.03	7.1m3	5.5m3 (1)	8m3	Complies
1.04	5.5m3	4.5m3 (8)	10m3	Complies
1.05	6.1m3	2.8m3 (3)	8m3	Complies
2.01	7.0m3	3.6m3 (2)	8m3	Complies
2.02	6.2m3	3.9m3 (6)	10m3	Complies
2.03	7.1m3	4.5m3 (7)	8m3	Complies
2.04	5.5m3	4.5m3 (9)	10m3	Complies
2.05	6.1m3	2.8m3 (4)	8m3	Complies
3.01	7.0m3	3.9m3 (10)	8m3	Complies
3.02	7.2m3	Garage 59m2	10m3	Complies
3.03	7.2m3	Garage 82m2	10m3	Complies
3.04	6.1m3	3.9m3 (11)	8m3	Complies



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 Registered Architect (NSW) No. 8922  
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 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



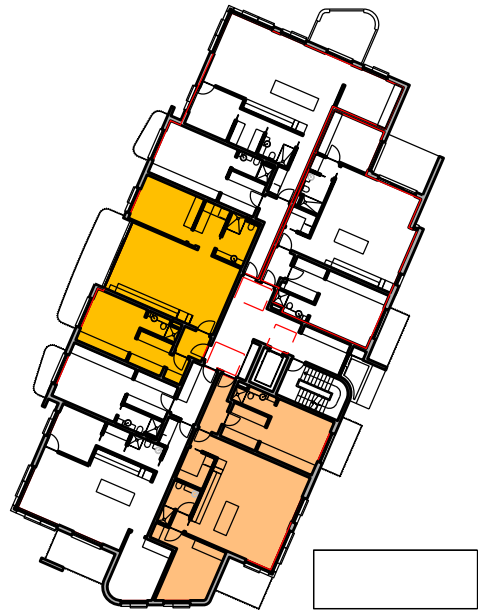
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 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
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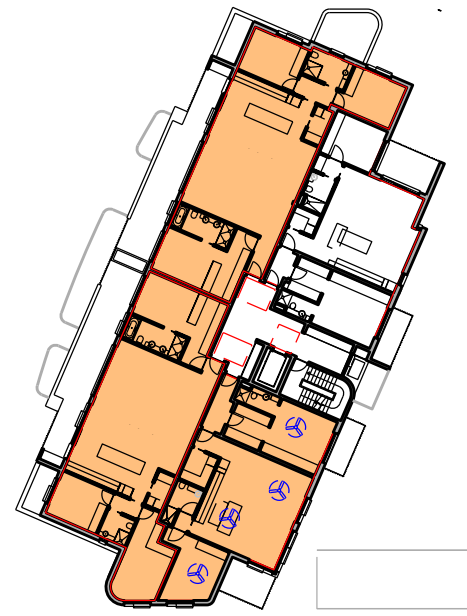
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSDA  
 Storage Calculations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	FA175	Rev.	B

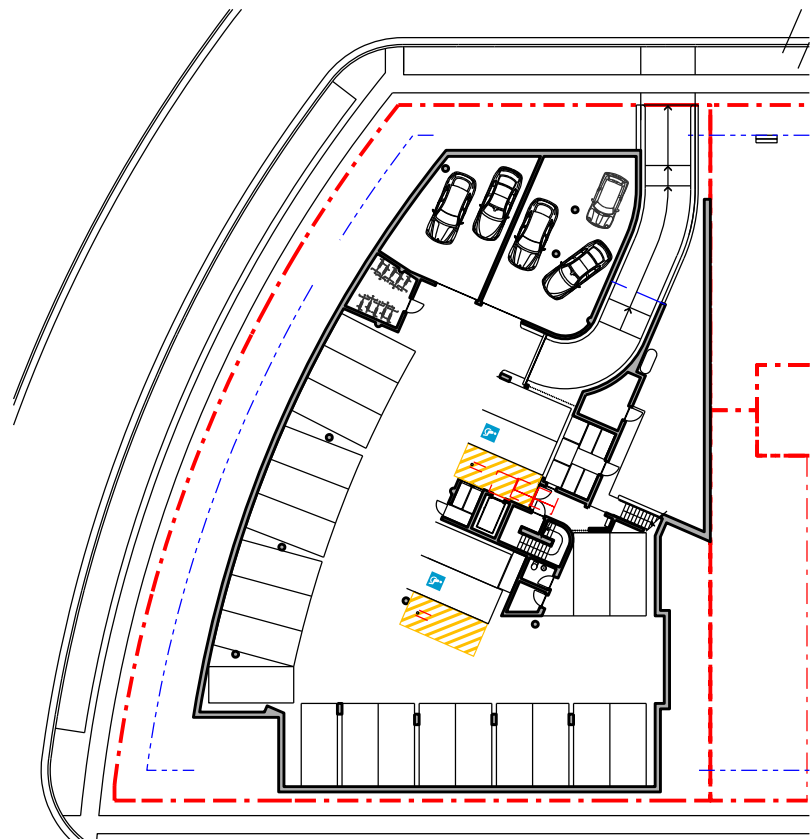


Construction Level 2

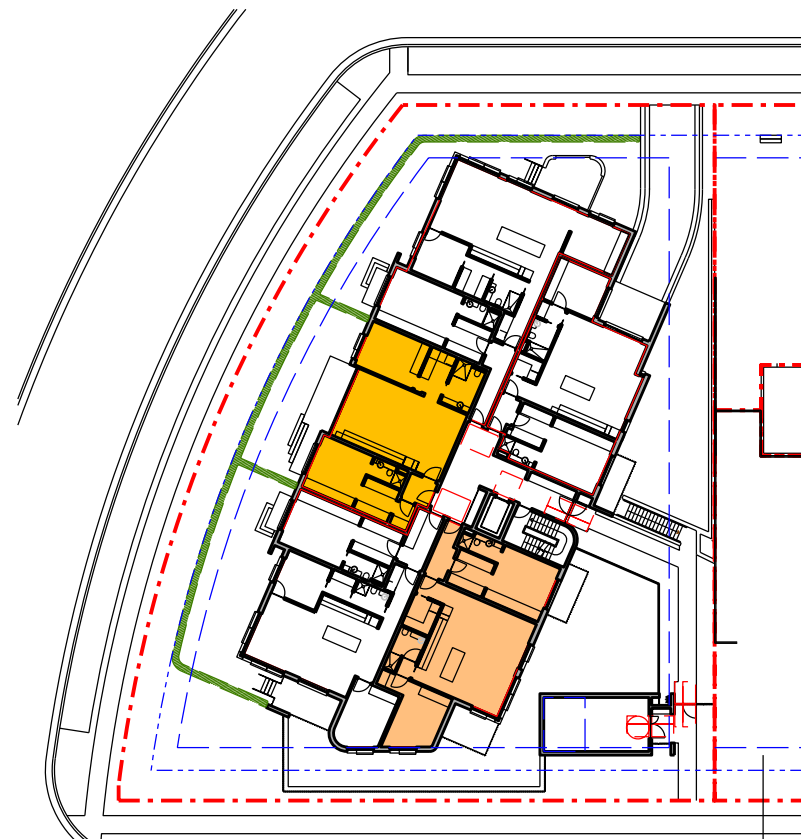


Construction Level 3

Residential Site F DDA / LHA Calculations			Compliance
Total Units	14		
Adaptable Units + Livable Silver (Compliance with AS1428.1)	2 (14.3%)		10% (Complies)
Livable Homes Silver Standard	7 (50%)		50% (Complies)



Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



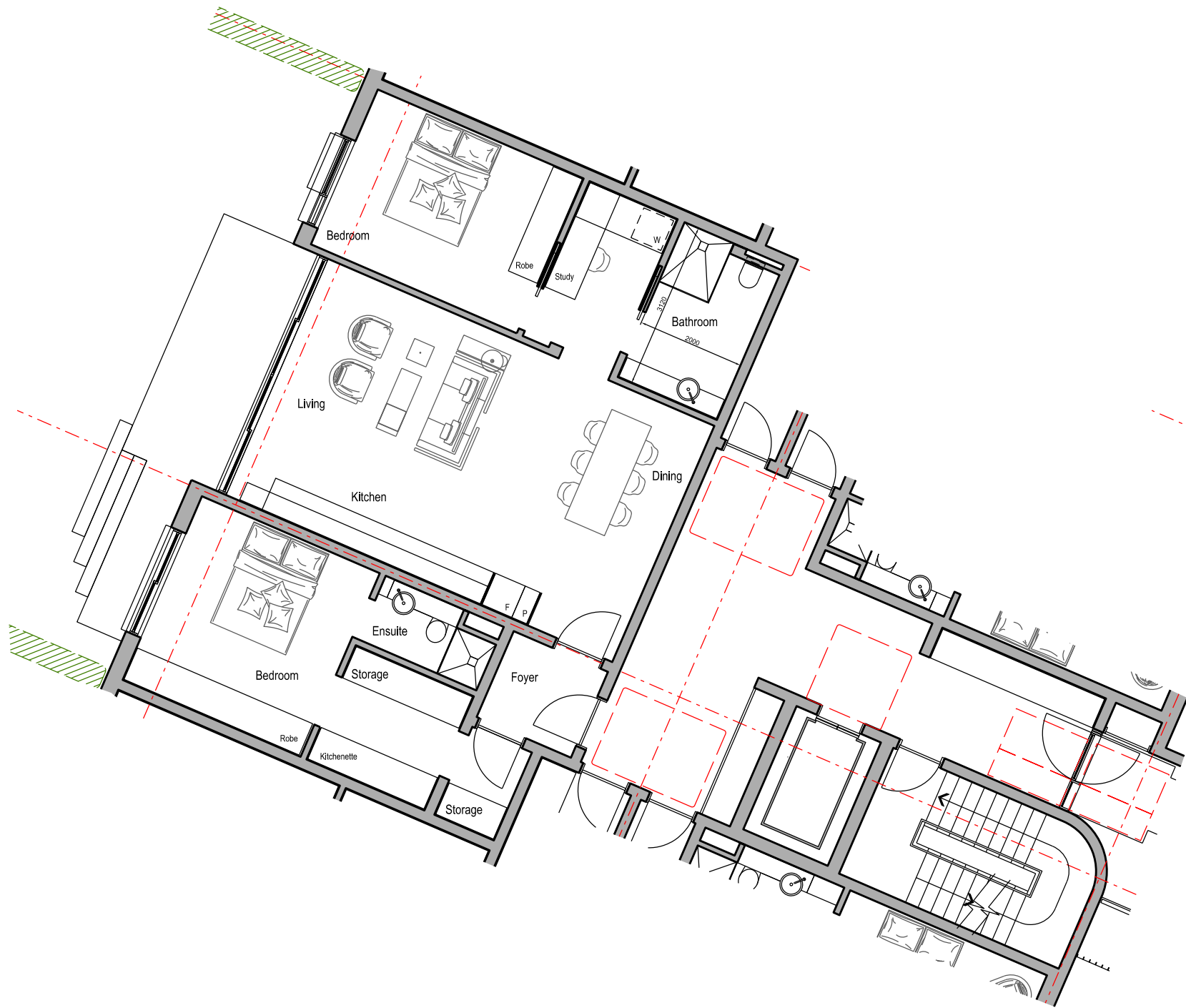
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 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
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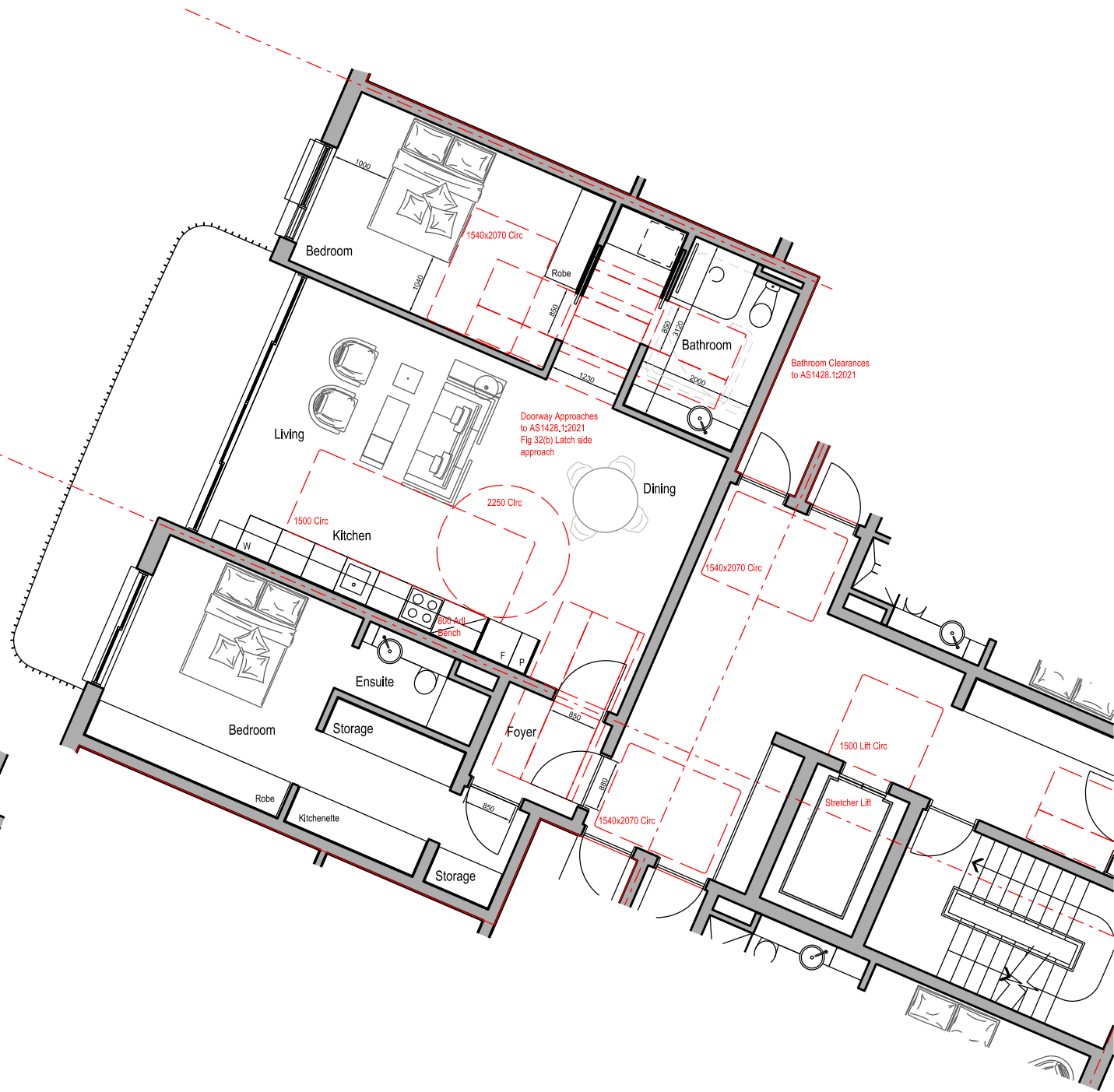
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSDA  
 Adaptable / Livable Homes

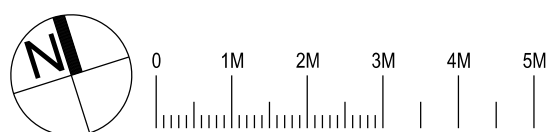
Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	FA176	Rev.	B



Unit 1.03/2.03 Base Plan



Unit 1.03/2.03 Post Adaption



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site F - SDA  
 Adaptable Apartment Plan F1.03/F2.03

Drawn	DJD	Date	1st December 2024
Job No.	SYB01	Scale	1:2000 @ A3
Dwg No.	FA177	Rev.	B

# Building F Specification

## Thermal Comfort Inclusions

### Glazing Doors / Windows

**Group A** - awning + bifold + casement windows + hinged glazed doors  
 Typical: U-value: 5.40 (equal to or lower than) SHGC: 0.49 (±5%)  
 Units F2.04, F3.01, F3.02, F3.03: U-value: 3.90 (equal to or lower than) SHGC: 0.32 (±5%)

**Group B** - sliding doors/windows + fixed glazing + louvred windows  
 U-value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%)  
 Units F2.04, F3.01, F3.02, F3.03 (Excl. Louvres): U-value: 3.90 (equal to or lower than) SHGC: 0.37 (±5%)  
 Unit F3.01 Louvres only: U-value: 4.29 (equal to or lower than) SHGC: 0.47 (±5%)  
**Skylights** VEL-011-01 U-value 3.97 SHGC 0.27 fixed

**Window Frame Colour**  
 Dark (SA > 0.85)

### Window Restrictors

Window restrictors to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

### Roof and Ceiling

150mm Concrete roof  
 Metal roof with foil/sarking R1.3  
 Plasterboard ceiling with R1.5 insulation (insulation only value) where balconies are above  
 Plasterboard ceiling with R3.0 insulation (insulation only value) to soffit where concrete roof is over, and where metal roof is over  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 External Colour : medium default

### Ceiling Penetrations

Sealed LED downlights at a maximum of one every 5m2.

### External Walls

Brick veneer, metal stud walls (thermal break R0.2) with R2.5 insulation (insulation only value)  
 Lightweight cladding, metal stud walls (thermal break R0.2) with R2.5 insulation (insulation only value)  
 Concrete columns within the external wall envelope R2.5 insulation  
 External Colour : Default Medium (0.50)

### Inter-tenancy Walls

Double stud walls to neighbours, R1.5 insulation both sides between dwellings  
 Double stud walls adjacent to hallways, R1.5 insulation (insulation value only)  
 Minimum 150mm concrete with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs.

### Walls within Dwellings

Plasterboard on studs no insulation

### Floors

Minimum 150mm Concrete with a minimum R1.2 subfloor insulation (insulation only value) required to units with garage below, and where part open subfloor below  
 Concrete slab on ground, no insulation required  
 Minimum 150mm Concrete between levels, no insulation required

### Floor Coverings

Carpet to bedrooms and WIR and tiles elsewhere

### Water inclusions

#### Fixtures within units

Showerheads: Mid flow (>6L but d=7.5L/min)  
 Toilets: 4.0 star  
 Kitchen taps: 5.0 star  
 Bathroom vanity taps: 5.0 star  
 Fixtures within common areas : Taps: 5.0 star

#### Central rainwater storage

Tank size: 2,000L  
 Collecting from 300m²  
 Connected to outdoor tap for irrigation of landscaping area.

### Energy Inclusions

#### Hot water system

Central electric heat pump air sourced with unit efficiency of 3.5 < COP d=4.0 and R0.6 (~25mm) insulation to ring main and supply risers

#### Lift motors

Gearless traction with VVVF motor with lift load capacity of e=1,001kg to d=1,500kg

#### Appliances within units

Induction cooktop & electric oven  
 Dishwashers: 4.0 star  
 Clothes dryers: 8.0 star

#### Heating and cooling within units

All units to have individual, single phase, reverse cycle air conditioning to living areas, and at least 1 bedroom  
 A minimum efficiency of EER 3.5 4.0 is required for cooling; and  
 A minimum efficiency of EER 3.5 4.0 is required for heating

#### Artificial lighting within units

Minimum of 80% of all light fittings within each room are to have dedicated LED fixtures installed

#### Ventilation within units

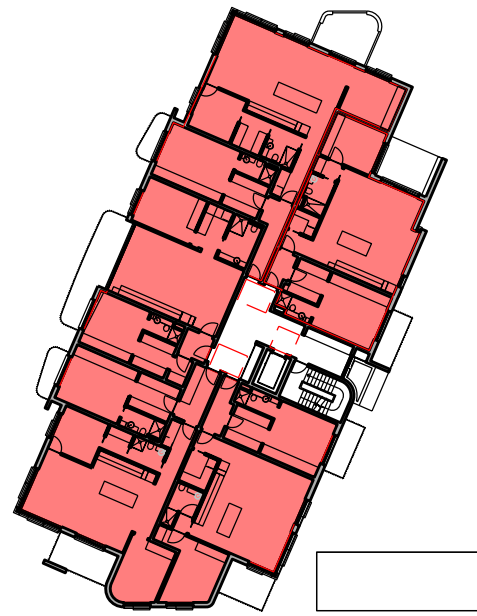
Unit 3.01 only: 1300mm ceiling fans to Living and bedrooms  
 Bathroom: individual fan, ducted to roof or façade connected to light, timer off  
 Laundry: individual fan, ducted to roof or façade manual on / off switch  
 Kitchen range hood: Individual fan, ducted to roof or façade manual on / off switch

#### Artificial lighting to common areas

Lighting control system / BMS : Car park area Light emitting diodes (LEDs) with zoned switching and motion sensors  
 Lifts Light emitting diodes (LEDs) connected to lift call button  
 Garbage rooms Light emitting diodes (LEDs) with motion sensor  
 Plant / service rooms Light emitting diodes (LEDs) with manual on / manual off switch  
 Ground floor lobbies Light emitting diodes (LEDs) with zoned switching and motion sensors  
 Hallways Light emitting diodes (LEDs) with zoned switching and motion sensors  
 Communal areas - Light emitting diodes (LEDs) with manual on/timer off

#### Ventilation to common areas

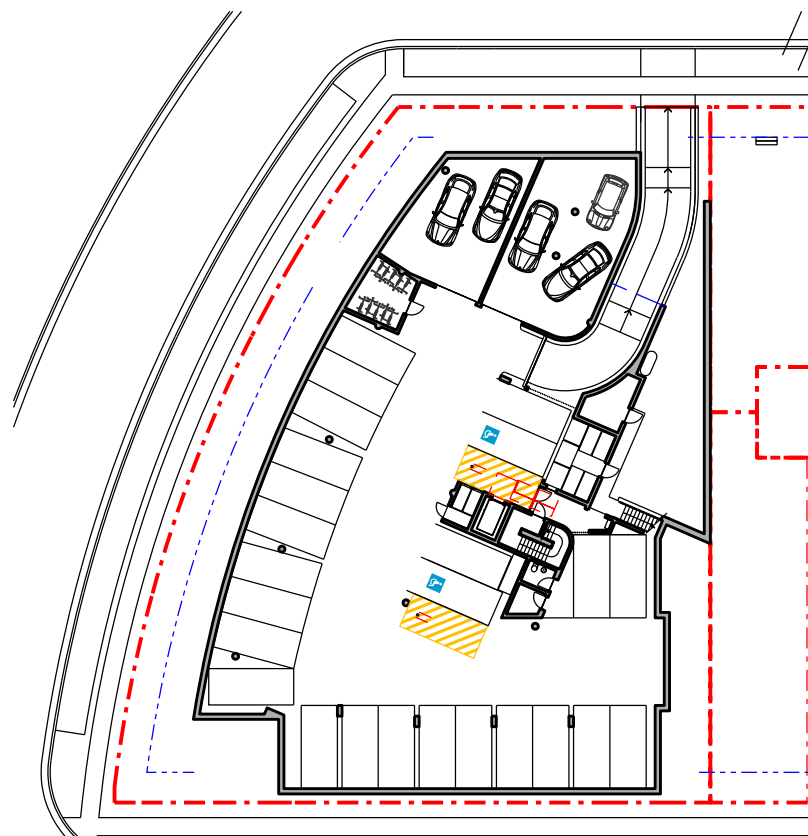
Car park area Supply and exhaust air with a carbon monoxide monitor & VSD fan  
 Garbage rooms Exhaust air only, running continuously  
 Plant / service rooms Supply and exhaust air, thermostatically controlled  
 Storage Supply air only, interlocked to light  
 Ground floor lobbies and hallways Naturally ventilated



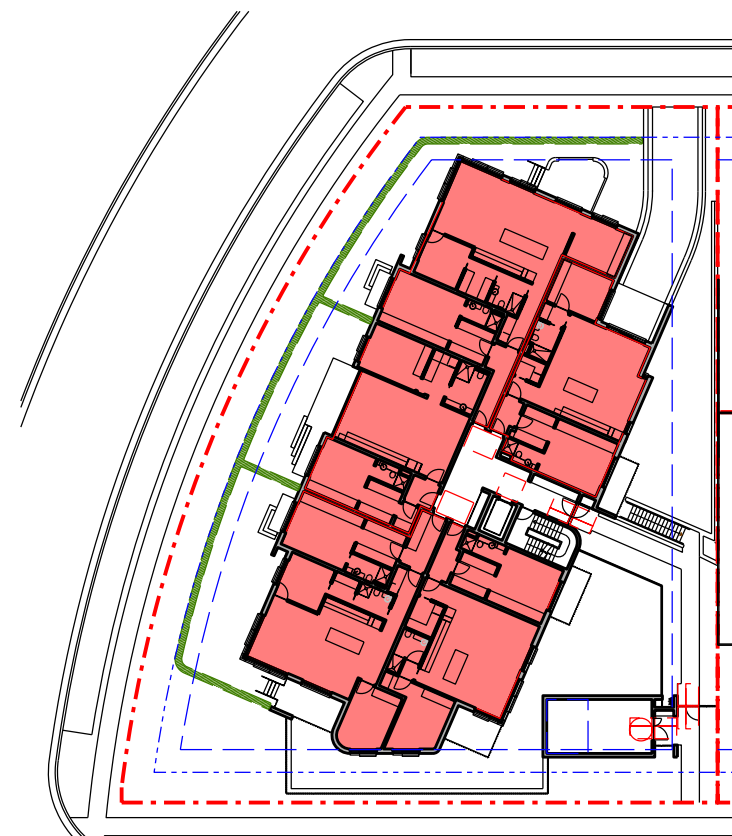
Construction Level 2



Construction Level 3



Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 18113  
 Licensed Building Contractor (NSW) 253780C  
 2/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7000  
 F. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSDA  
 Typical Specification

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	FA180 Rev. B

# Windows

FFL							
Window No	FW01	FW02	FW03	FW04	FW05	FW06	FW07
Type	Sliding door	Sliding door	Fixed & Awning	Sliding door	Double Sliding door	Fixed	Fixed & Awning
Frame	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium
Glazing	Single	Single	Single	Single	Single	Single	Single
Finish	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat
Locks	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Quantity	21	11	24	2	3	3	3
Shading	2M Balcony /Eaves	-	-	2M Balcony / Eaves	2M Balcony/Pergola	-	-

FFL							
Window No	FW08	FW09	FW10	FW11	FW12	FW13	
Type	Quad Awning	Sliding door / louvre	Double Hung	Sliding door	Sliding door	Fixed & Awning	
Frame	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	
Glazing	Single	Single	Single / one way film external	Single	Single	Single	
Finish	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	
Locks	Yes	Yes	Yes	Yes	Yes	Yes	
Quantity	2	3	1	2	2	1	
Shading	800mm Planter	2M Balcony /Eaves	Internal Gallery	2M Integrated Shade / Eaves	2M Integrated Shade / Eaves	-	

# Unit Doors


**Note:**

**Glazed windows and doors:**  
 Group A awning + bifold + casement windows + hinged glazed doors  
 U-value: 5.40 (equal to or lower than) SHGC: 0.49 (±5%)

Group B sliding doors/windows + fixed glazing + louvred windows  
 U-value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%)

Skylights VEL-011-01 U-value 3.97 SHGC 0.27 fixed

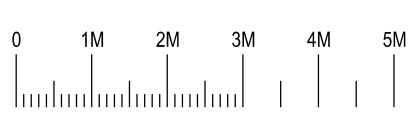
With the exception of:  
 Windows to Units F2.04, F3.01, F3.02, F3.03 (except Louvres)

Group A awning + bifold + casement windows + hinged glazed doors  
 U-value: 3.90 (equal to or lower than) SHGC: 0.32 (±5%)

Group B sliding doors/windows + fixed glazing  
 U-value: 3.90 (equal to or lower than) SHGC: 0.37 (±5%)

Louvre Windows to F3.01 only  
 Louvre window: U-value: 4.29 (equal to or lower than) SHGC: 0.47 (±5%)

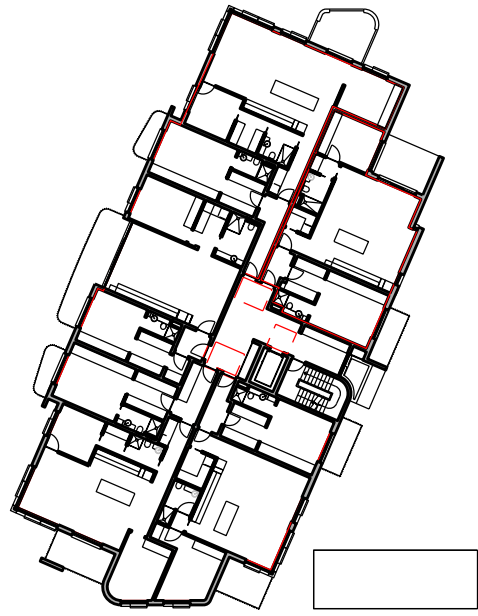
Given values are AFRC total window system values (glass and frame)



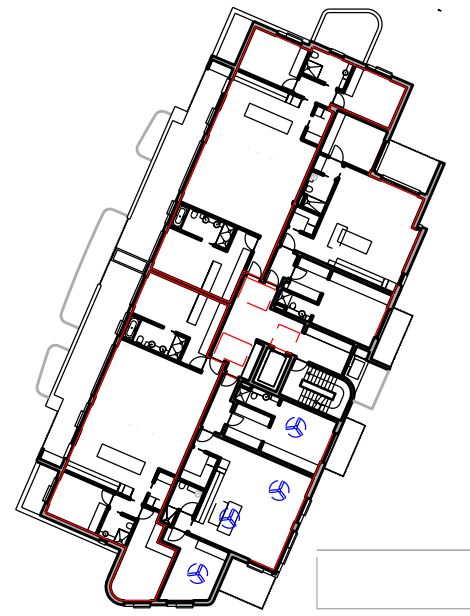
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Precinct F - SSDA  
 Apartment Window / Door Schedule

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	JA181 Rev. C



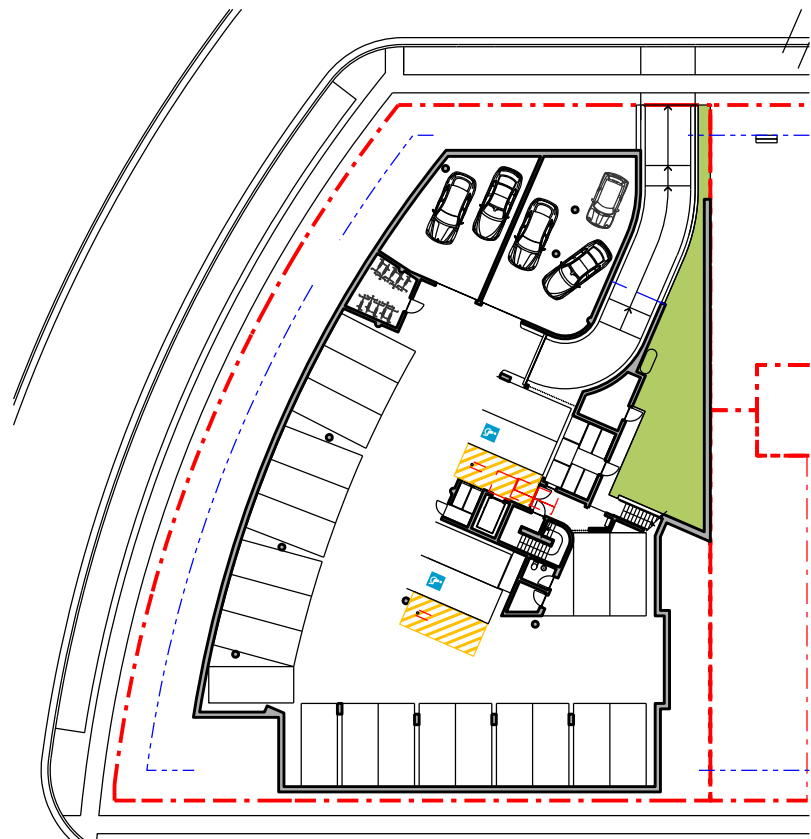
Construction Level 2



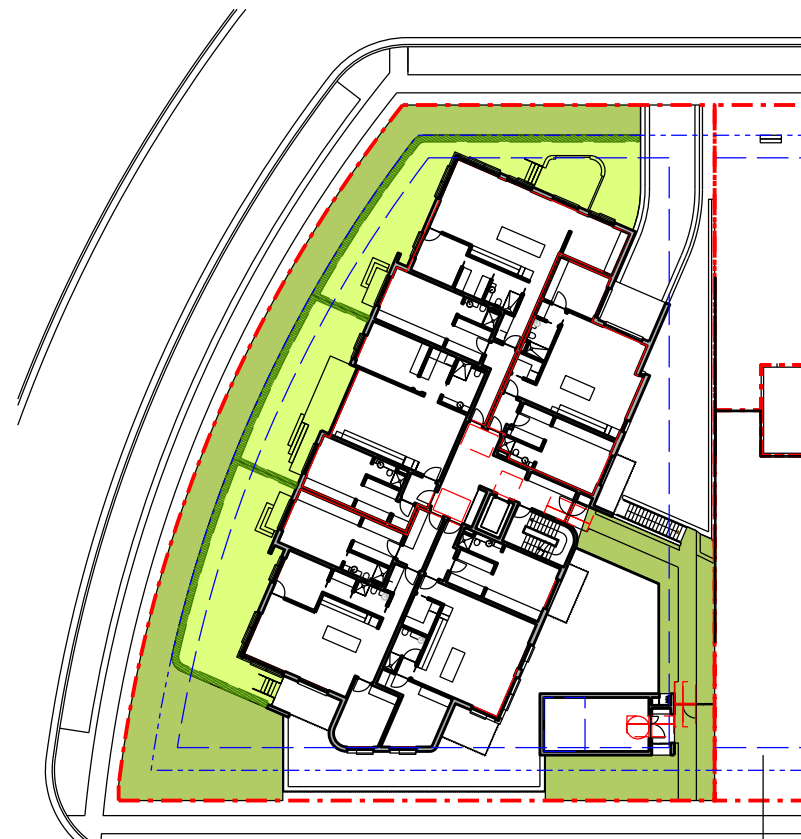
Construction Level 3

**Residential Site F  
Communal Open Space Calculations**

Site Area	1499m <sup>2</sup>
Communal Space	375m <sup>2</sup>
Percentage	25%
Dedicated Courtyards	220m <sup>2</sup>
Total Open Space	595m <sup>2</sup>
Total Percentage	39.5%
Compliance	>25%



Level 0 (Undercroft)



Construction Level 1 (Ground)

**Note on Open Space**

The communal open space has been reduced to give preference to private courtyards for the ground floor units. This is consistent with discussions and recommendations from the State Design Review Panel where it was recommended by the panel to provide increased courtyard areas for buildings F and J specifically. It was noted by the panel that the close proximity of public open space provides the recreational opportunities for the residents, and that this is preferable to communal space that has limited functionality.



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10910  
 Licensed Building Contractor (NSW) 253780C  
 2/114 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

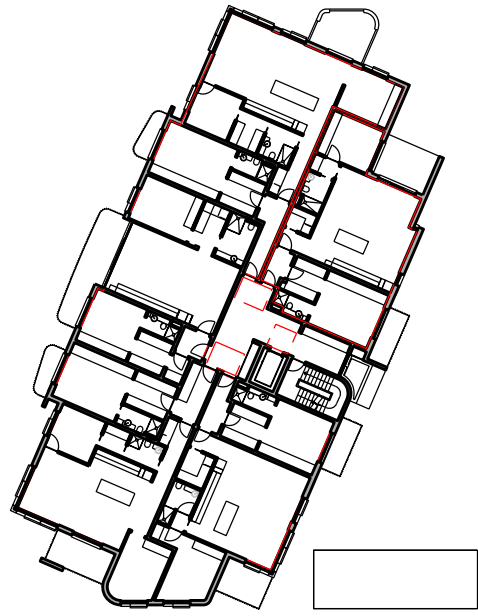
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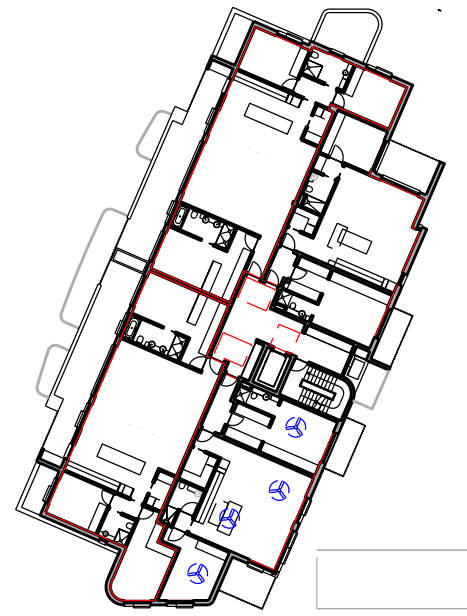
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSDA  
 Communal Open Space Calculations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	FA185	Rev.	C



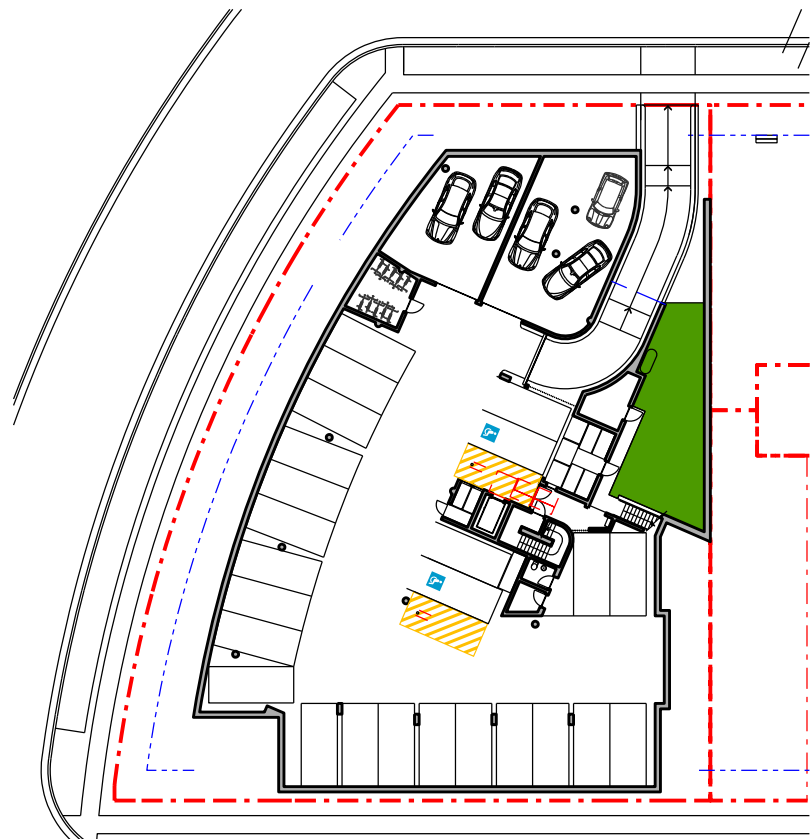
Construction Level 2



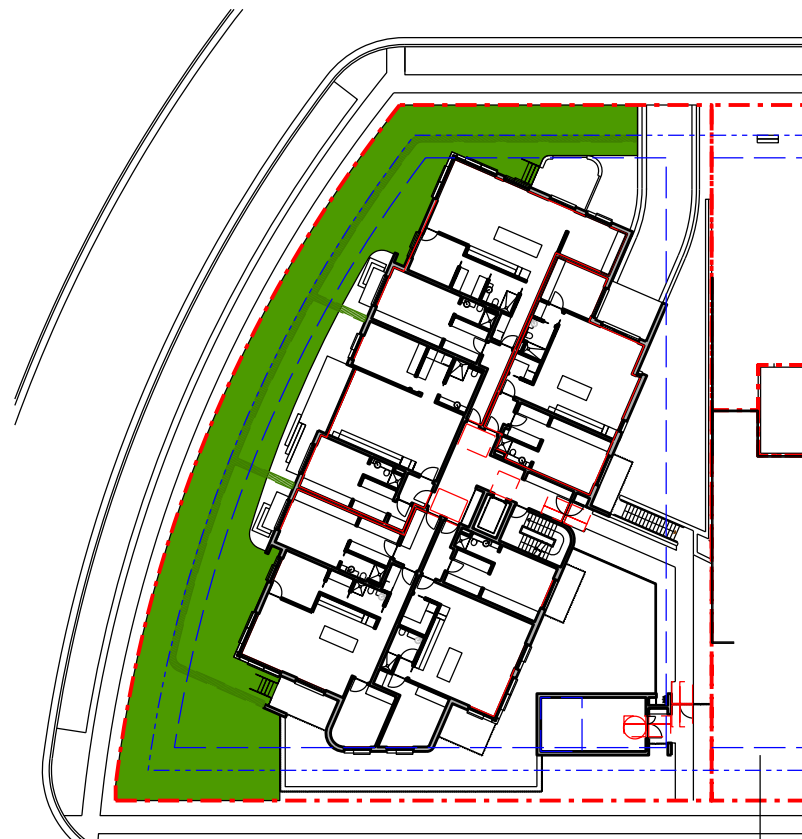
Construction Level 3

**Residential Site F  
Open Space Calculations**

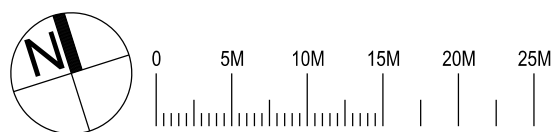
Site Area	1499m <sup>2</sup>
Deep Soil	414m <sup>2</sup>
Percentage	27.6%
Compliance	>7%



Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

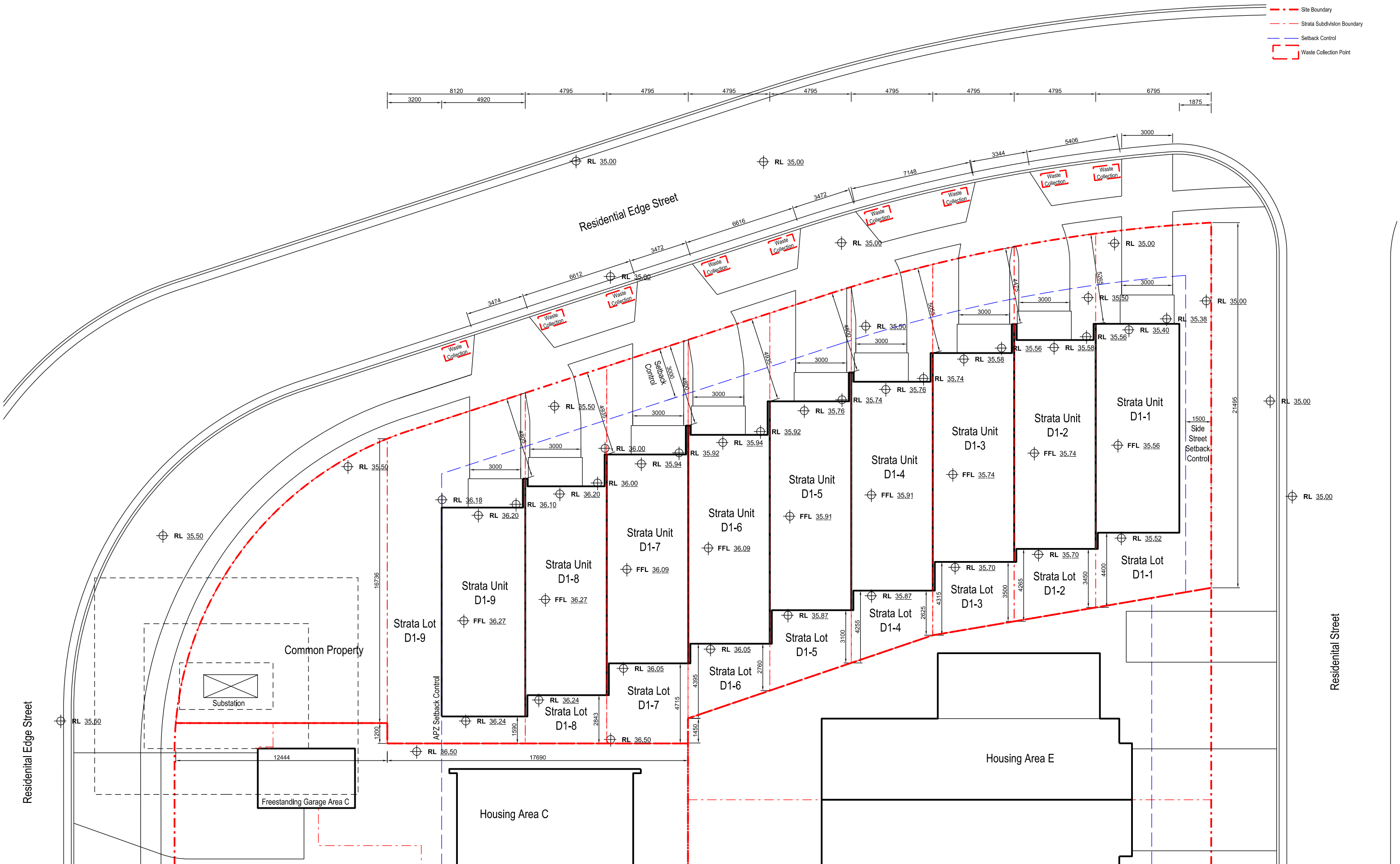
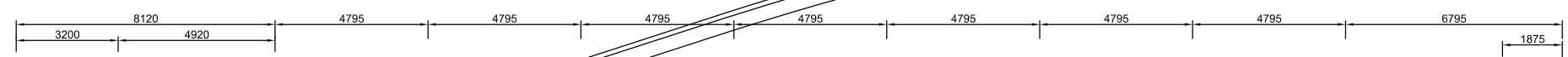


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site F - SSSA  
 Deep Soil Calculations

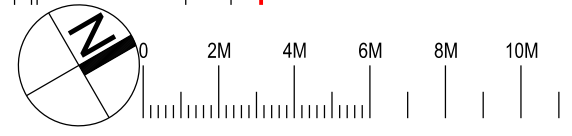
Drawn	DJD	Date	25th October 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	FA186	Rev.	B

- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - Waste Collection Waste Collection Point



Residential Edge Street

Residential Street



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 18113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 0230 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Housing Area D - SEDA  
 Site Plan

Drawn	DJD	Date	22nd June 2025
Scale	1:200 @ A3	Rev.	A
Job No.	SYB01	Dwg No.	DA100

# Precinct D Specification

**Wall and roof frames**  
90mm metal frames to all walls, mid floors and roof.

**External Floors**  
Concrete slab on ground, R2.3 insulation + R1.0 slab edge insulation(except garage areas)

**Suspended timber floor between levels**  
No insulation required where habitable rooms are below  
R4.0 insulation where subfloors, open suspended floor and garage are below

**External Walls**  
Brick veneer: Internal plasterboard lining, 90mm metal stud with R2.7 bulk insulation, drainage channel, brick veneer  
External wall colours: Medium

**Intertency Walls**  
Masonry cavity 110mm brick, 40mm gap, 110mm brick, plasterboard finish

**Walls within dwellings**  
Plasterboard on studs, no insulation required between conditioned rooms  
R2.7 insulation between garage and habitable rooms, and roof space and habitable rooms (if applicable)  
Unit D1-9 R2.7 insulation to all ground floor internal walls.

**Glazing Doors/Windows**  
Window frame colour: dark

Application	U-Value	SHGC	D1-5	D1-6	D1-7	D1-8	D1-1	D1-2	D1-3	D1-4	Glass	D1-9	SHGC	Glass
Units											DG			DG
Sliding Door	3.45	0.43	2.95	0.30							DG	2.46	0.47	DG
Awning	3.48	0.43	3.39	0.38							DG	2.47	0.44	DG
Louvre	4.30	0.57	4.29	0.47							SG	4.29	0.47	SG
Double Hung	3.47	0.45	2.99	0.30							DG	2.49	0.46	DG
Casement	3.46	0.46	2.95	0.30							DG	2.48	0.47	DG

**Window restrictors**  
Window restrictors are modelled in the first-floor bedrooms to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

Given values are AFRC total window system values (glass and frame)

**Roof**  
Pitched roof: Metal roof with R1.3 anticon blanket  
Natural ventilation to all pitched roof

External roof colour: medium

**Ceilings**  
Plasterboard ceiling with R6.0 insulation (minimum 215mm cavity space).  
Where attic roof or balcony is above, the insulation must extend to the external wall (R3.0 default 450mm from walls as per tech notes), default thermal bridging modelled.  
Plasterboard ceiling with R4.0 (minimum 215mm cavity space) insulation where skillion roof is above.  
R6.0 insulation above garage.

**Ceiling Penetrations**  
Sealed and insulated LED downlights, maximum one every 4.0m, modelled as per tech notes.

**Floor coverings**  
Carpet to bedrooms and upstairs hallways, tiles elsewhere

**BASIX Water Commitments**  
Fixtures  
Install showerheads minimum rating of 4 stars-High flow (>6.0 and ≤ 7.5 Litres/min)  
Install toilet flushing system with a minimum rating of 4 stars in each toilet  
Install tap with minimum rating of 5 stars in the kitchen  
Install taps with minimum rating of 5 stars in each bathroom

**Alternative Water**  
Install individual rainwater tanks, minimum 2,000L capacity collected from min. 50 to 100m² roof area (site dependant). Tanks connected to at least one outdoor tap and toilets

BASIX Energy Commitments

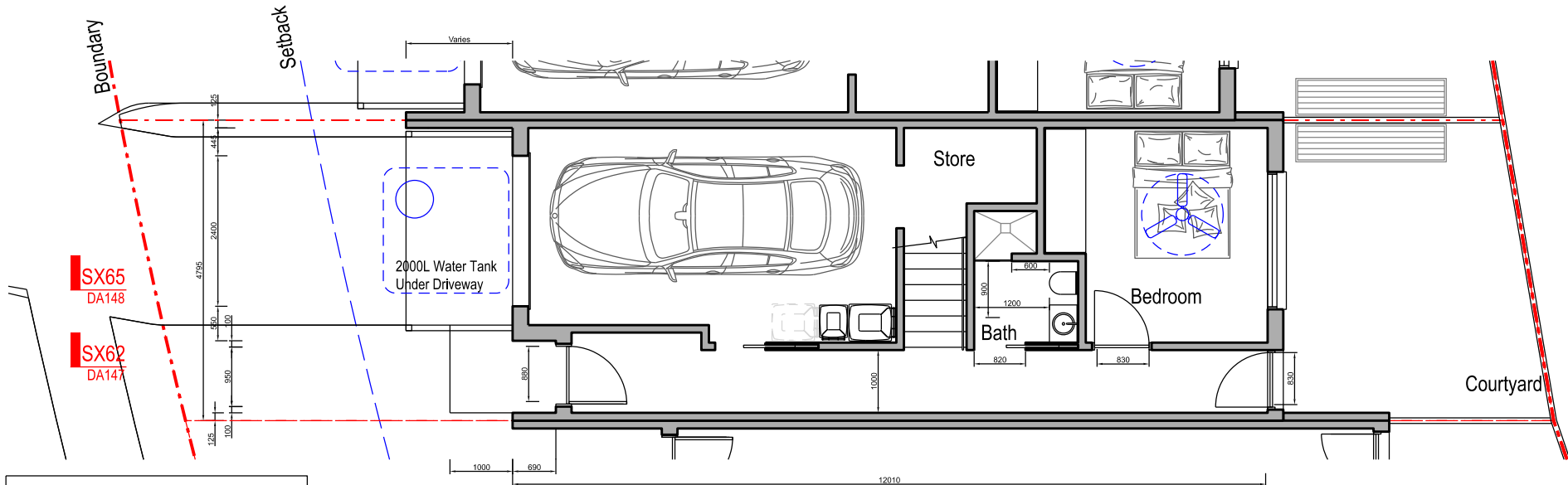
**Hot water system**  
Electric heat pump 26 to 30 STCs

**Cooling system**  
1 phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

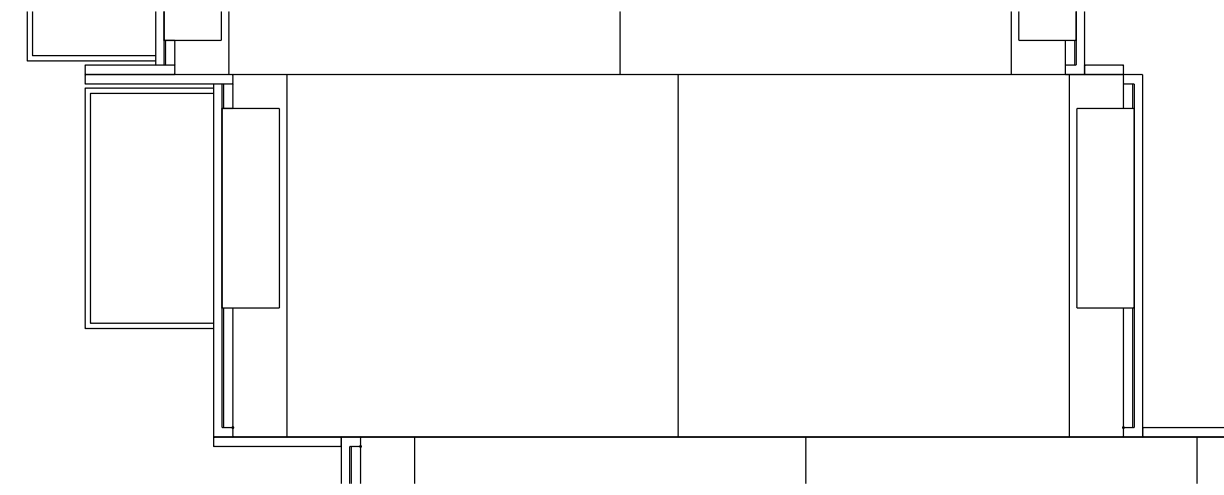
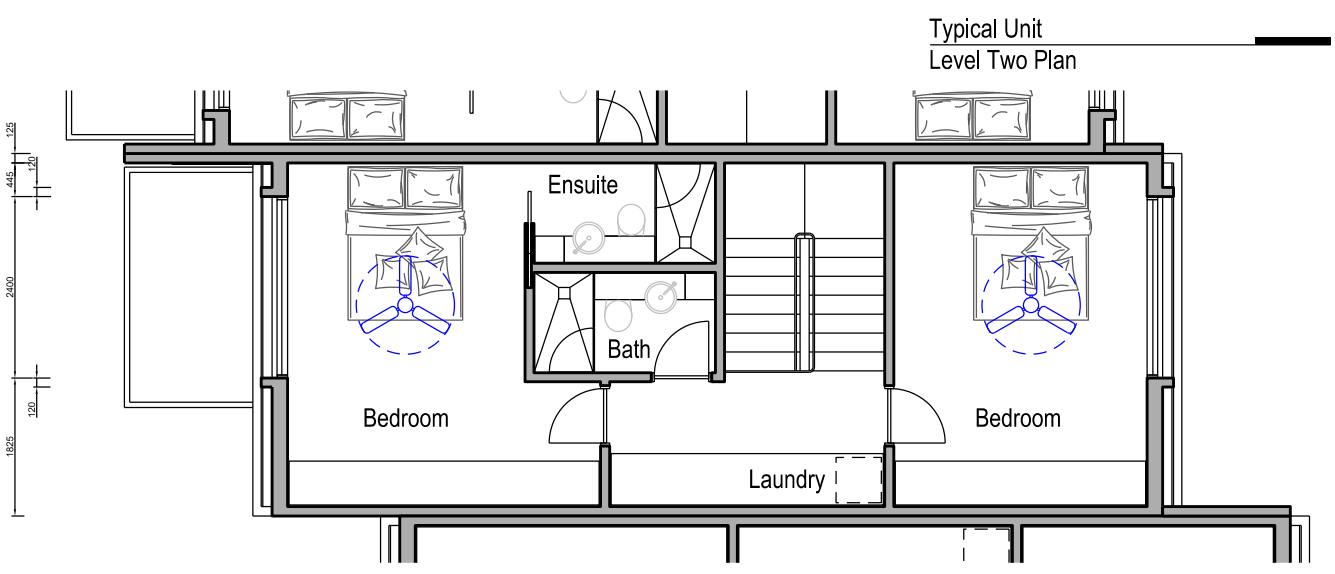
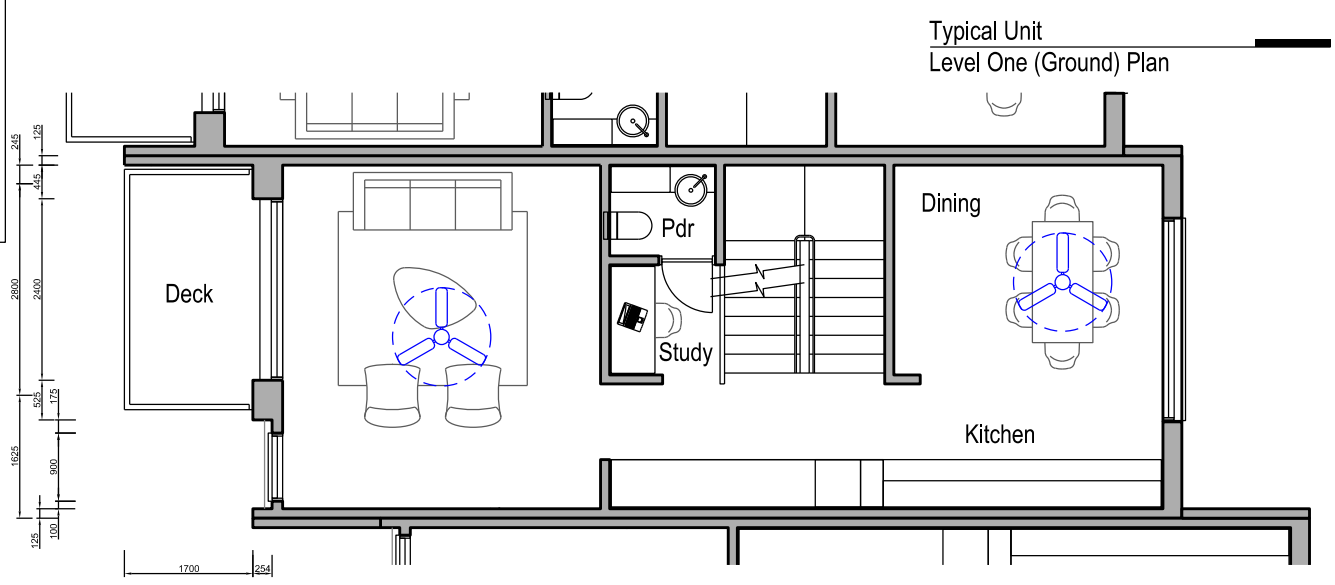
**Heating system**  
1-phase air-conditioning to living areas and bedrooms: EER 3.5-4.0

**Ventilation**  
1300 diameter ceiling fan to each bedroom and living area.  
Weather seals and draft protection to all external windows and doors  
Dampers to all exhaust fans  
Bathrooms individual fan, externally ducted connected to light, timer off  
Kitchen individual fan, externally ducted manual on/off switch  
Laundry room individual fan, externally ducted manual on/off switch

**Other**  
Induction cooktop, electric oven  
Outdoor clothes drying line



- Livable Housing Silver**
- 1. Step Free Entry Complies
  - 2. Entry Min 850 clear Complies
  - 3. Internal Doors 820 clear Passages to Door 1000 Complies
  - 4. Toilet width 900mm clearance 1200mm Complies
  - 5. Hobless Shower Complies
  - 6. Bath wall reinforcement Can Comply (at CC)
  - 7. Handrail to Stair Complies



SX65  
DA148

SX62  
DA147

SX65  
DA148

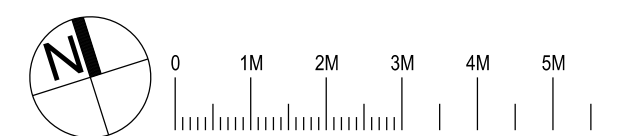
SX62  
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DA147



Nominated Architect: David Dove  
SPARC DEVELOPMENT  
EG Funds Management  
Level 21  
Governor Phillip Tower  
11 Finner Place  
Sydney NSW  
2000  
P: (02) 9233 7100  
W: www.eg.com.au

**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Housing Site D - SSSA  
Typical Unit Plans

Date	22nd June 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	DA140 Rev. E

# Precinct D Specification

**Wall and roof frames**  
90mm metal frames to all walls, mid floors and roof.

**External Floors**  
Concrete slab on ground, R2.3 insulation + R1.0 slab edge insulation(except garage areas)

**Suspended timber floor between levels**  
No insulation required where habitable rooms are below  
R4.0 insulation where subfloors, open suspended floor and garage are below

**External Walls**  
Brick veneer: Internal plasterboard lining, 90mm metal stud with R2.7 bulk insulation, drainage channel, brick veneer

External wall colours: Medium

**Intertency Walls**  
Masonry cavity 110mm brick, 40mm gap, 110mm brick, plasterboard finish

**Walls within dwellings**  
Plasterboard on studs, no insulation required between conditioned rooms  
R2.7 insulation between garage and habitable rooms, and roof space and habitable rooms (if applicable)  
Unit D1-9 R2.7 insulation to all ground floor internal walls.

**Glazing Doors/Windows**  
Window frame colour: dark

Units	D1-5, D1-6, D1-7, D1-8	D1-1, D1-2, D1-3, D1-4	Glass	D1-9	SHGC	Glass		
Application	U-Value	SHGC	U-Value	SHGC	U-Value	SHGC		
Sliding Door	3.45	0.43	2.95	0.30	DG	2.46	0.47	DG
Awning	3.48	0.43	3.39	0.38	DG	2.47	0.44	DG
Louvre	4.30	0.57	4.29	0.47	SG	4.29	0.47	SG
Double Hung	3.47	0.45	2.99	0.30	DG	2.49	0.46	DG
Casement	3.46	0.46	2.95	0.30	DG	2.48	0.47	DG

**Window restrictors**  
Window restrictors are modelled in the first-floor bedrooms to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

Given values are AFRC total window system values (glass and frame)

**Roof**  
Pitched roof: Metal roof with R1.3 anticon blanket  
Natural ventilation to all pitched roof

External roof colour: medium

**Ceilings**  
Plasterboard ceiling with R6.0 insulation (minimum 215mm cavity space).  
Where attic roof or balcony is above, the insulation must extend to the external wall (R3.0 default 450mm from walls as per tech notes), default thermal bridging modelled.

Plasterboard ceiling with R4.0 (minimum 215mm cavity space) insulation where skillion roof is above.  
R6.0 insulation above garage.

**Ceiling Penetrations**  
Sealed and insulated LED downlights, maximum one every 4.0m, modelled as per tech notes.

**Floor coverings**  
Carpet to bedrooms and upstairs hallways, tiles elsewhere

**BASIX Water Commitments**  
Fixtures  
Install showerheads minimum rating of 4 stars-High flow (>6.0 and <= 7.5 Litres/min)  
Install toilet flushing system with a minimum rating of 4 stars in each toilet  
Install tap with minimum rating of 5 stars in the kitchen  
Install taps with minimum rating of 5 stars in each bathroom

**Alternative Water**  
Install individual rainwater tanks, minimum 2,000L capacity collected from min. 50 to 100m² roof area (site dependant). Tanks connected to at least one outdoor tap and toilets

BASIX Energy Commitments

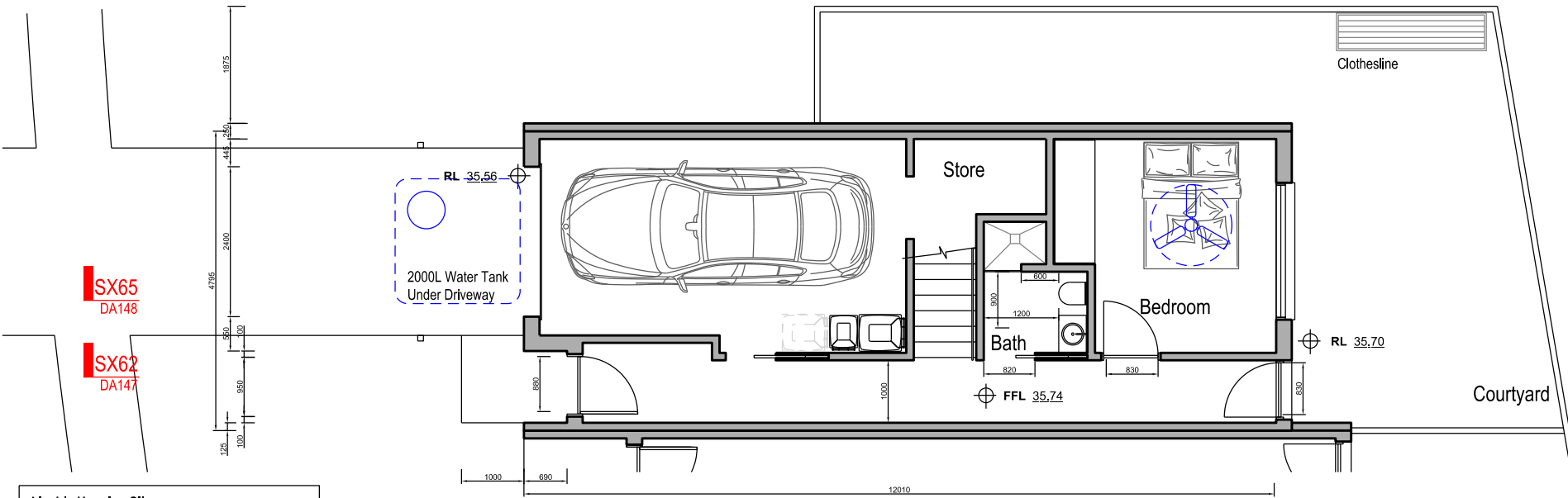
**Hot water system**  
Electric heat pump 26 to 30 STCs

**Cooling system**  
1 phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

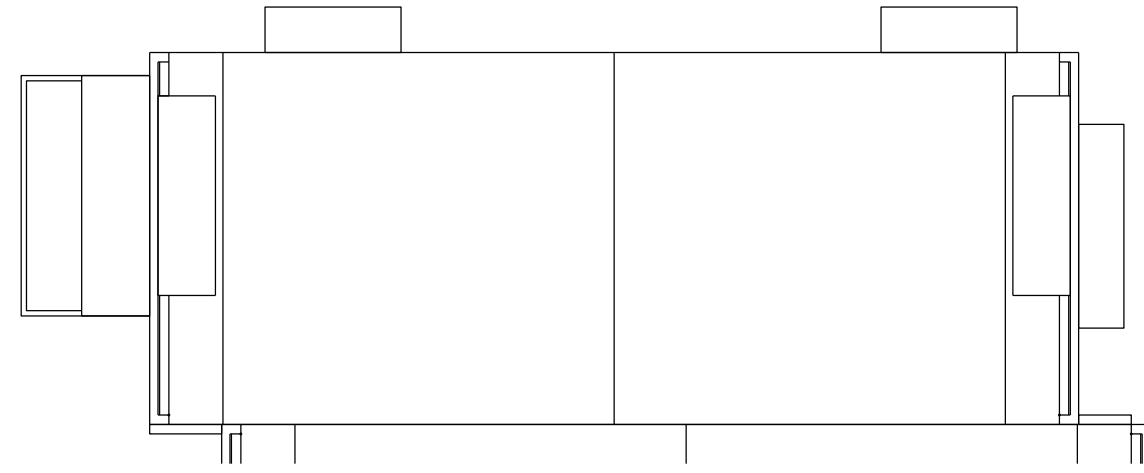
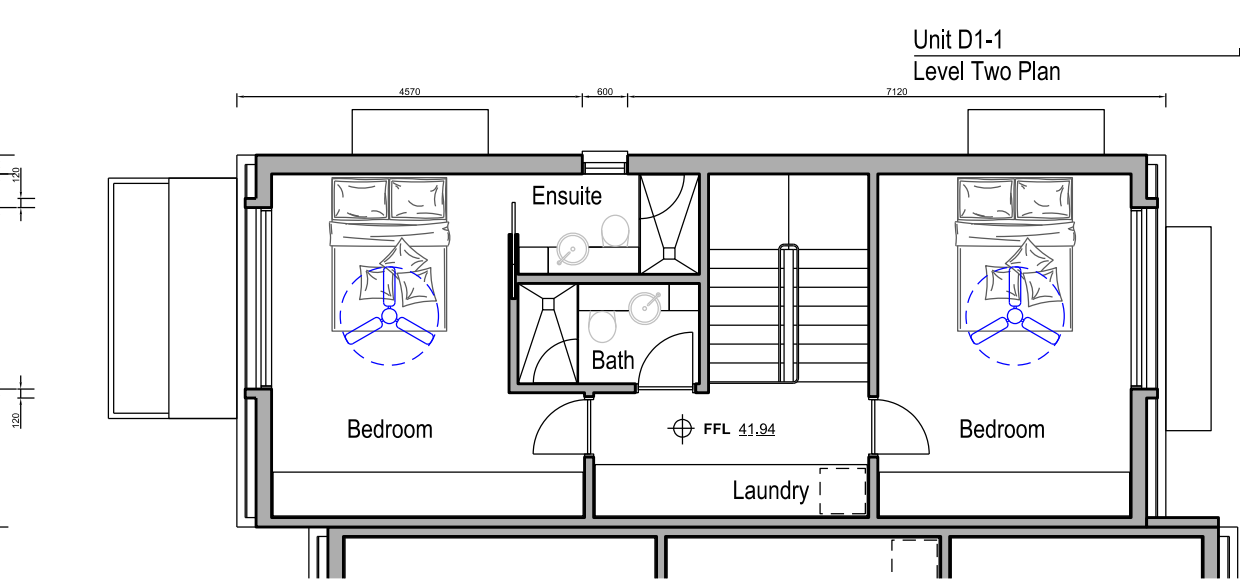
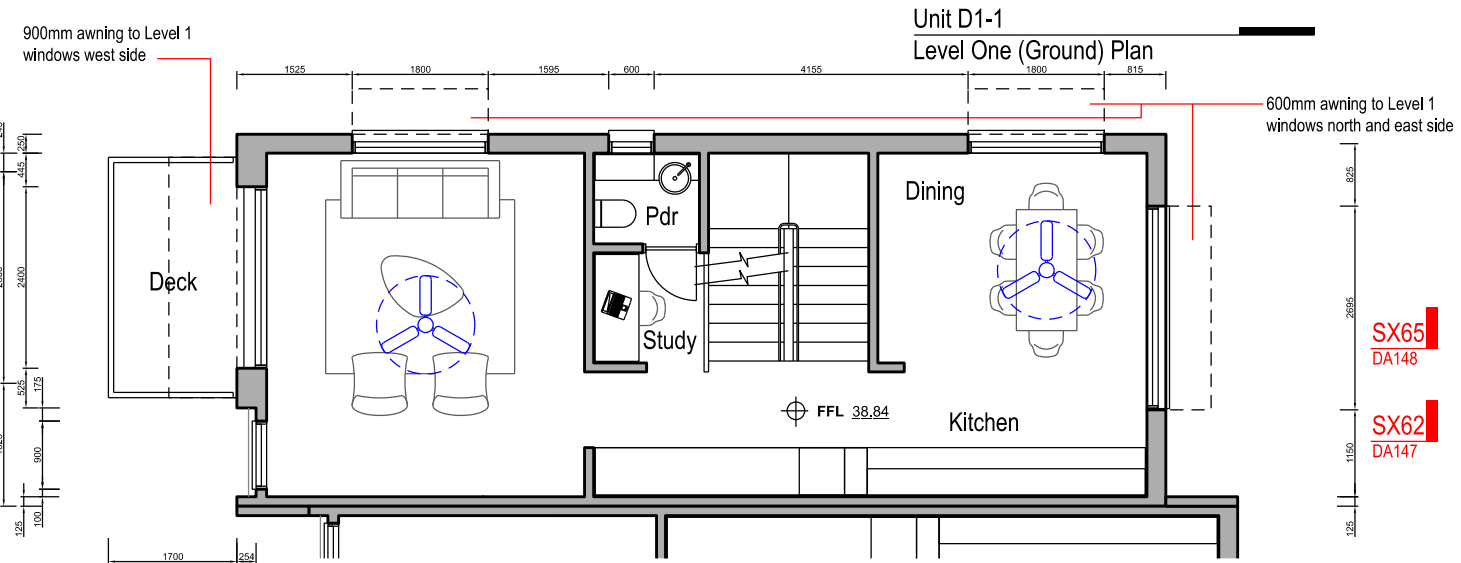
**Heating system**  
1-phase air-conditioning to living areas and bedrooms: EER 3.5-4.0

**Ventilation**  
1300 diameter ceiling fan to each bedroom and living area.  
Weather seals and draft protection to all external windows and doors  
Dampers to all exhaust fans  
Bathrooms individual fan, externally ducted connected to light, timer off  
Kitchen individual fan, externally ducted manual on/off switch  
Laundry room individual fan, externally ducted manual on/off switch

**Other**  
Induction cooktop, electric oven  
Outdoor clothes drying line



- Livable Housing Silver**
- 1. Step Free Entry Complies
  - 2. Entry Min 850 clear Complies
  - 3. Internal Doors 820 clear Passages to Door 1000 Complies
  - 4. Toilet width 900mm clearance 1200mm Complies
  - 5. Hobless Shower Complies
  - 6. Bath wall reinforcement Can Comply (at CC)
  - 7. Handrail to Stair Complies



SX65  
DA148

SX62  
DA147

SX65  
DA148

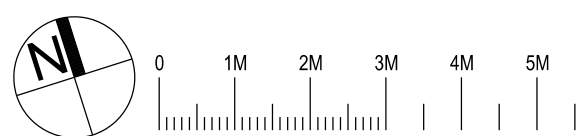
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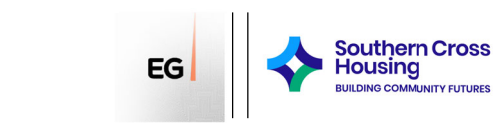
SX65  
DA148

SX62  
DA147



Nominated Architect: David Dove  
Branch (Hons), AssocAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) No. 19103  
Licensed Building Contractor (NSW) 253780C  
291/04 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com

EG Funds Management  
Level 21  
Governor Philip Tower  
11 Farrer Place  
Sydney, NSW  
2000  
P. (02) 9230 7100  
W. www.eg.com.au



**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Housing Site D - SSSA  
Unit D1-1 Plans

Date	22nd June 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	DA141
Rev.	E		

# Precinct D Specification

**Wall and roof frames**  
90mm metal frames to all walls, mid floors and roof.

**External Floors**  
Concrete slab on ground, R2.3 insulation + R1.0 slab edge insulation(except garage areas)

**Suspended timber floor between levels**  
No insulation required where habitable rooms are below  
R4.0 insulation where subfloors, open suspended floor and garage are below

**External Walls**  
Brick veneer: Internal plasterboard lining, 90mm metal stud with R2.7 bulk insulation, drainage channel, brick veneer

External wall colours: Medium

**Intertency Walls**  
Masonry cavity 110mm brick, 40mm gap, 110mm brick, plasterboard finish

**Walls within dwellings**  
Plasterboard on studs, no insulation required between conditioned rooms  
R2.7 insulation between garage and habitable rooms, and roof space and habitable rooms (if applicable)  
Unit D1-9 R2.7 insulation to all ground floor internal walls.

**Glazing Doors/Windows**  
Window frame colour: dark

Units	D1-5, D1-6, D1-7, D1-8	D1-1, D1-2, D1-3, D1-4	D1-9	Glass	D1-9	SHGC	Glass
Application	U-Value	SHGC	U-Value	SHGC	U-Value	SHGC	U-Value
Sliding Door	3.45	0.43	2.95	0.30	DG	2.46	0.47
Awning	3.48	0.43	3.39	0.38	DG	2.47	0.44
Louvre	4.30	0.57	4.29	0.47	SG	4.29	0.47
Double Hung	3.47	0.45	2.99	0.30	DG	2.49	0.46
Casement	3.46	0.46	2.95	0.30	DG	2.48	0.47

**Window restrictors**  
Window restrictors are modelled in the first-floor bedrooms to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

Given values are AFRC total window system values (glass and frame)

**Roof**  
Pitched roof: Metal roof with R1.3 anticon blanket  
Natural ventilation to all pitched roof

External roof colour: medium

**Ceilings**  
Plasterboard ceiling with R6.0 insulation (minimum 215mm cavity space).  
Where attic roof or balcony is above, the insulation must extend to the external wall (R3.0 default 450mm from walls as per tech notes), default thermal bridging modelled

Plasterboard ceiling with R4.0 (minimum 215mm cavity space) insulation where skillion roof is above.

R6.0 insulation above garage.

**Ceiling Penetrations**  
Sealed and insulated LED downlights, maximum one every 4.0m, modelled as per tech notes.

**Floor coverings**  
Carpet to bedrooms and upstairs hallways, tiles elsewhere

**BASIX Water Commitments**  
Fixtures  
Install showerheads minimum rating of 4 stars-High flow (>6.0 and <= 7.5 Litres/min)  
Install toilet flushing system with a minimum rating of 4 stars in each toilet  
Install tap with minimum rating of 5 stars in the kitchen  
Install taps with minimum rating of 5 stars in each bathroom

**Alternative Water**  
Install individual rainwater tanks, minimum 2,000L capacity collected from min. 50 to 100m² roof area (site dependant). Tanks connected to at least one outdoor tap and toilets

BASIX Energy Commitments

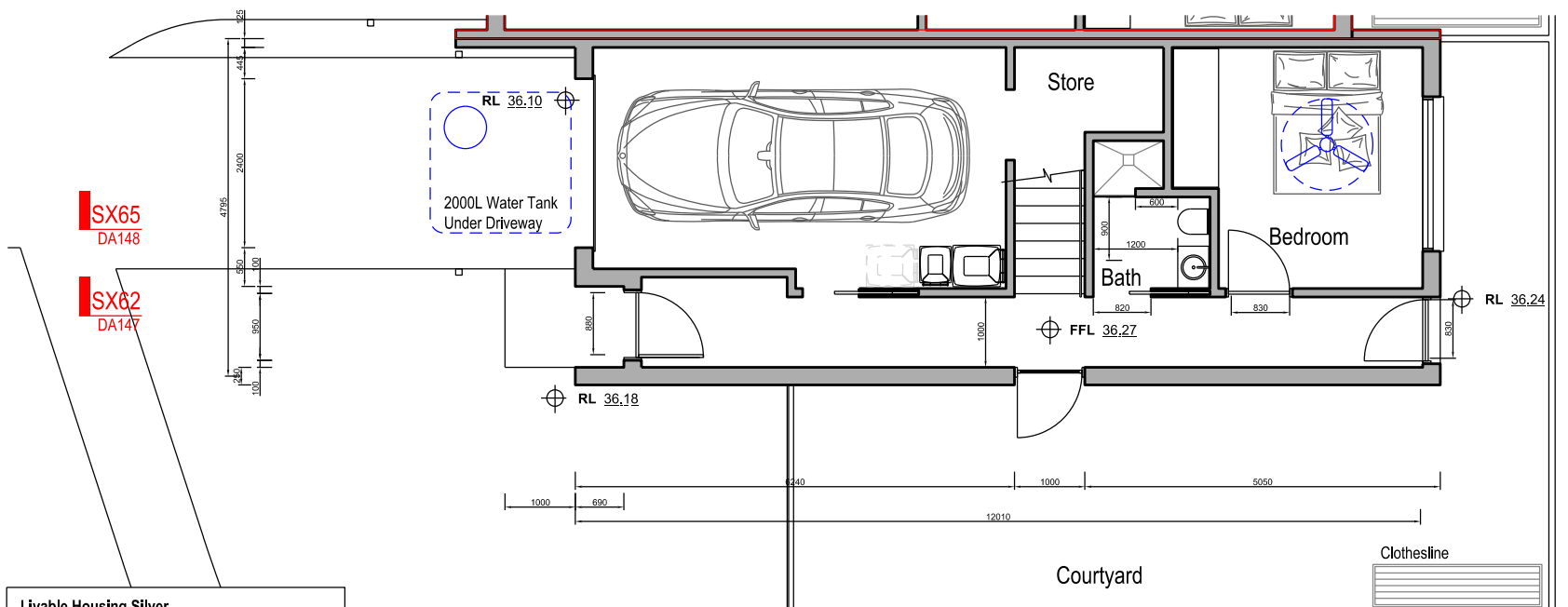
**Hot water system**  
Electric heat pump 26 to 30 STCs

**Cooling system**  
1 phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

**Heating system**  
1-phase air-conditioning to living areas and bedrooms: EER 3.5-4.0

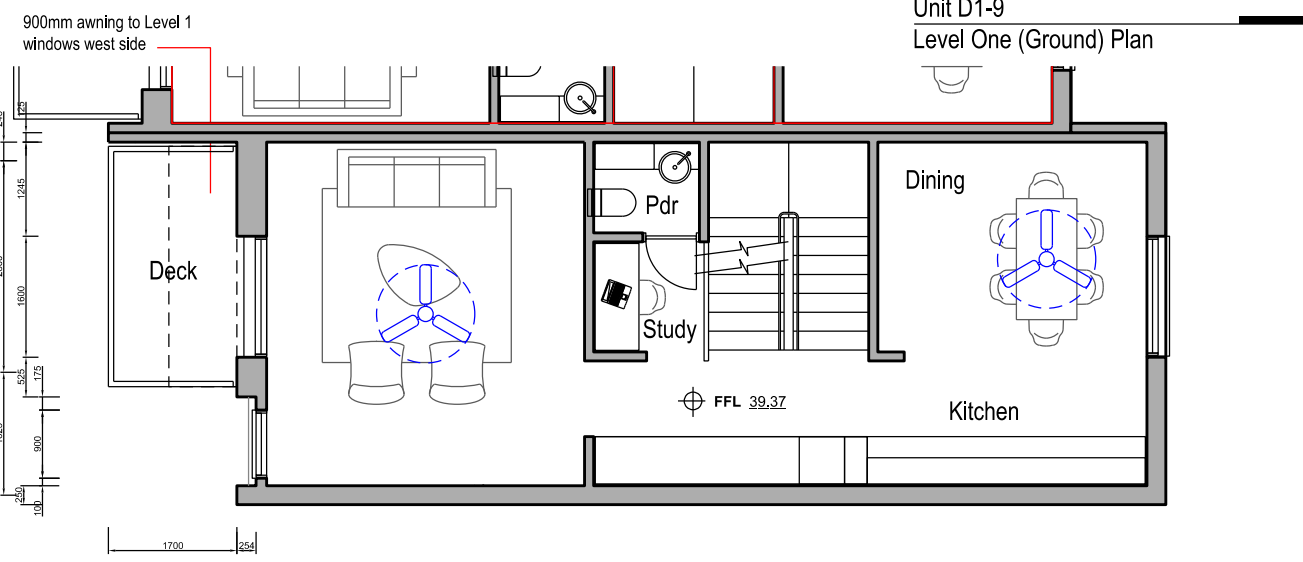
**Ventilation**  
1300 diameter ceiling fan to each bedroom and living area.  
Weather seals and draft protection to all external windows and doors  
Dampers to all exhaust fans  
Bathrooms individual fan, externally ducted connected to light, timer off  
Kitchen individual fan, externally ducted manual on/off switch  
Laundry room individual fan, externally ducted manual on/off switch

**Other**  
Induction cooktop, electric oven  
Outdoor clothes drying line

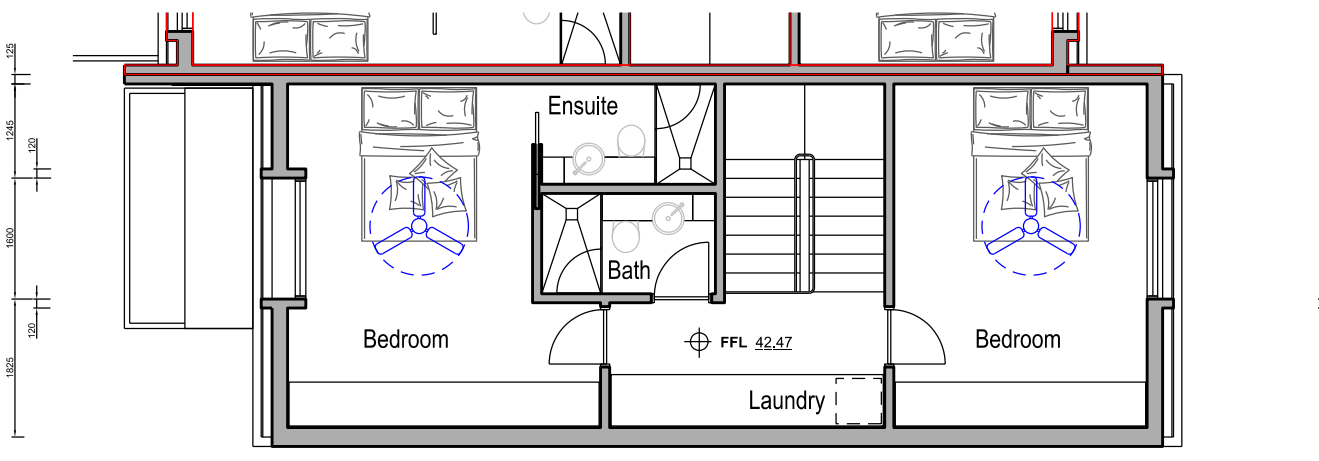


Unit D1-9  
Level One (Ground) Plan

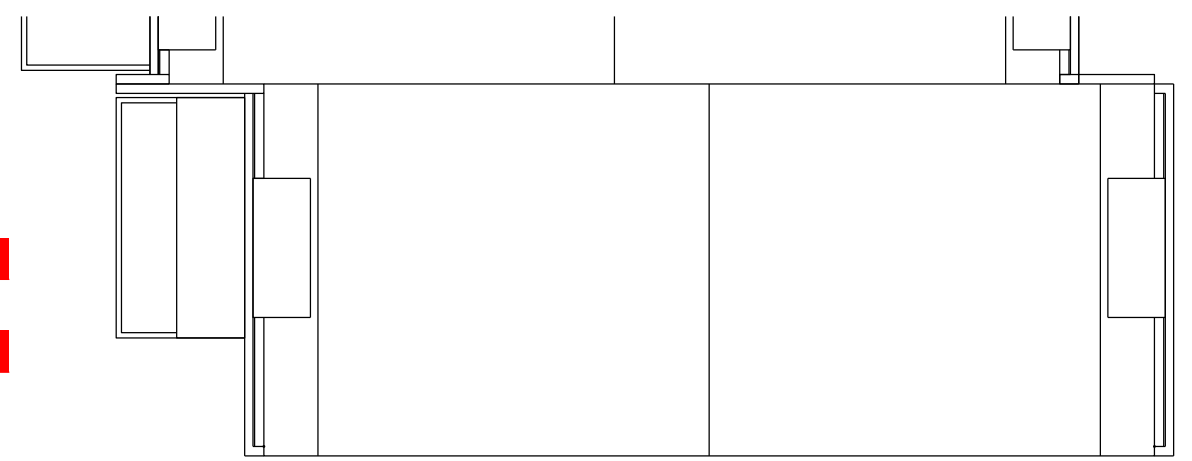
- Livable Housing Silver**
- 1. Step Free Entry
  - 2. Entry Min 850 clear
  - 3. Internal Doors 820 clear
  - 4. Toilet width 900mm
  - 5. Hobless Shower
  - 6. Bath wall reinforcement
  - 7. Handrail to Stair
- Complies  
Complies  
Complies  
Complies  
Complies  
Can Comply (at CC)  
Complies



Unit D1-9  
Level Two Plan



Unit D1-9  
Level Three Plan



Unit D1-9  
Roof Plan

SX65  
DA148

SX62  
DA147

SX65  
DA148

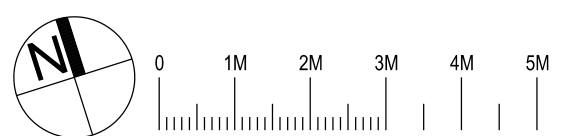
SX62  
DA147

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DA148

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DA147



Nominated Architect: David Dove  
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Registered Architect (Vic) No. 19113  
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M. 0410 025 892  
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EG Funds Management  
Level 21  
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11 Finner Place  
Sydney, NSW  
2000  
P. (02) 9230 7100  
W. www.eg.com.au

**SPARC**  
DEVELOPMENT



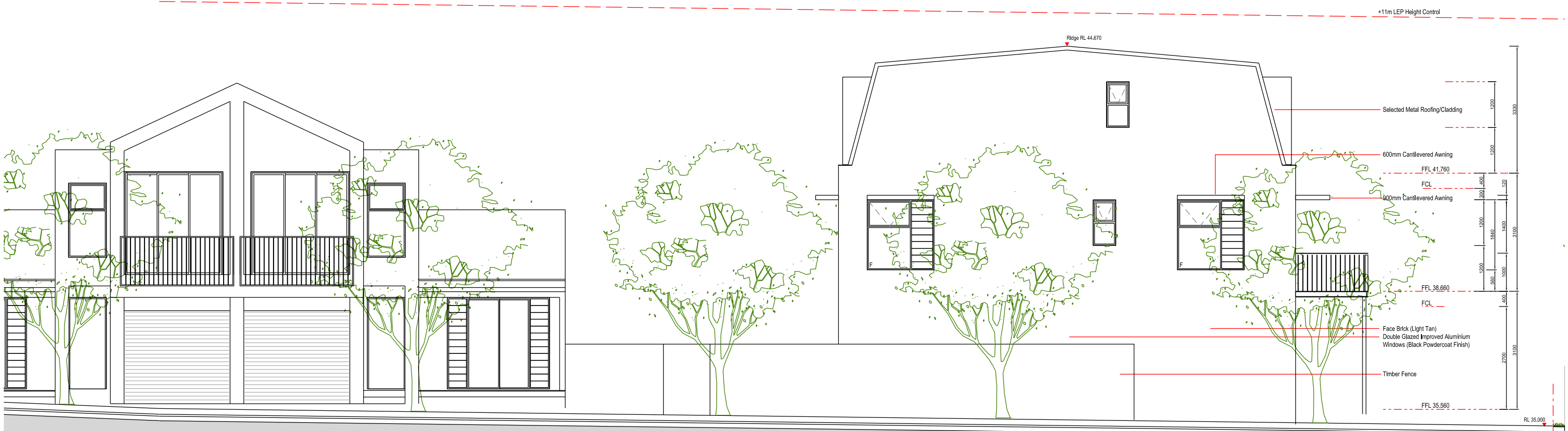
**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Housing Site D - SSSA  
Unit D1-9 Plans

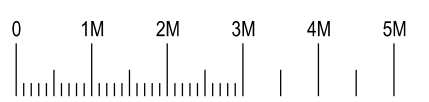
Date	22nd June 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	DA142
Rev.	E		

12473  
Precinct E Unit 1

Varies  
Precinct D North End Unit (D1-1)



North Unit  
North (Side Street) Elevation



Nominated Architect: David Dove  
BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) No. 18103  
Licensed Building Contractor (NSW) 253780C  
29/104 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
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**SPARC**  
DEVELOPMENT

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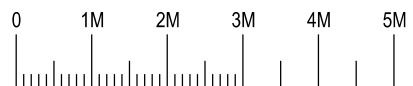
**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Housing Site D - SSSA  
North (Street) Elevation

Date	28th October 2024		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	DA145 Rev. C



Unit Type One  
South (Side Street) Elevation



Nominated Architect: David Dove  
 BArch (Hons), Asst Dip (AppSci (Arch)), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



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 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 6233 7100  
 W. www.eg.com.au



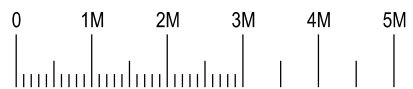
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Housing Site D - SSSA  
 South (Street) Elevation

Drawn	DJD	Date	22nd June 2025
Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	DA146	Rev.	C



Unit D Corridor Section  
Indicative Section (62)



Nominated Architect: David Dove  
BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) 19913  
Licensed Building Contractor (NSW) 253780C  
29/104 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com

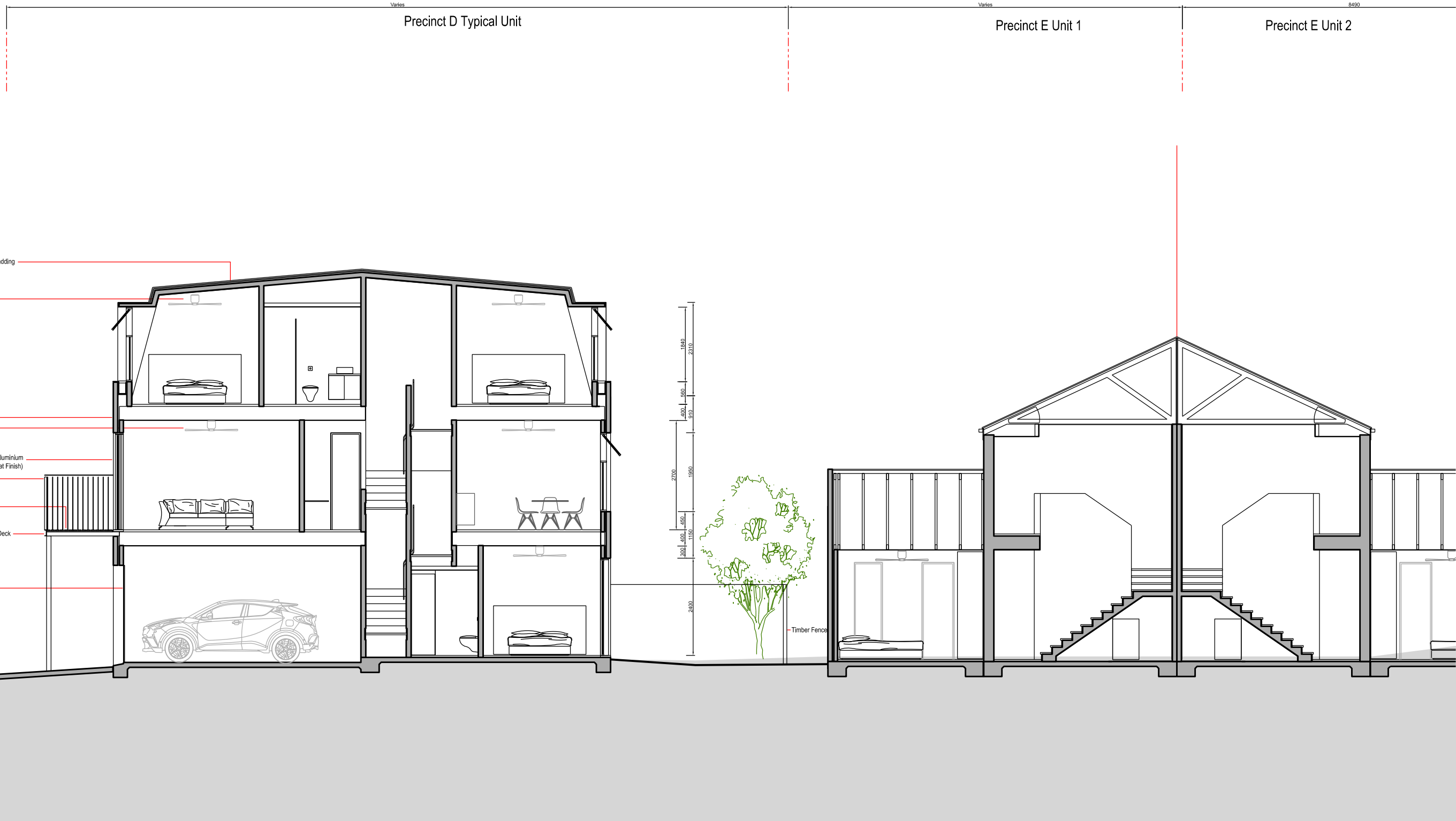
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Governor Philip Tower  
11 Finner Place  
Sydney, NSW  
2000  
P. (02) 9233 7100  
W. www.eg.com.au



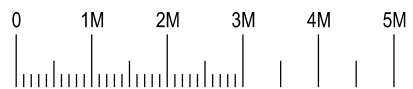
**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Housing Site D - SSSA  
Typical Unit Section (62)

Drawn	DJD	Date	28th October 2024
Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	DA147	Rev.	C



Typical Unit Cross Section  
Indicative Section (65)



Nominated Architect: David Dove  
BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) No. 19113  
Licensed Building Contractor (NSW) 253780C  
29/104 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com



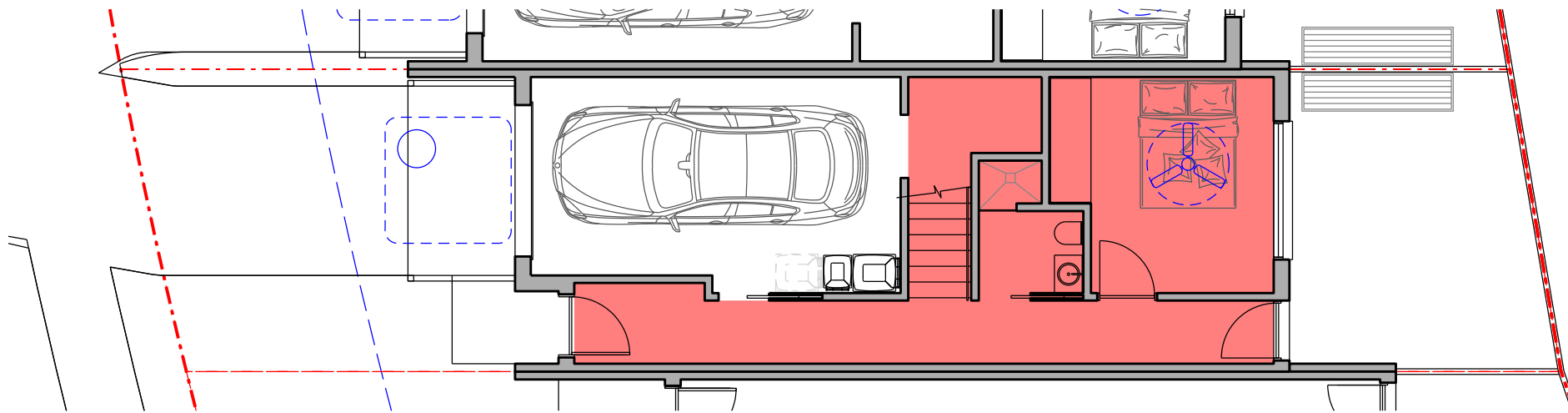
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Governor Philip Tower  
11 Farmer Place  
Sydney, NSW  
2000  
P. (02) 9233 7100  
F. www.eg.com.au



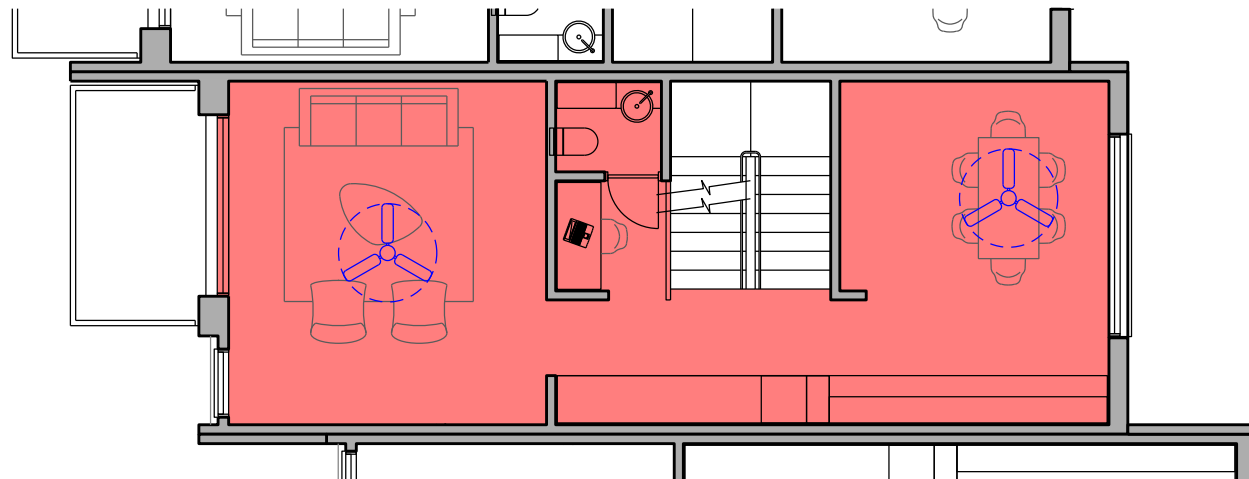
**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Housing Site D - SSSA  
Typical Unit Section (65)

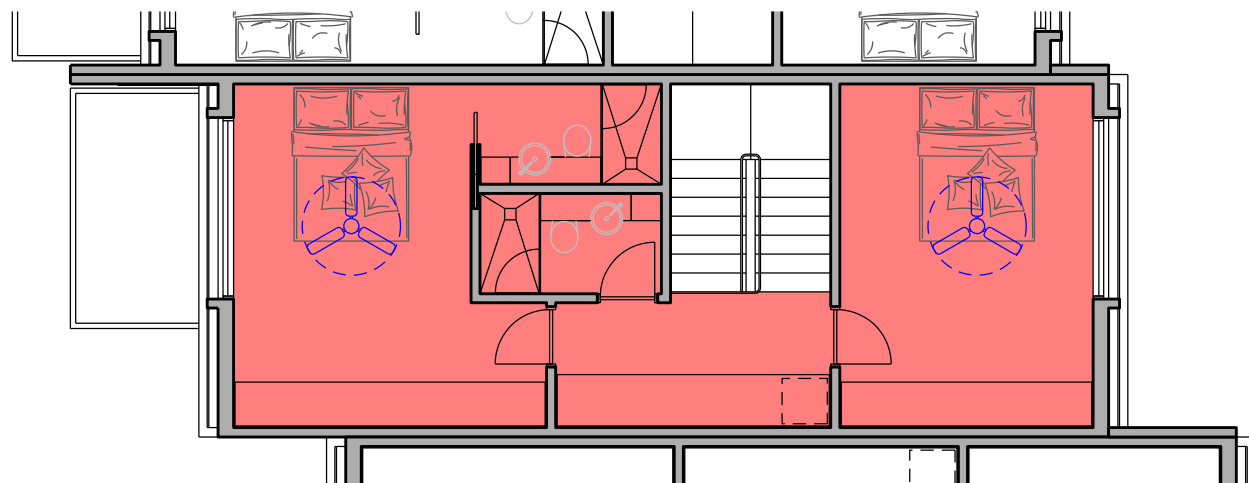
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Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	DA148	Rev.	C



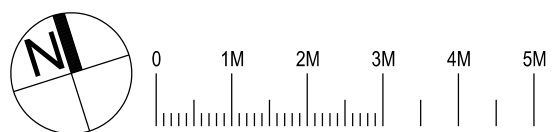
Typical Unit  
Level One (Ground) Plan



Typical Unit  
Level Two Plan



Typical Unit  
Level Three Plan



Nominated Architect: David Dove  
 BArch (Hons), ASDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 291/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



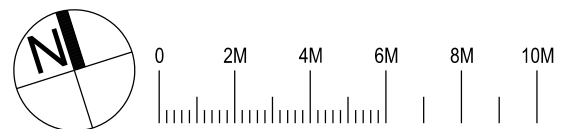
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Housing Site D - SSSA  
 Typical Unit Plans

Date	22nd June 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	DA140 Rev. E

# Open Space

Unit	Site Area	Open Space	%
D1-1	148	69	47%
D1-2	106	28	26%
D1-3	105	27	26%
D1-4	105	27	26%
D1-5	106	27	26%
D1-6	107	28	26%
D1-7	110	31	28%
D1-8	103	24	23%
D1-9	157	76	48%
Common	135	135	100%
<b>Total</b>	<b>1182m2</b>	<b>472m2</b>	<b>40%</b>



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 BArch (Hons), AAADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/114 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



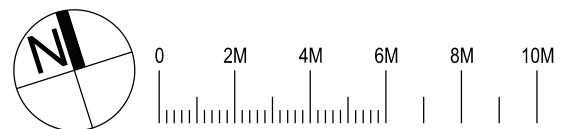
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Housing Area D - SSDA  
 Open Space Area Calculation

Drawn	DJD	Date	22nd June 2025
Job No.	SYB01	Scale	1:200 @ A3
		Dwg No.	DA185
		Rev.	E

# Deep Soil Planting

	Site Area	Deep Soil	%
<b>Total</b>	<b>1182m<sup>2</sup></b>	<b>439m<sup>2</sup></b>	<b>37%</b>



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 BAArch (Hons), ASADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



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 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
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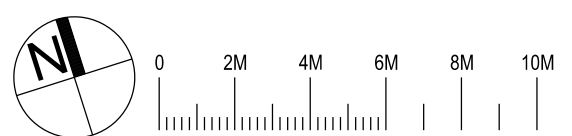
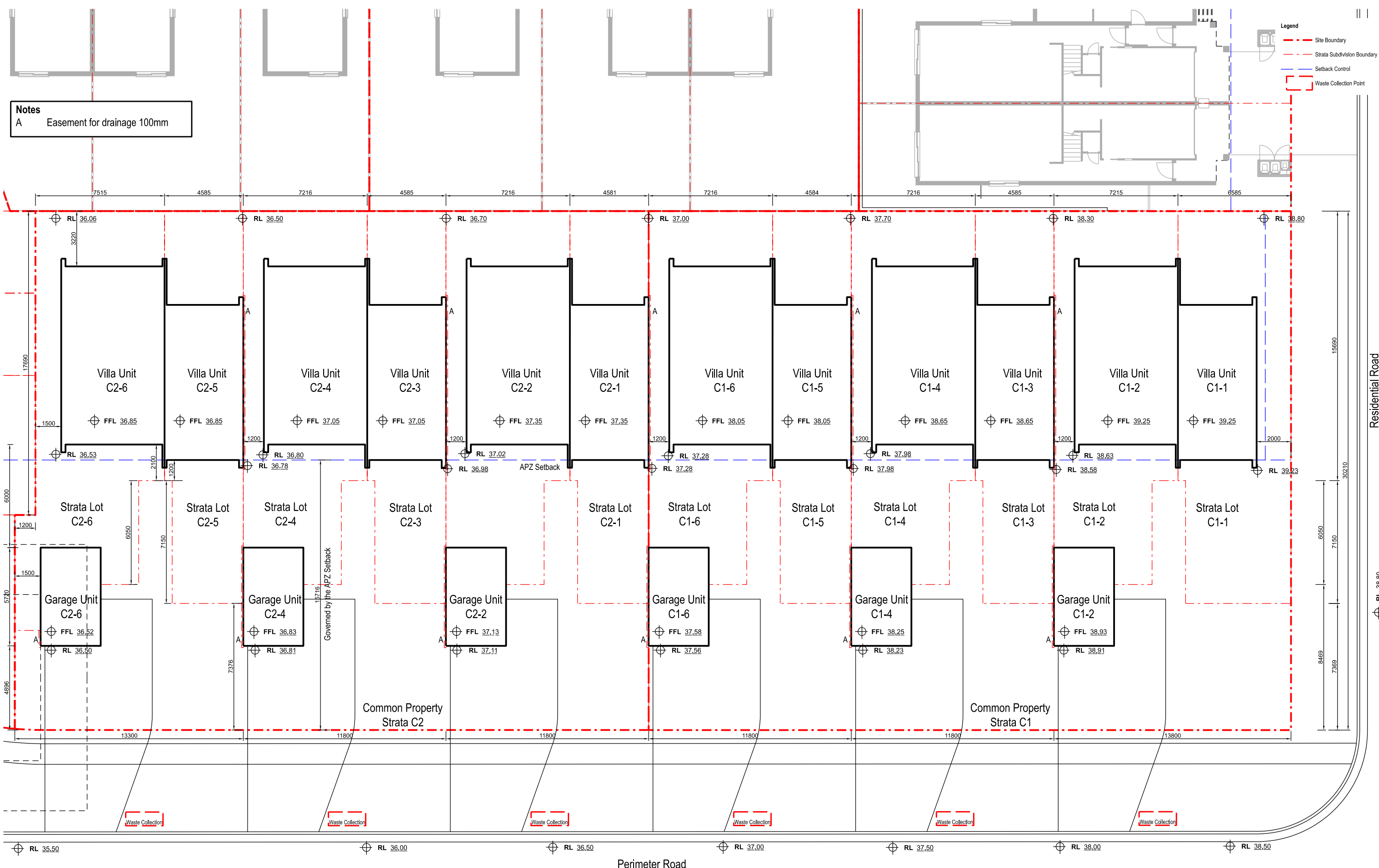
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Housing Area D - SEDA  
 Deep Soil Area Calculation

Drawn	DJD	Date	22nd June 2025
Job No.	SYB01	Scale	1:200 @ A3
		Dwg No.	DA186
		Rev.	B

**Notes**  
 A Easement for drainage 100mm

**Legend**  
 - - - Site Boundary  
 - - - Strata Subdivision Boundary  
 - - - Setback Control  
 [ ] Waste Collection Point



Nominated Architect: David Dove  
 BAArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 18013  
 Licensed Building Contractor (NSW) 253780C  
 29/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



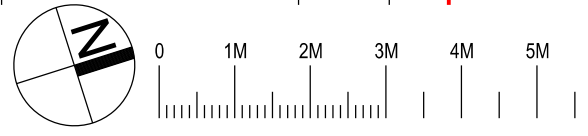
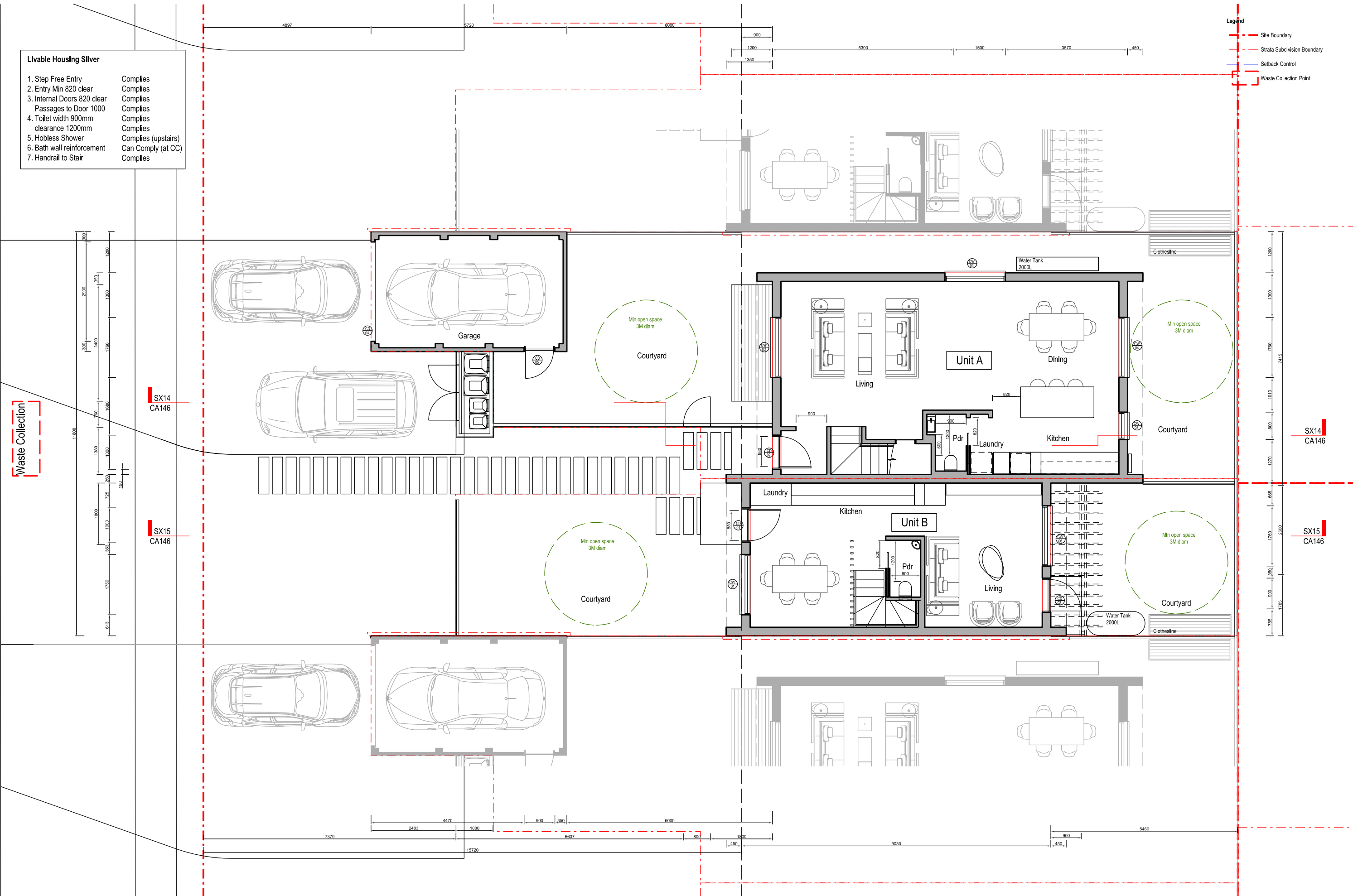
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Housing Site C - Proposed SSDA  
 Site Plan

Date	22 June 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	CA100 Rev. A

- Livable Housing Silver**
- |                             |                     |
|-----------------------------|---------------------|
| 1. Step Free Entry          | Complies            |
| 2. Entry Min 820 clear      | Complies            |
| 3. Internal Doors 820 clear | Complies            |
| Passages to Door 1000       | Complies            |
| 4. Toilet width 900mm       | Complies            |
| clearance 1200mm            | Complies            |
| 5. Hobless Shower           | Complies (upstairs) |
| 6. Bath wall reinforcement  | Can Comply (at CC)  |
| 7. Handrail to Stair        | Complies            |

- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - - - Waste Collection Point



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 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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 Governor Phillip Tower  
 11 Finner Place  
 Sydney NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

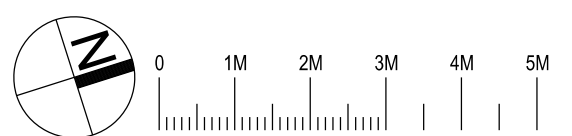
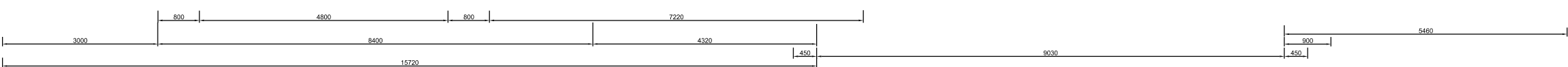
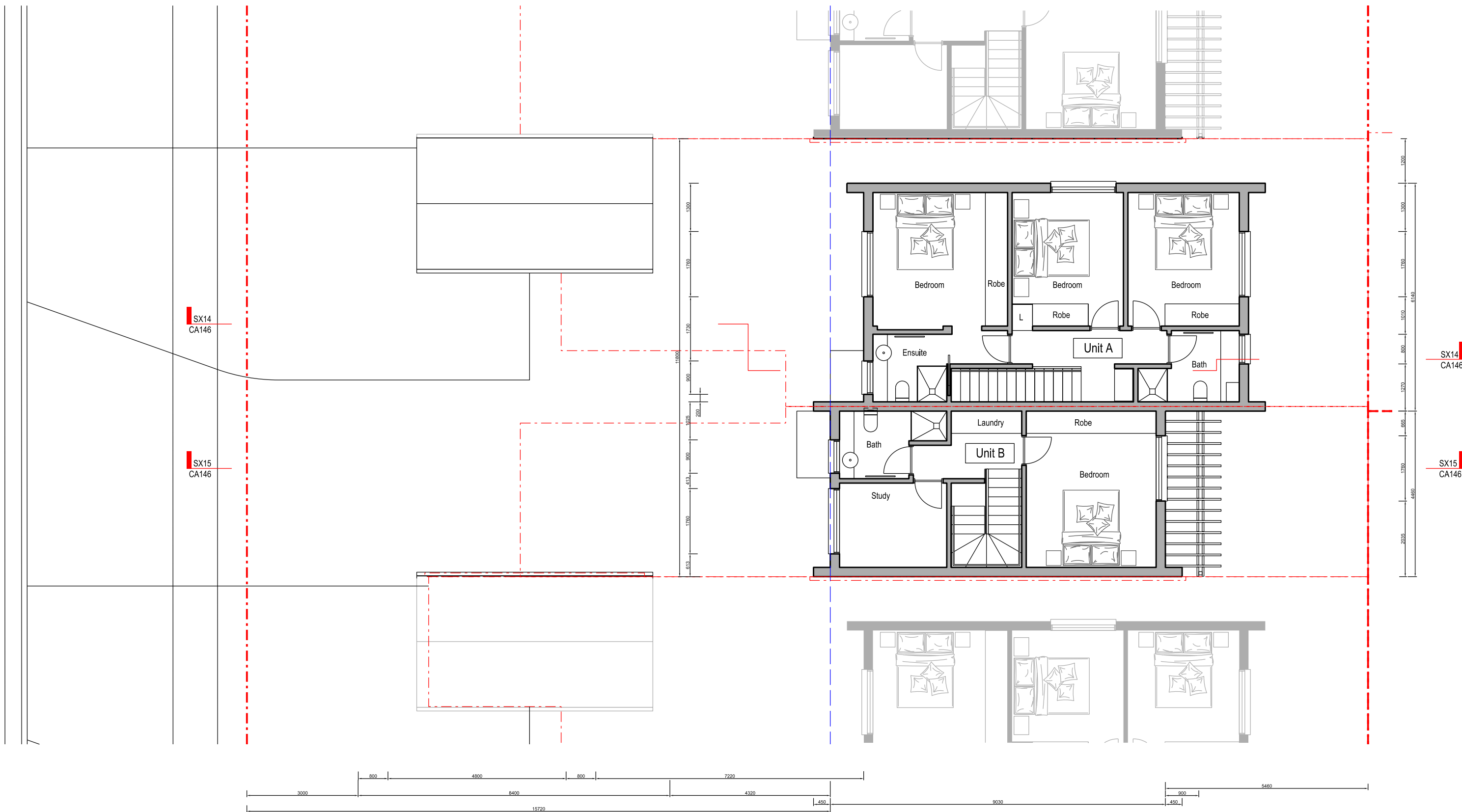
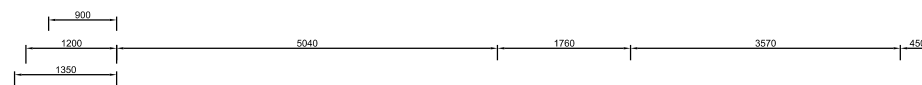


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Multi-Dwelling Housing Site C - SSSA  
 Typical Ground Floor Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	CA140 Rev. E

- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - Waste Collection Point



Nominated Architect: David Dove  
 BArch (Hons), AAADipAppSci (Arch), Cert IV (Building)  
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 Licensed Building Contractor (NSW) 253780C  
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 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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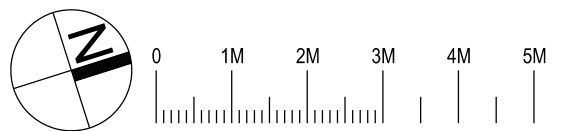
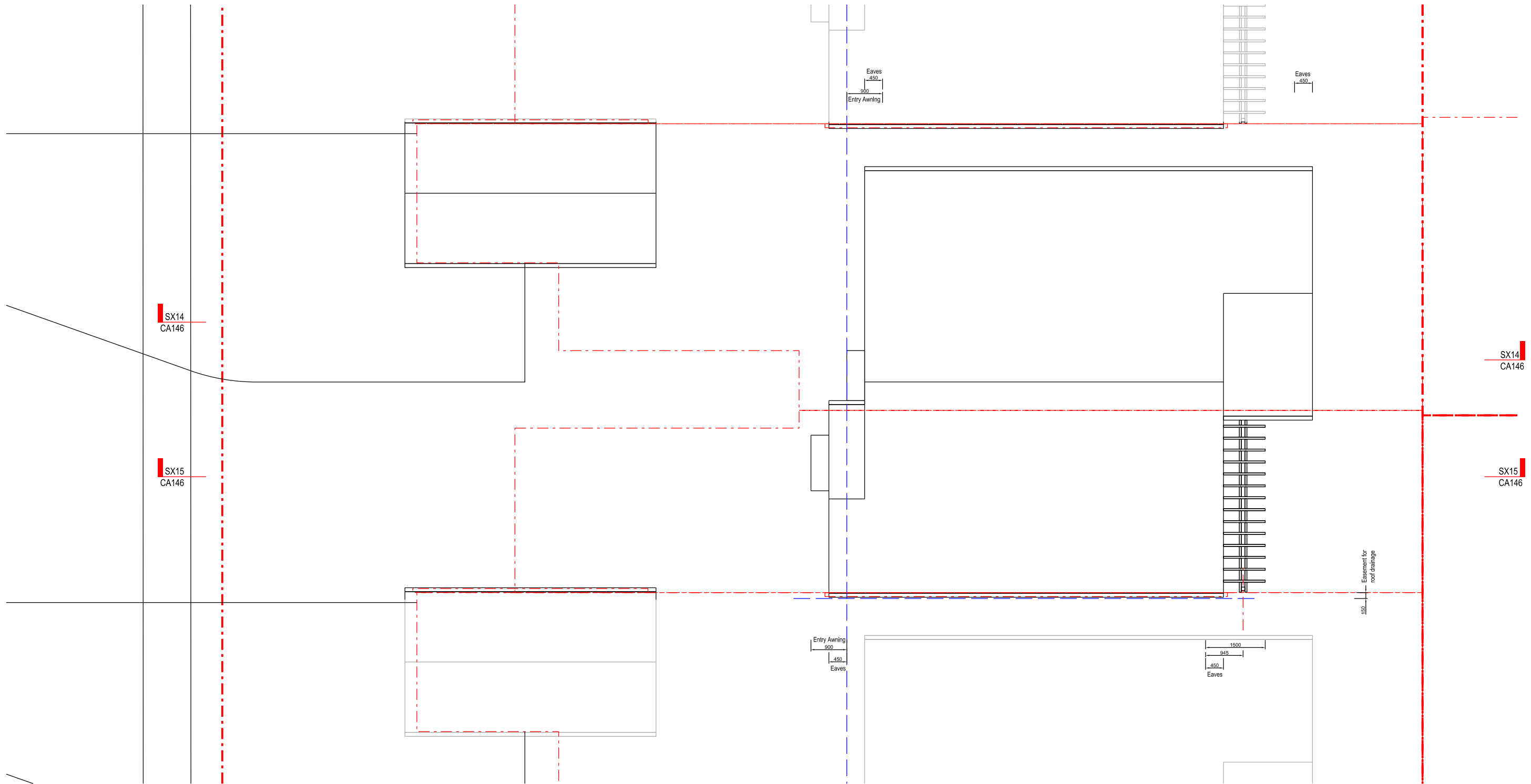
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 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Multi-Dwelling Housing Site C - SSSA  
 Typical Upper Level Floor Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:100 @ A3
		Dwg No.	CA141
		Rev.	C



Nominated Architect: David Dove  
 BArch (Hons), ASDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 10113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



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 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au



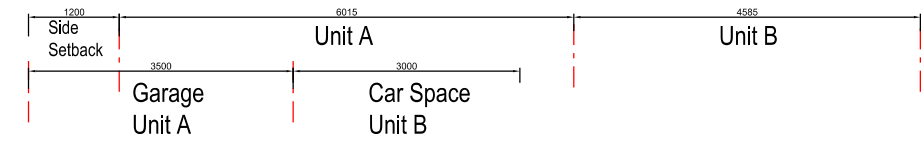
**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
 Multi-Dwelling Housing Site C - SSDA  
 Typical Roof Plan

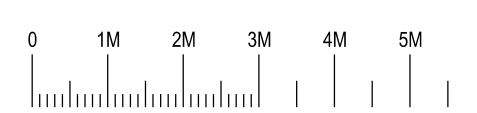
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Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	CA142	Rev.	D



Typical Units  
South Courtyard Elevation



Typical Units  
South (Street) Elevation



Nominated Architect: David Dove  
 BArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Multi-Dwelling Housing Site C - SSSA  
 South (Street) Elevation

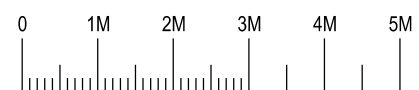
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Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	CA143	Rev.	C



Typical Units  
North Courtyard Elevation



Typical Units  
North (Access Lane) Fenced Elevation



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 BArch (Hons), AA&DipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



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 Governor Philip Tower  
 11 Farmer Place  
 Sydney, NSW  
 2000  
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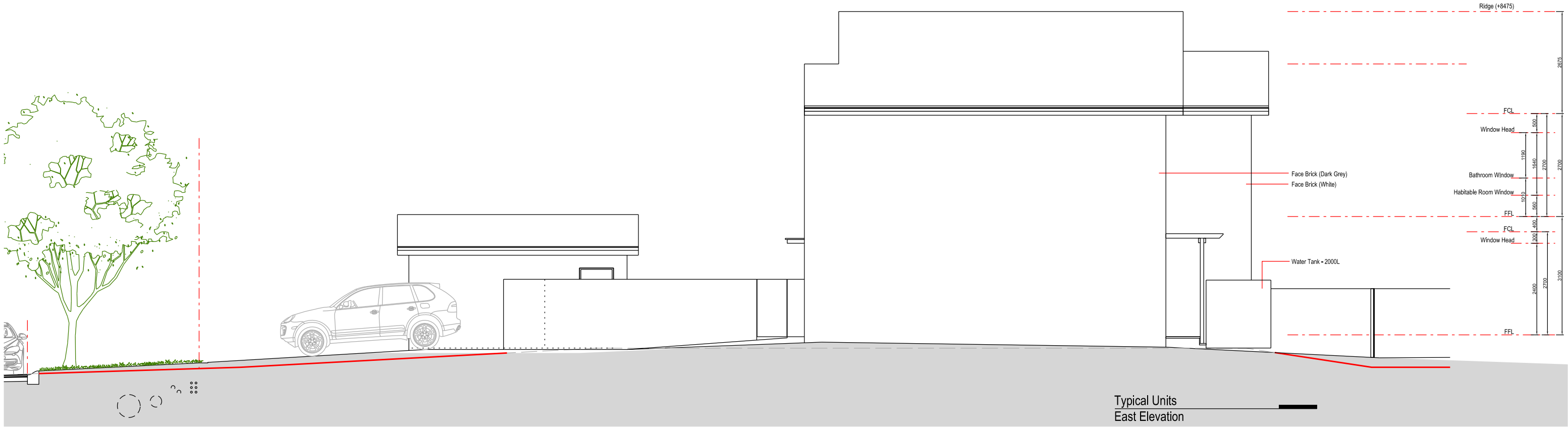


**The Yards**  
 Moss Vale Road, Bomaderry

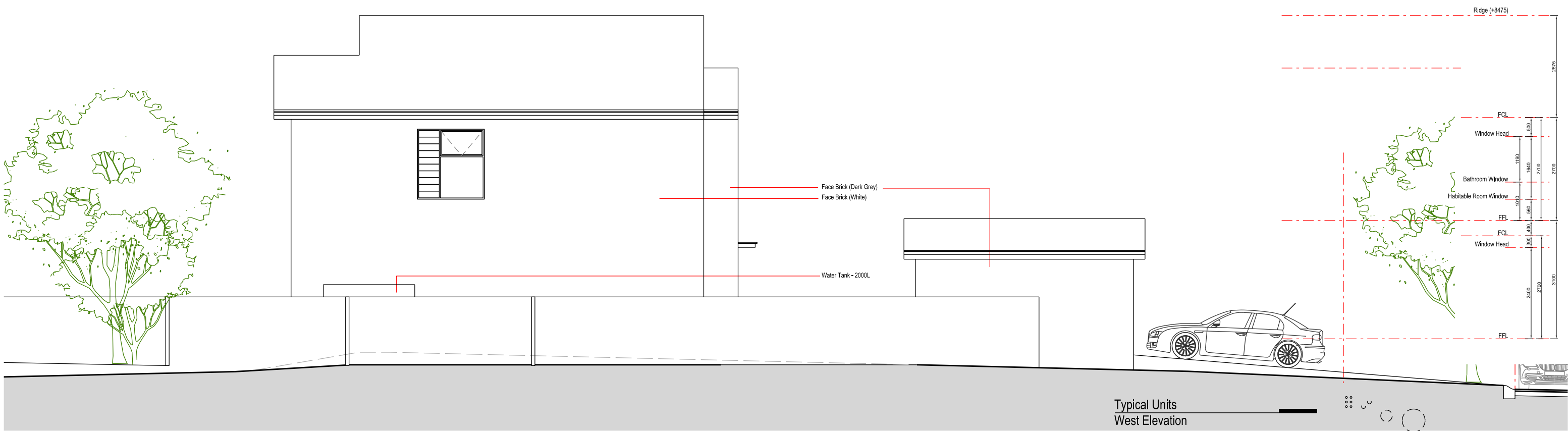
Drawing Title  
 Multi-Dwelling Housing Site C - SSSA  
 North (Rear) Elevation

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	CA143	Rev.	C

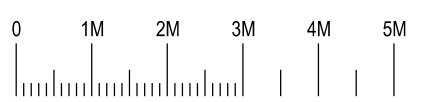
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 12000 Communal Area      4320 Unit B Courtyard      9030 Unit B Dwelling      5476 Unit B Rear Court & Parking



Typical Units  
East Elevation



Typical Units  
West Elevation



Nominated Architect: David Dove  
 BAArch (Hons), AIAAIP(Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
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 Elizabeth Bay, NSW, 2011  
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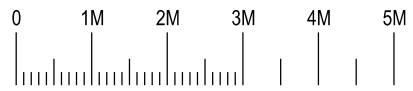
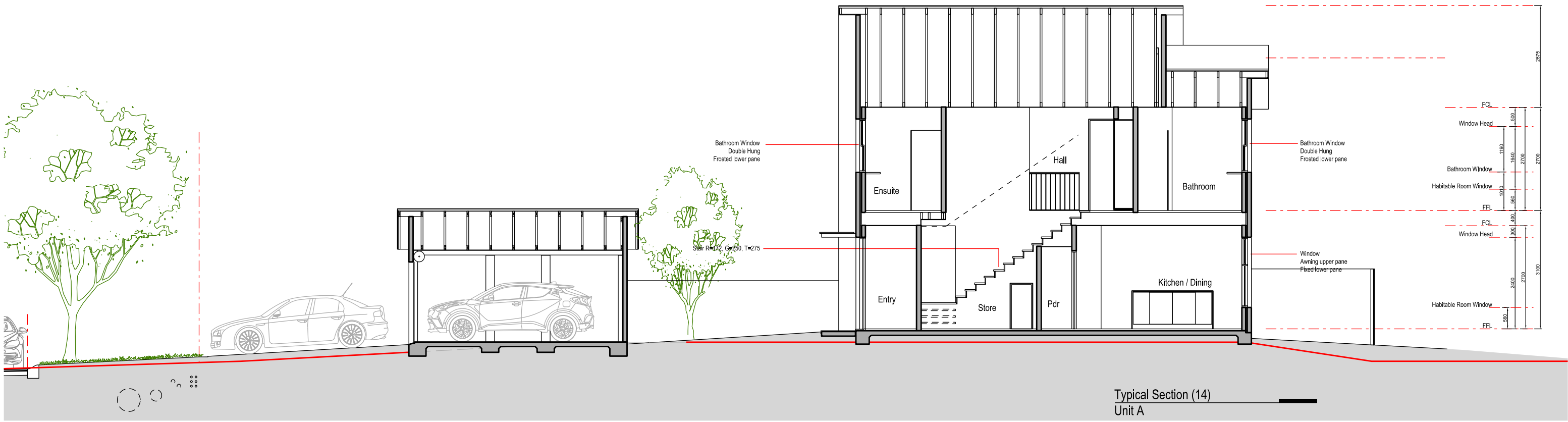
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 2000  
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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Multi-Dwelling Housing Site C - SSSA  
 East / West Elevations

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	CA145 Rev. C



Nominated Architect: David Dove  
 BArch (Hons), Asst Dip (AppSci) (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8982  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
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 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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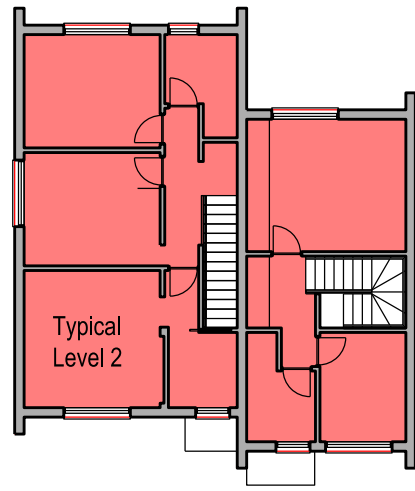
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 Governor Phillip Tower  
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Moss Vale Road, Bomaderry

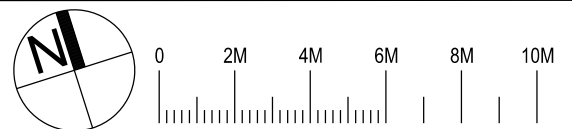
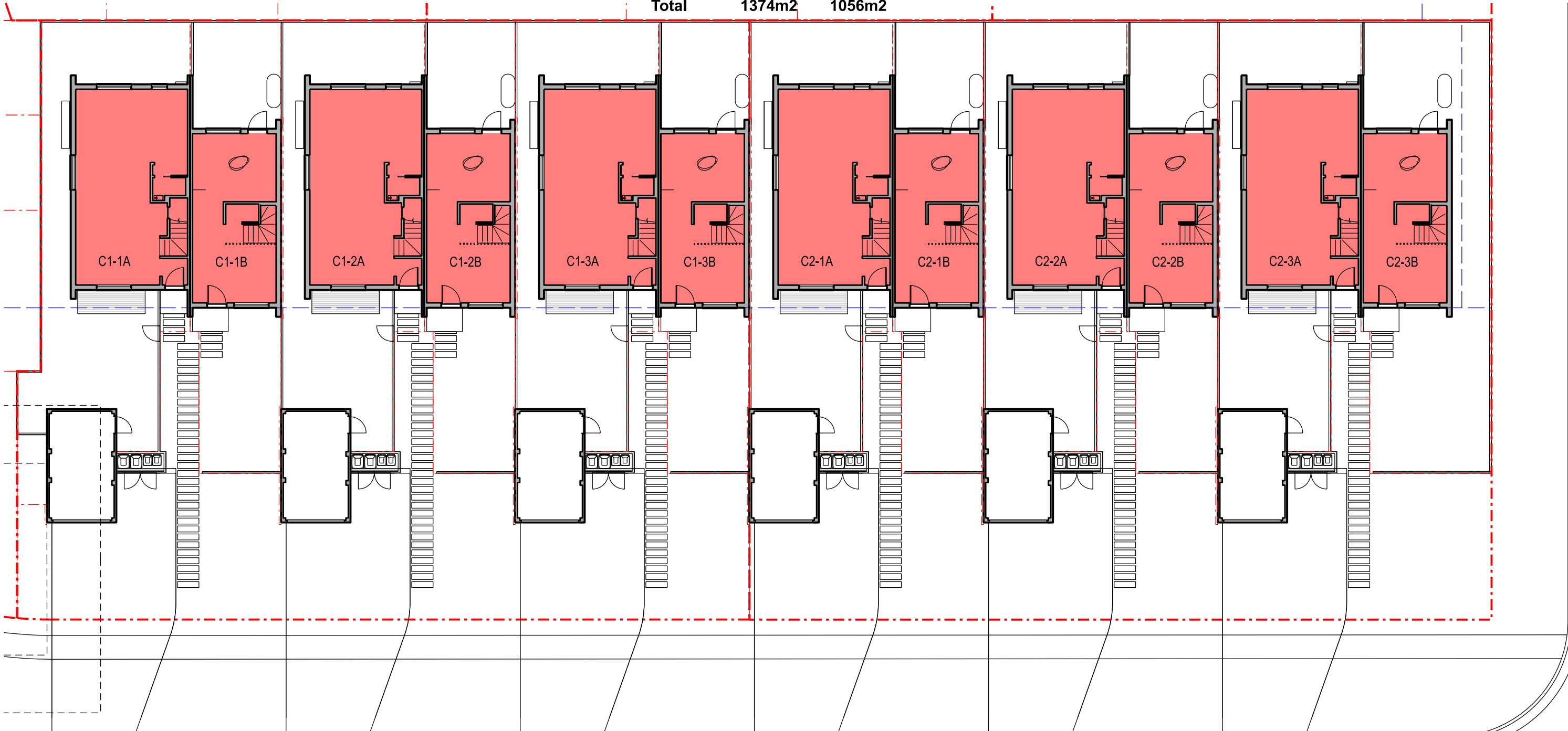
Drawing Title  
 Multi-Dwelling Housing Site C - SSDA  
 Indicative Sections

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	CA146 Rev. C



# Area Calculation

Unit	GBA	GFA	GBA	GFA	GBA	GFA
	<b>Level 1</b>		<b>Level 2</b>		<b>Total</b>	
C1-1A	83	56	63	53	145	109
C1-1B	42	36	42	31	84	67
C1-2A	83	56	63	53	145	109
C1-2B	42	36	42	31	84	67
C1-3A	83	56	63	53	145	109
C1-3B	42	36	42	31	84	67
C2-1A	83	56	63	53	145	109
C2-1B	42	36	42	31	84	67
C2-2A	83	56	63	53	145	109
C2-2B	42	36	42	31	84	67
C2-3A	83	56	63	53	145	109
C2-3B	42	36	42	31	84	67
<b>Total</b>	<b>1374m2</b>	<b>1056m2</b>				



Nominated Architect: David Dove  
 BAArch (Hons), AssCPAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
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 2/11/04 Elizabeth Bay Road  
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 M. 0410 025 892  
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 11 Farrer Place  
 Sydney NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

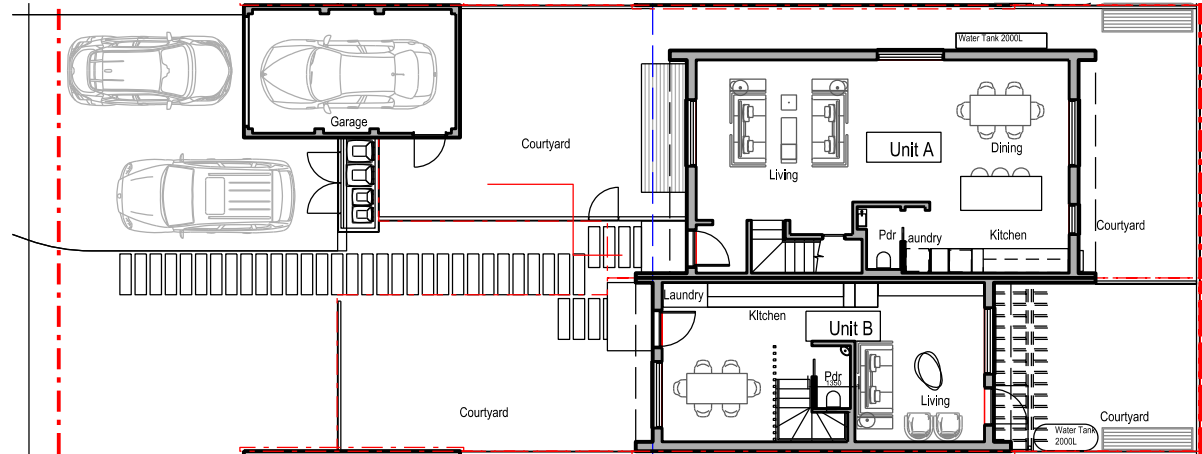
Southern Cross Housing  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

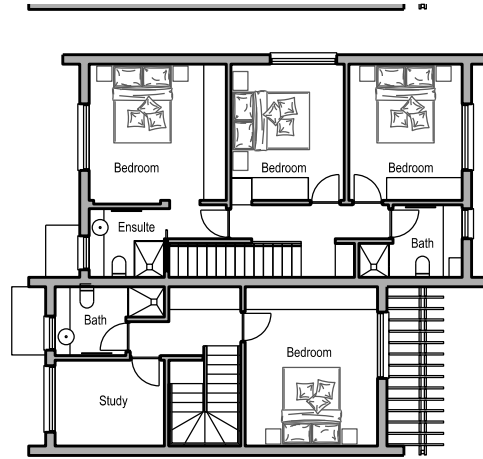
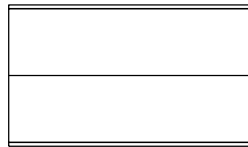
Drawing Title  
 Housing Site C - Proposed SSDA  
 Floor Area Calculation

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	CA170 Rev. B

# Precinct C Specification



Typical Unit  
Level One (Ground) Plan



Typical Unit  
Level Two Plan

## Wall and roof frames

90mm metal frames to all walls, mid floors and roof.

## External Floors

Concrete slab on ground, R1.0 insulation (except garage areas)

## Suspended timber floor between levels

No insulation required where habitable rooms are below  
R4.0 insulation where subfloors, open suspended floor and garage are below

## External Walls

Brick veneer: Internal plasterboard lining, 90mm metal stud with R2.7 bulk insulation, drainage channel, brick veneer

External wall colours: Medium

## Intertenancy Walls

Masonry cavity 110mm brick, 40mm gap, 110mm brick, plasterboard finish

## Walls within dwellings

Plasterboard on studs, no insulation required between conditioned rooms  
R2.7 insulation between garage and habitable rooms, and roof space and habitable rooms (if applicable)

## Glazing Doors/Windows

Window frame colour: dark

Application	U-Value	SHGC
Sliding Door	3.45	0.43
Awning	3.48	0.43
Louvre	4.30	0.57
Double Hung	3.47	0.45
Casement	3.46	0.46

## Window restrictors

Window restrictors are modelled in the first-floor bedrooms to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

Given values are AFRC total window system values (glass and frame)

## Roof

Pitched roof: Metal roof with R1.3 anticon blanket

Natural ventilation to all pitched roof

External roof colour: medium

## Ceilings

Plasterboard ceiling with R6.0 insulation (minimum 215mm cavity space).  
Where attic roof or balcony is above, the insulation must extend to the external wall (R3.0 default 450mm from walls as per tech notes), default thermal bridging modelled

Plasterboard ceiling with R4.0 (minimum 215mm cavity space) insulation where skillion roof is above.

No insulation to garage where roof is above.

## Ceiling Penetrations

Sealed and insulated LED downlights, maximum one every 4.0m, modelled as per tech notes.

## Floor coverings

Carpet to bedrooms and upstairs hallways, tiles elsewhere

## BASIX Water Commitments

Fixtures

Install showerheads minimum rating of 4 stars-High flow (>6.0 and <= 7.5 Litres/min)

Install toilet flushing system with a minimum rating of 4 stars in each toilet

Install tap with minimum rating of 5 stars in the kitchen

Install taps with minimum rating of 5 stars in each bathroom

## Alternative Water

Install individual rainwater tanks, minimum 2,000L capacity collected from min. 50 to 100m<sup>2</sup> roof area (site dependant). Tanks connected to at least one outdoor tap and toilets

## BASIX Energy Commitments

### Hot water system

Electric heat pump 26 to 30 STCs

### Cooling system

1 phase air-conditioning to living areas and bedrooms: EER 3.0-3.5

### Heating system

1-phase air-conditioning to living areas and bedrooms: EER 3.5-4.0

## Ventilation

Weather seals and draft protection to all external windows and doors

Dampers to all exhaust fans

Bathrooms individual fan, externally ducted connected to light, timer off

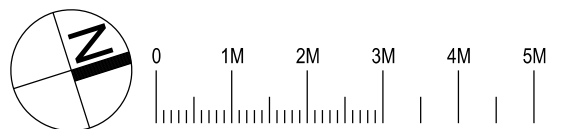
Kitchen individual fan, externally ducted manual on/off switch

Laundry room individual fan, externally ducted manual on/off switch

## Other

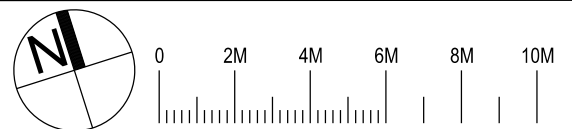
Induction cooktop, electric oven

Outdoor clothes drying line



# Open Space

Unit	Site Area	Open Space	%
C1-1	380	190	50%
C1-2	356.5	166	47%
C1-3	356.5	166	47%
C1-4	356.5	166	47%
C1-5	356.5	166	47%
C1-6	417	226	54%
<b>Total</b>	<b>2223m<sup>2</sup></b>	<b>1080m<sup>2</sup></b>	<b>49%</b>



Nominated Architect: David Dove  
 SAArch (Hons), AssCP(Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

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**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

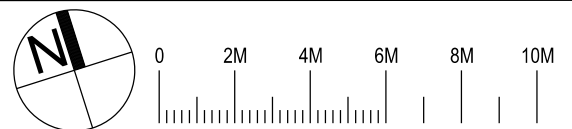
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Housing Site C - Proposed SSDA  
 Open Space Area Calculation

Date	25th July 2025
Drawn	DJD
Scale	1:200 @ A3
Job No.	SYB01
Dwg No.	CA185
Rev.	C

# Deep Soil Area

	Site Area	Deep Soil	%
<b>Total</b>	<b>2223m2</b>	<b>895m2</b>	<b>40%</b>



Nominated Architect: David Dove  
 BArch (Hons), AssCP(Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
 DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Housing Site C - Proposed SSSA  
 Deep Soil Area Calculation

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	CA186
		Rev.	C

**Revision Notes**

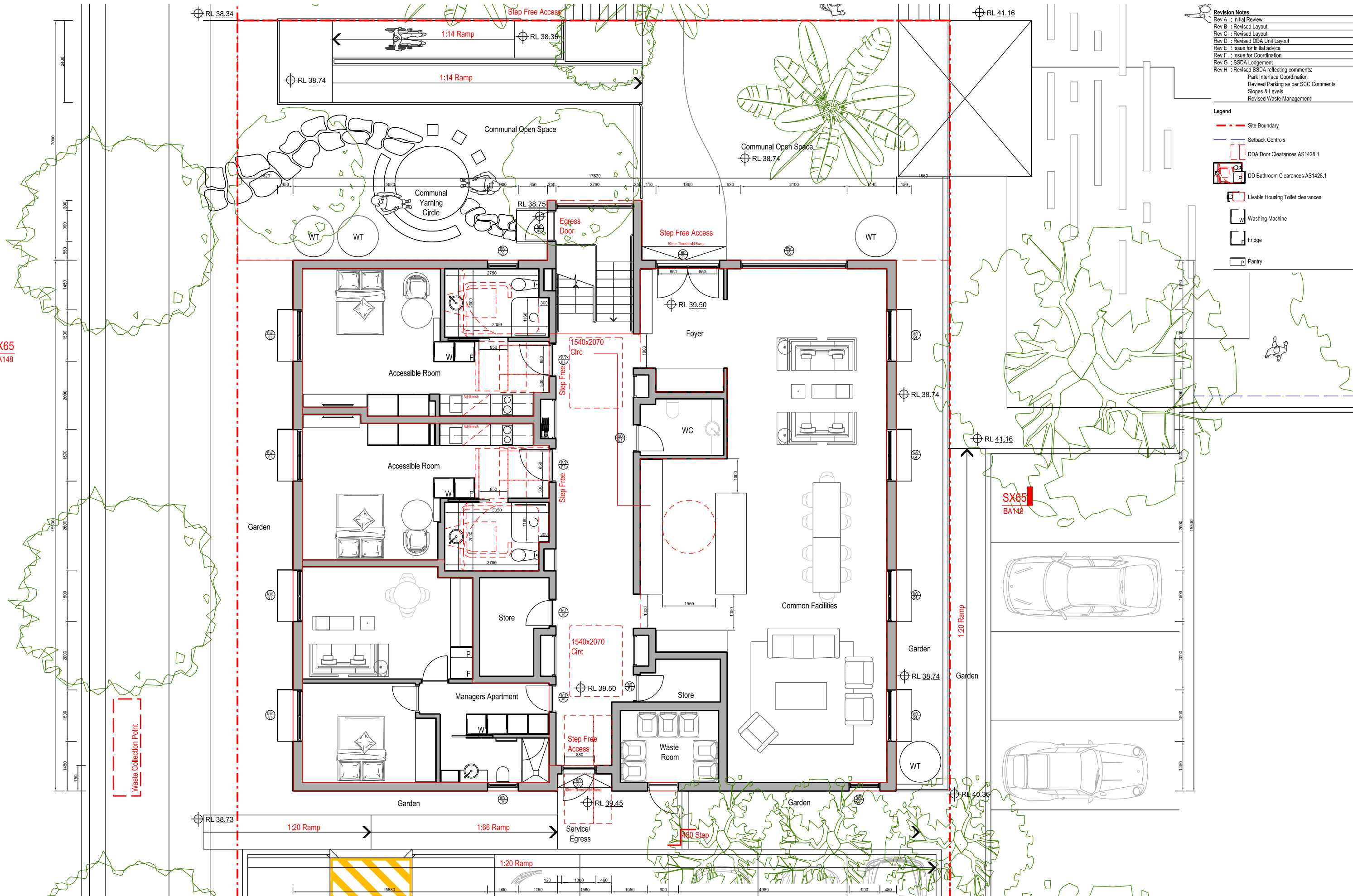
Rev A	: Initial Review
Rev B	: Revised Layout
Rev C	: Revised Layout
Rev D	: Revised DDA Unit Layout
Rev E	: Issue for initial advice
Rev F	: Issue for Coordination
Rev G	: SSSA Lodgement
Rev H	: Revised SSSA reflecting comments: Park Interface Coordination Revised Parking as per SCC Comments Slopes & Levels Revised Waste Management

**Legend**

- Site Boundary
- Setback Controls
- DDA Door Clearances AS1428.1
- DD Bathroom Clearances AS1428.1
- Living Housing Toilet clearances
- Washing Machine
- Fridge
- Pantry

SX65  
BA148

SX65  
BA148



Nominated Architect: David Dove  
BA148 (Home), AssDip(Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) 19119  
Licensed Building Contractor (NSW) 253780C  
291/04 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com



EG Funds Management  
Level 21  
Governor Phillip Tower  
11 Farrer Place  
Sydney, NSW  
2000  
P. (02) 9233 7100  
W. www.eg.com.au



**The Yards**  
Moss Vale Road, Bomaderry

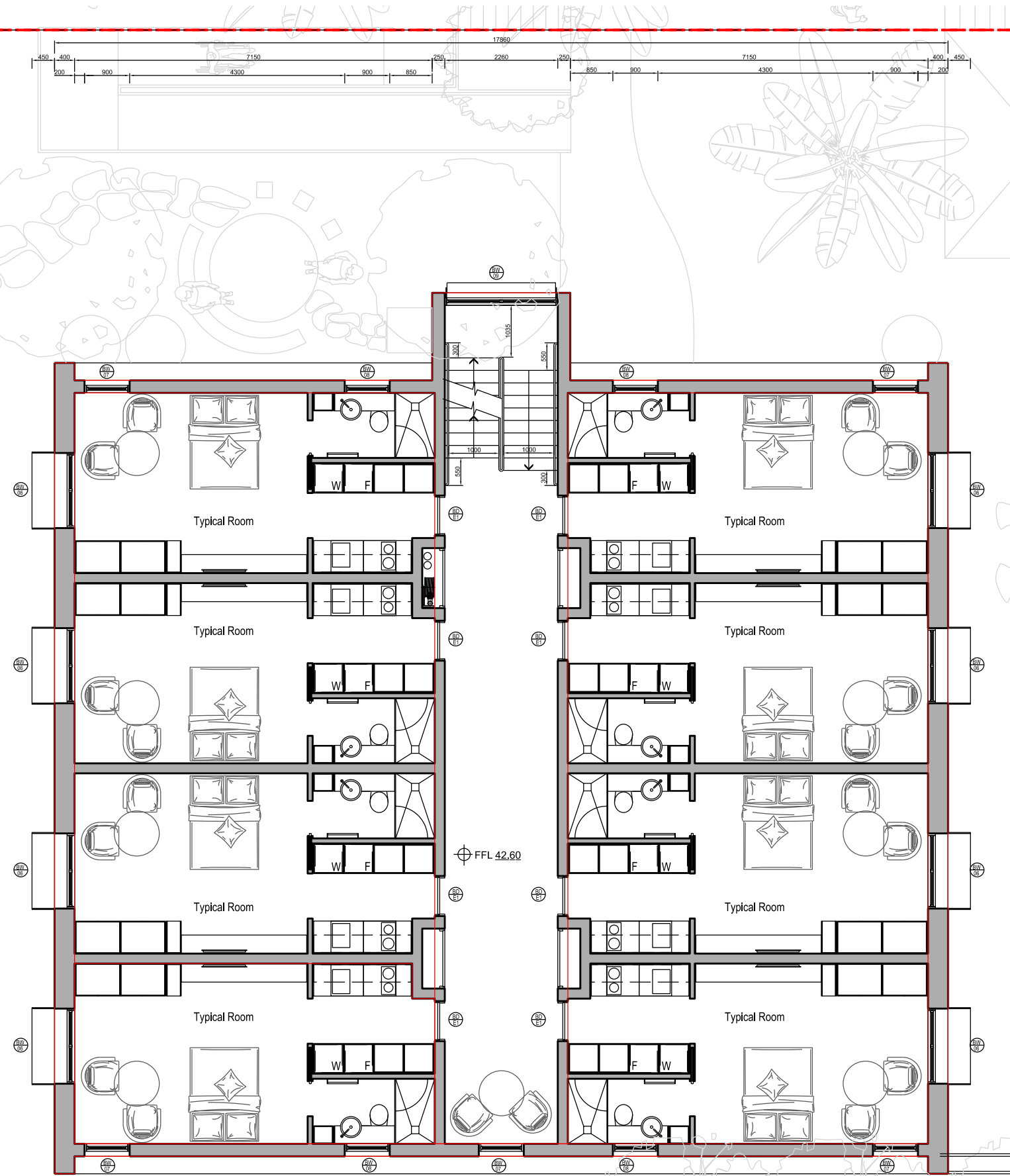
Drawing Title  
Boarding House Site B - SSSA  
Ground Floor (Level 1) Plan

Date	15th June 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	BA140
		Rev.	H

**Revision Notes**

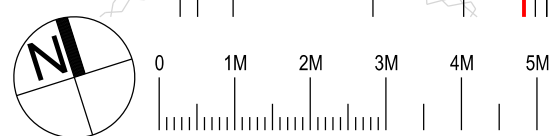
- Rev A : Initial Review
- Rev B : Revised Layout
- Rev C : Revised DDA Unit Layout
- Rev D : Issue for Coordination
- Rev E : SSDA Lodgement
- Rev F : Revised SSDA reflecting comments:  
Park Interface Coordination  
Revised Parking as per SCC Comments  
Slopes & Levels  
Revised Waste Management

- Legend**
- Site Boundary
  - Setback Controls
  - DDA Door Clearances AS1428.1
  - DD Bathroom Clearances AS1428.1
  - Livable Housing Toilet clearances
  - Washing Machine
  - Fridge
  - Pantry



SX65  
BA148

SX65  
BA148



Nominated Architect: David Dove  
BA148 (Home), AssDipAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) 18113  
Licensed Building Contractor (NSW) 2537800  
29/104 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com

EG Funds Management  
Level 21  
Governor Philip Tower  
11 Farnes Place  
Sydney, NSW  
2000  
P. (02) 9233 7100  
W. www.eg.com.au

**Southern Cross Housing**  
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**The Yards**  
Moss Vale Road, Bomaderry

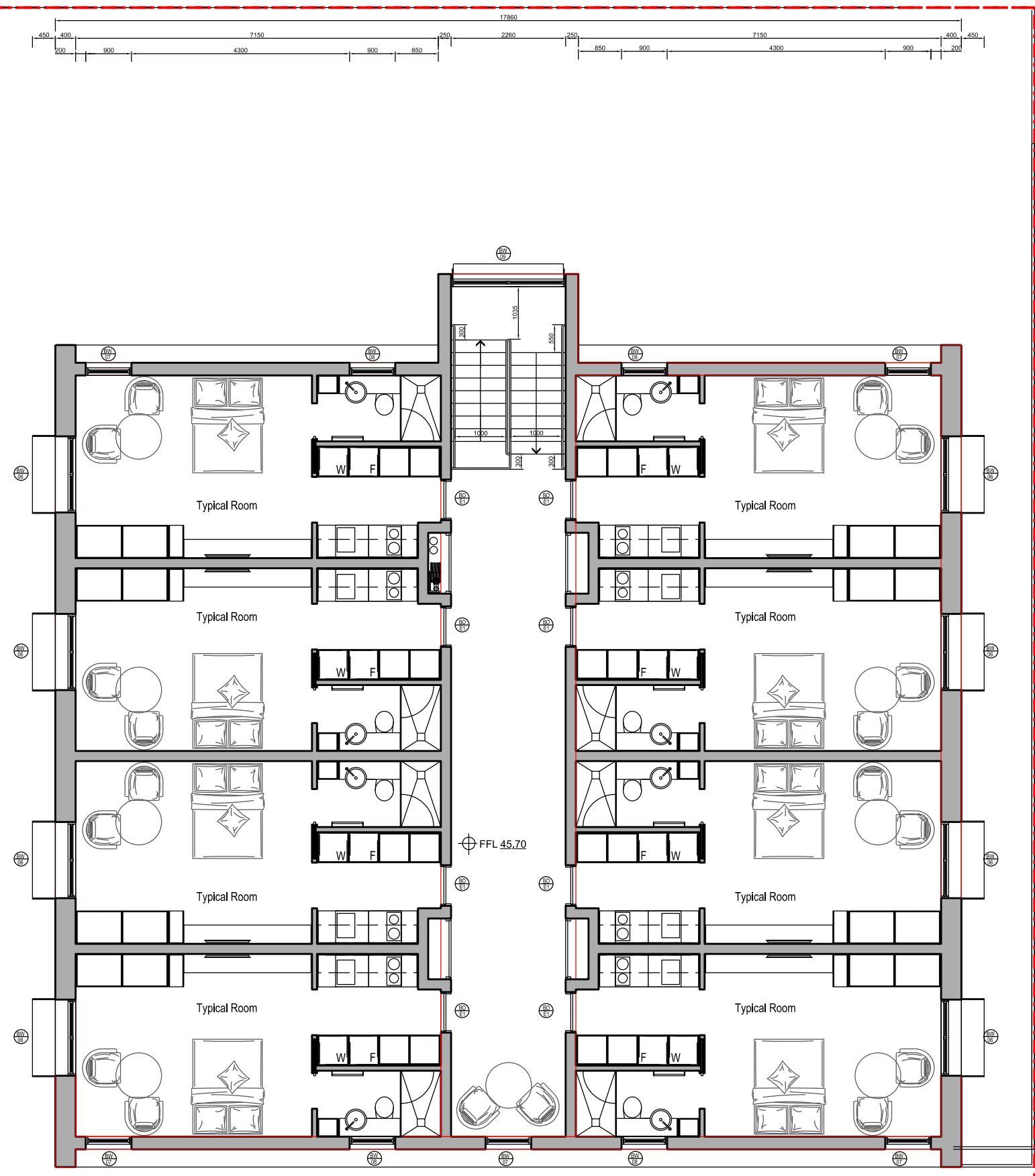
Drawing Title  
Boarding House Site B - SSDA  
Mid Floor (Level 2) Plan

Drawn	DJD	Date	15th June 2025
Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	BA141	Rev.	F

**Revision Notes**

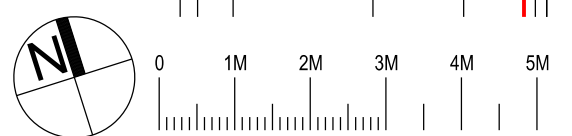
Rev A :	Initial Review
Rev B :	Revised Layout
Rev C :	Revised Layout
Rev D :	Revised DDA Unit Layout
Rev E :	Issue for initial advice
Rev F :	Issue for Coordination
Rev G :	SDDA Lodgement
Rev H :	Revised SDDA reflecting comments: Park Interface Coordination Revised Parking as per SCC Comments Slopes & Levels Revised Waste Management

- Legend**
- Site Boundary
  - Setback Controls
  - DDA Door Clearances AS1428.1
  - DD Bathroom Clearances AS1428.1
  - Livable Housing Toilet clearances
  - Washing Machine
  - Fridge
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**SX65**  
BA148

**SX65**  
BA148



Nominated Architect: David Dove  
 BA148 (Home), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Boarding House Site B - SDDA  
Upper Floor (Level 3) Plan

Date	15th June 2025				
Drawn	DJD	Scale	1:100 @ A3		
Job No.	SYB01	Dwg No.	BA142	Rev.	H

**Revision Notes**  
 Rev A : Initial Review  
 Rev B : SDA Lodgement  
 Rev C : Revised SDA reflecting comments:  
 Park Interface Coordination  
 Revised Parking as per SCC Comments  
 Slopes & Levels  
 Revised Waste Management

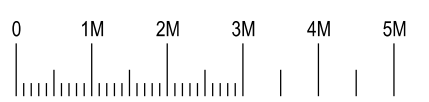
- Legend**
- - - Site Boundary
  - Setback Controls
  - DDA Door Clearances AS1428.1
  - DD Bathroom Clearances AS1428.1
  - Livable Housing Toilet clearances
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SX65  
BA148

SX65  
BA148

FFL 42.60

Metal Deck Roof  
(Anthracite)



Nominated Architect: David Dove  
 BA148 (Home), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farmer Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au



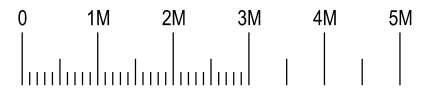
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Boarding House Site B - SDA  
 Roof Plan

Drawn	DJD	Date	15th June 2025
Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	BA143	Rev.	C

**Revision Notes**

Rev A	: Coordination Issue
Rev B	: SSSA Lodgement
Rev C	: Revised SSSA reflecting comments: Park Interface Coordination Revised Parking as per SCC Comments Slopes & Levels Revised Waste Management



Nominated Architect: David Dove  
BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) No. 19113  
Licensed Building Contractor (NSW) 253780C  
29/104 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com

**SPARC**  
DEVELOPMENT

EG Funds Management  
Level 21  
Governor Phillip Tower  
11 Farrer Place  
Sydney, NSW  
2000  
P. (02) 0233 7100  
W. www.eg.com.au



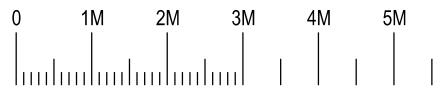
**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Site B Boarding House - SSSA  
North (Pedestrian Walk) Elevation

Date	15th June 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	BA144 Rev. C

**Revision Notes**

Rev A	: Initial Review
Rev B	: Revised Materials
Rev C	: Issue for Coordination
Rev D	: SSSA Lodgement
Rev E	: Revised SSSA reflecting comments: Park Interface Coordination Revised Parking as per SCC Comments Slopes & Levels Revised Waste Management



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8682  
 Registered Architect (Vic) 18113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 862  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



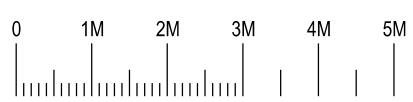
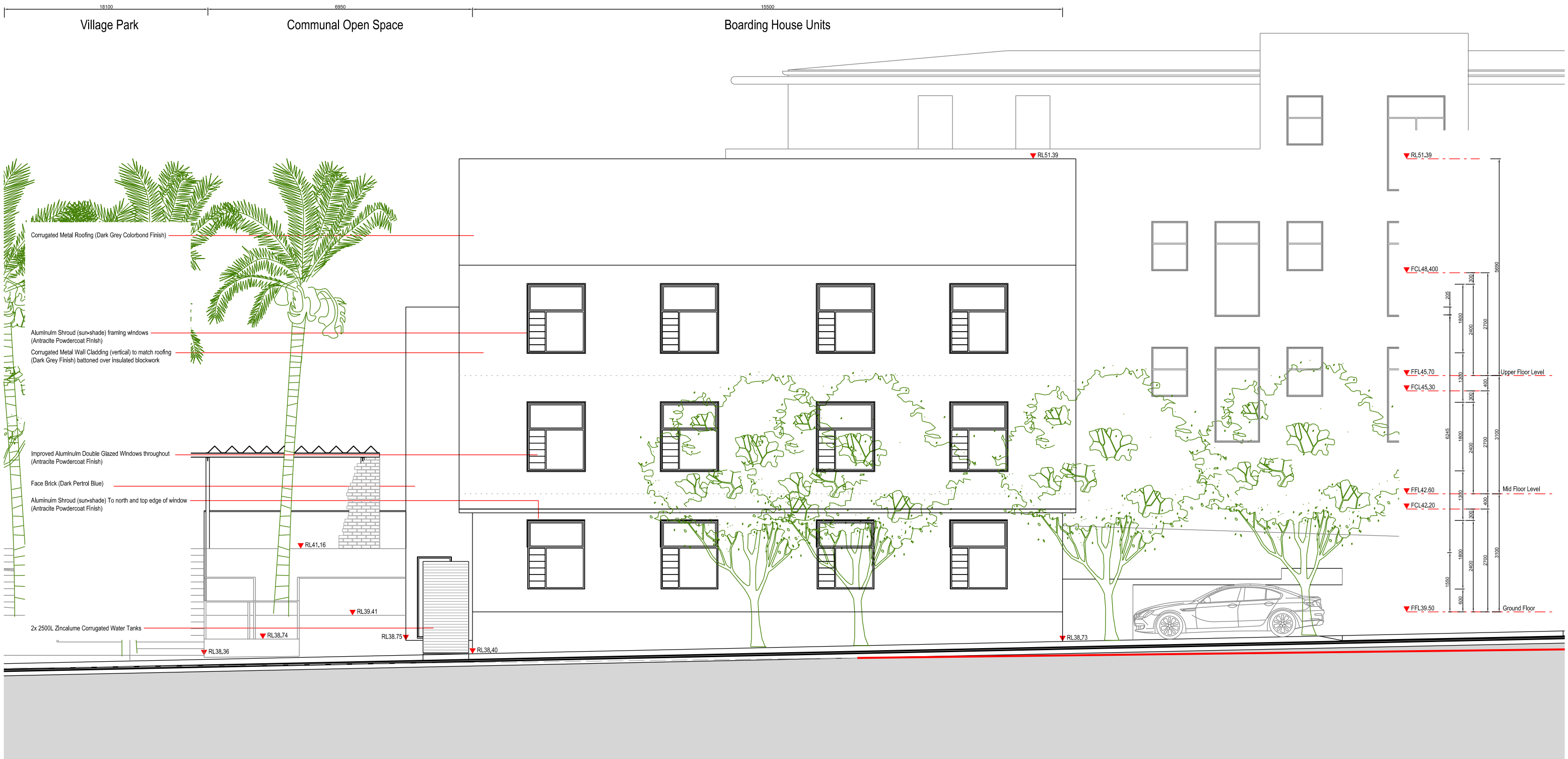
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Site B Boarding House - SSSA  
 South Car Park) Elevation

Date	15th June 2025
Drawn	DJD
Scale	1:100 @ A3
Job No.	SYB01
Dwg No.	BA145
Rev.	E

**Revision Notes**

Rev A	: Initial Review
Rev B	: SSSA Lodgement
Rev C	: Revised SSSA reflecting comments: Park Interface Coordination Revised Parking as per SCC Comments Slopes & Levels Revised Waste Management



Nominated Architect: David Dove  
BArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) 19113  
Licensed Building Contractor (NSW) 253780C  
29/104 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com

EG Funds Management  
Level 21  
Governor Philip Tower  
11 Farrer Place  
Sydney, NSW  
2000  
P. (02) 9233 7160  
W. www.eg.com.au

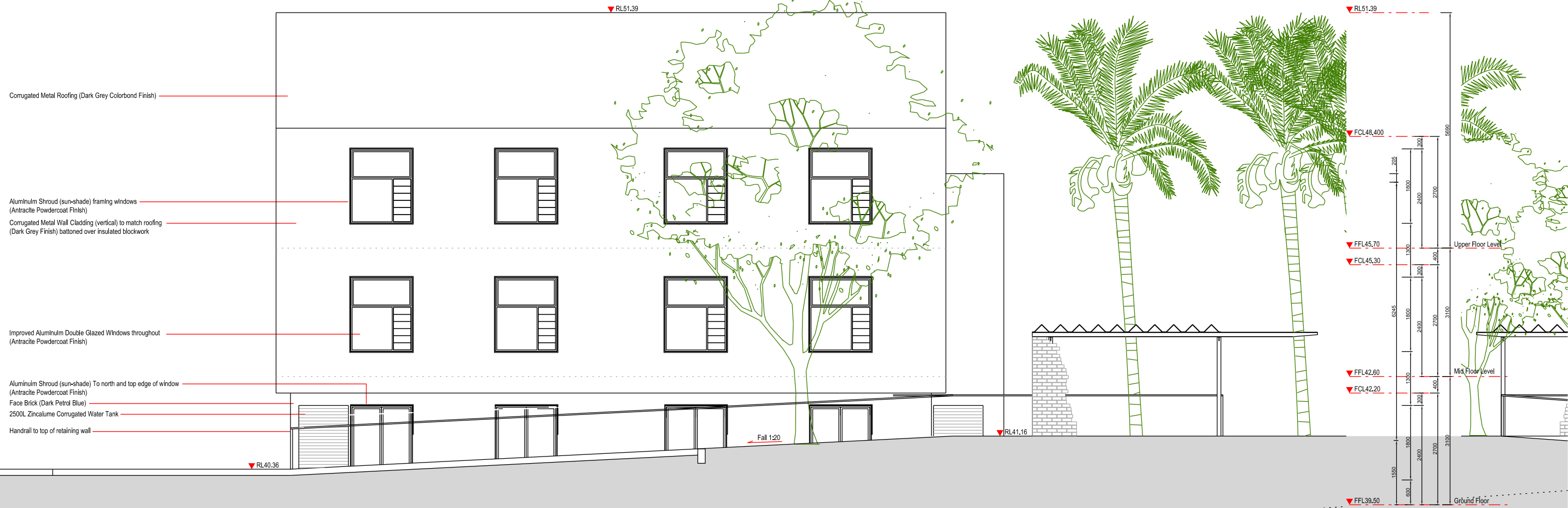


**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Site B Boarding House - SSSA  
West (Street) Elevation

Date	15th June 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	BA146 Rev. C

Revision Notes	
Rev A	: Initial Review
Rev B	: Issue for Coordination
Rev C	: SSDA Lodgement
Rev D	: Revised SSDA reflecting comments: Park Interface Coordination Revised Parking as per SCC Comments Slopes & Levels Revised Waste Management



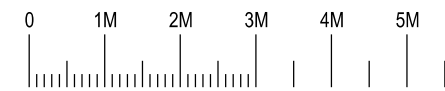
Corrugated Metal Roofing (Dark Grey Colorbond Finish)

Aluminium Shroud (sun-shade) framing windows (Antracite Powdercoat Finish)  
Corrugated Metal Wall Cladding (vertical) to match roofing (Dark Grey Finish) battened over insulated blockwork

Improved Aluminium Double Glazed Windows throughout (Antracite Powdercoat Finish)

Aluminium Shroud (sun-shade) To north and top edge of window (Antracite Powdercoat Finish)  
Face Brick (Dark Petrol Blue)  
2500L Zincalume Corrugated Water Tank

Handrail to top of retaining wall



Nominated Architect: David Dove  
BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
Registered Architect (NSW) No. 8922  
Registered Architect (Vic) 10113  
Licensed Building Contractor (NSW) 253780C  
29/104 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com

EG Funds Management  
Level 21  
Governor Phillip Tower  
11 Finner Place  
Sydney, NSW  
2000  
P. (02) 9233 7100  
W. www.eg.com.au



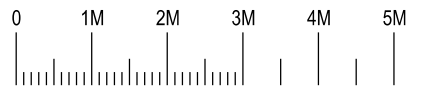
**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Site B Boarding House - SSSA  
East (Car Park) Elevation

Date	15th June 2025
Drawn	DJD
Scale	1:100 @ A3
Job No.	SYB01
Dwg No.	BA147
Rev.	D

**Revision Notes**

Rev A	: Coordination Issue
Rev B	: SSSA Lodgement
Rev C	: Revised SSSA reflecting comments: Park Interface Coordination Revised Parking as per SCC Comments Slopes & Levels Revised Waste Management



Nominated Architect: David Dove  
 BA Arch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9233 7100  
 W: www.eg.com.au



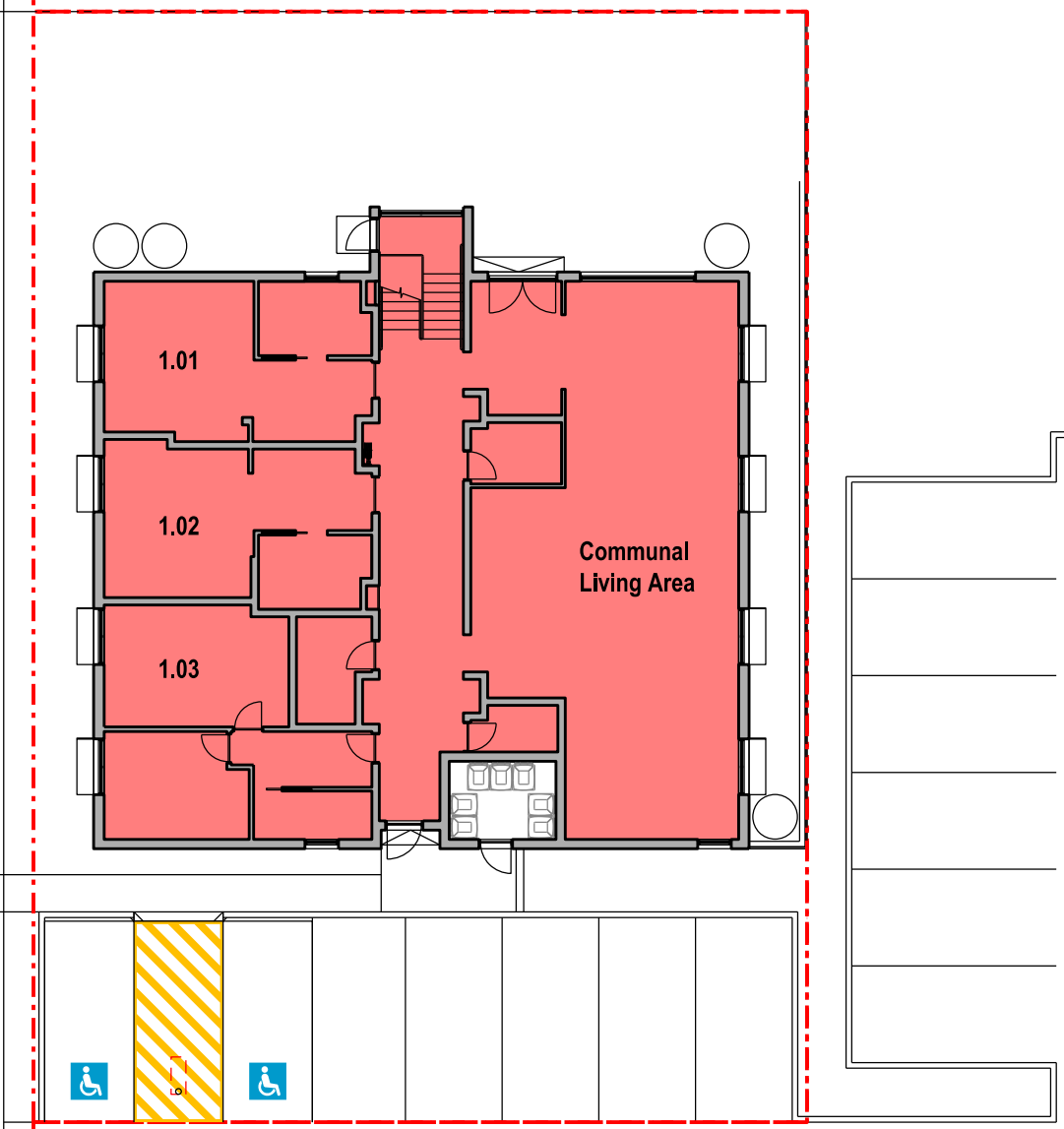
**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
 Site B Boarding House - SSSA  
 Indicative Section (65)

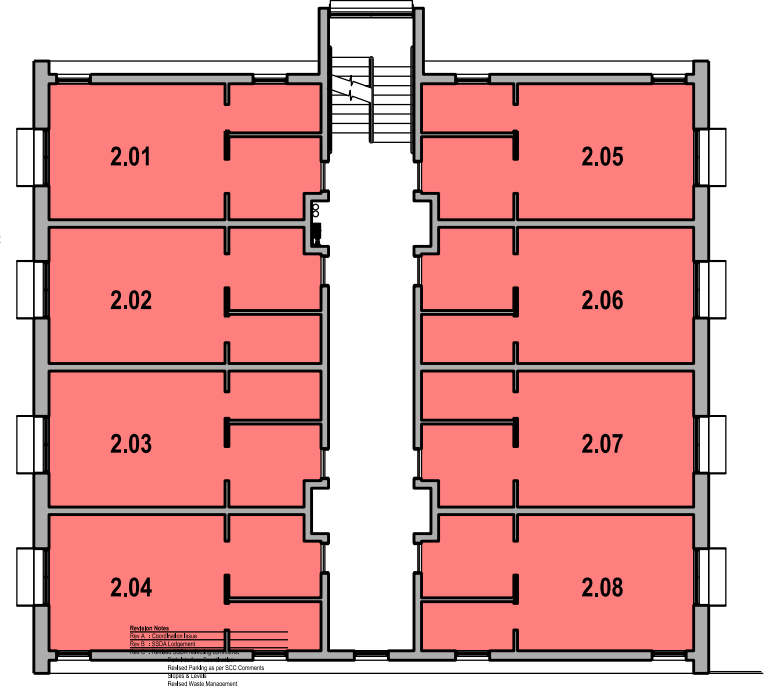
Date	15th June 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	BA148 Rev. C

**Revision Notes**  
 Rev A : Coordination Issue  
 Rev B : SSSA Lodgement  
 Rev C : Revised SSSA reflecting comments:  
 Park Interface Coordination  
 Revised Parking as per SCC Comments  
 Slopes & Levels  
 Revised Waste Management

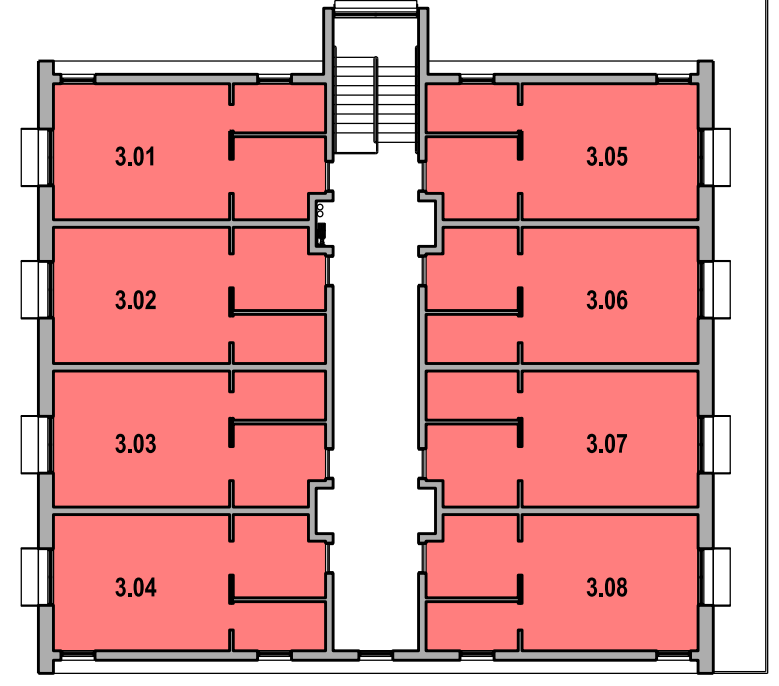
Residential Road



Ground (L1) Floor Plan



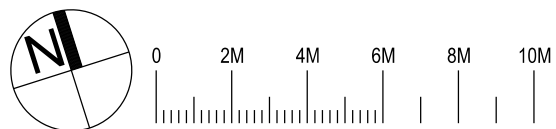
Level 2 Plan



Level 3 Plan

**Boarding House Site A  
 Floor Space Area Calculations**

	Level 3 (Top)	213m <sup>2</sup>
	Level 2 (Mid)	213m <sup>2</sup>
	Level 1 (Ground)	251m <sup>2</sup>
	<b>Total</b>	<b>677m<sup>2</sup></b>



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 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au



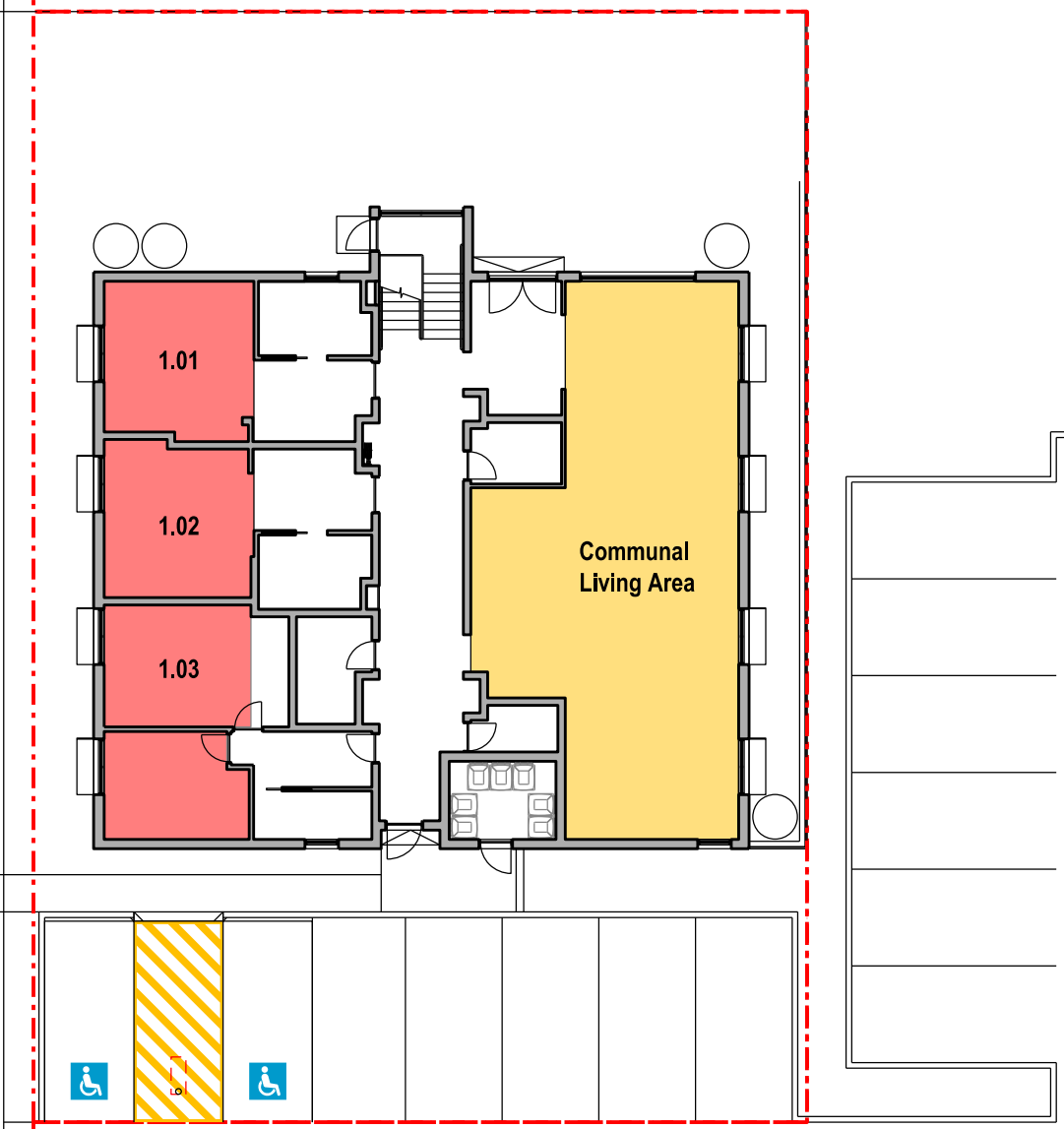
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Boarding House Precinct B - SSSA  
 Floor Space Area Calculations

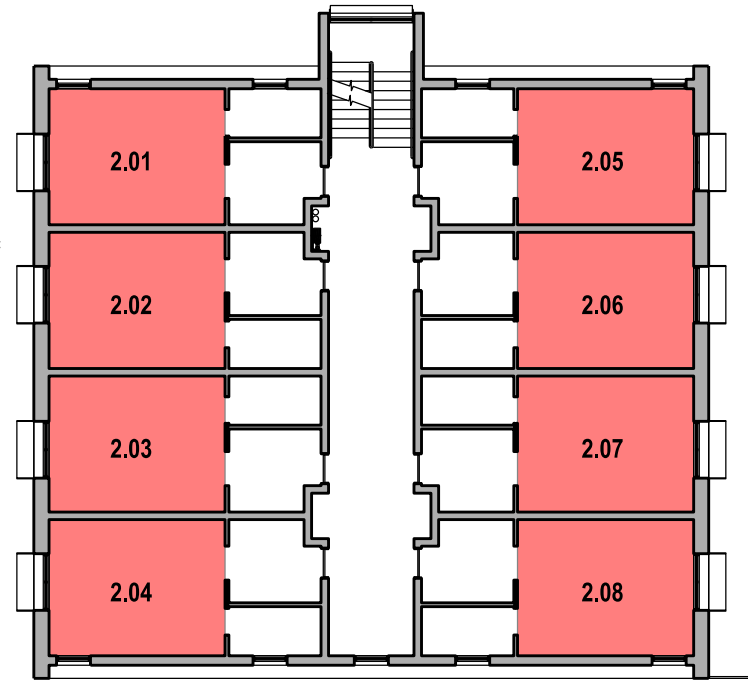
Date	15th June 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	BA170 Rev. C

**Revision Notes**  
 Rev A : Coordination Issue  
 Rev B : SSSA Lodgement  
 Rev C : Revised SSSA reflecting comments:  
 Park Interface Coordination  
 Revised Parking as per SCC Comments  
 Slopes & Levels  
 Revised Waste Management

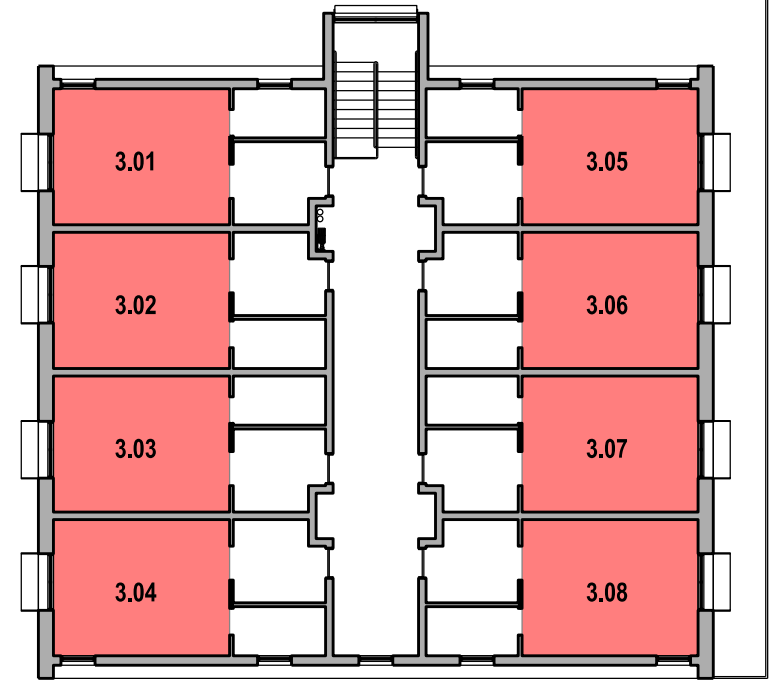
Residential Road



Ground (L1) Floor Plan



Level 2 Plan

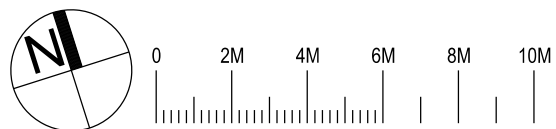


Level 3 Plan

**Boarding House Site B**  
**Room Area Calculation (excluding kitchen and bathroom areas)**

Unit	NIA	Unit	NIA	Unit	NIA
3.01	17m2	2.01	16.7m2	3.01	16.7m2
3.02	17m2	2.02	16.7m2	3.02	16.7m2
3.03	24m2	2.03	16.7m2	3.03	16.7m2
(Manager)		2.04	16.7m2	3.04	16.7m2
		2.05	16.7m2	3.05	16.7m2
		2.06	16.7m2	3.06	16.7m2
		2.07	16.7m2	3.07	16.7m2
		2.08	16.7m2	3.08	16.7m2

Communal Area 84m2 (with min 3m dimension)  
 Min Required 54m2 (30m2 + (18-6)x2m2=54m2)



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 BA Arch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 F. www.eg.com.au

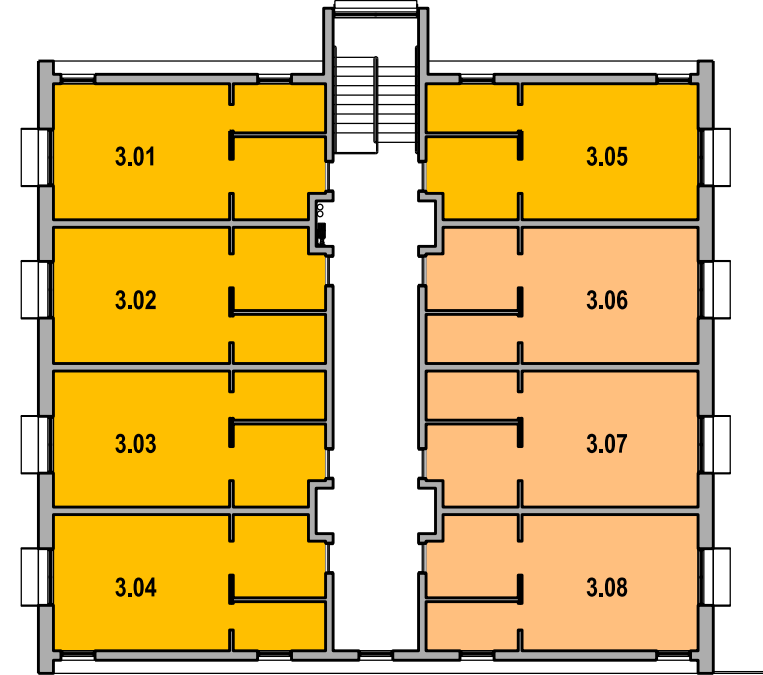
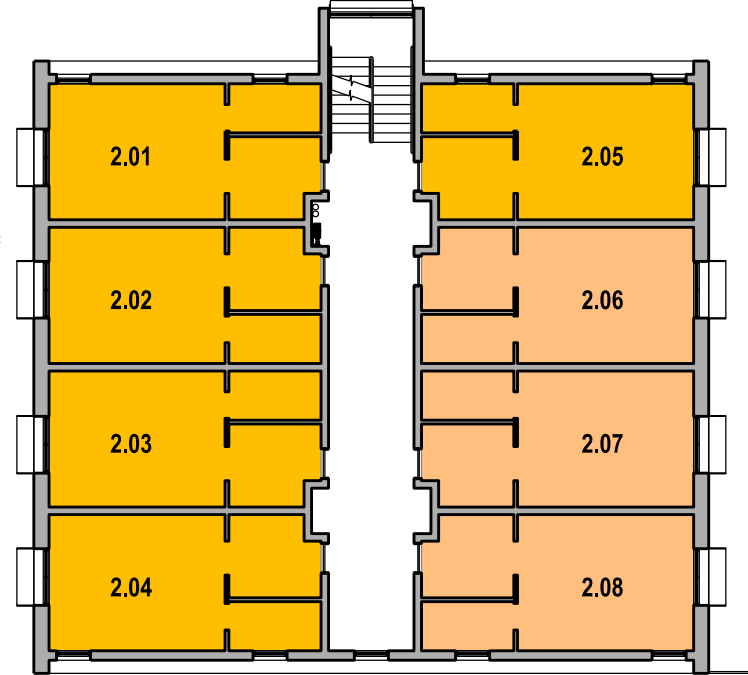
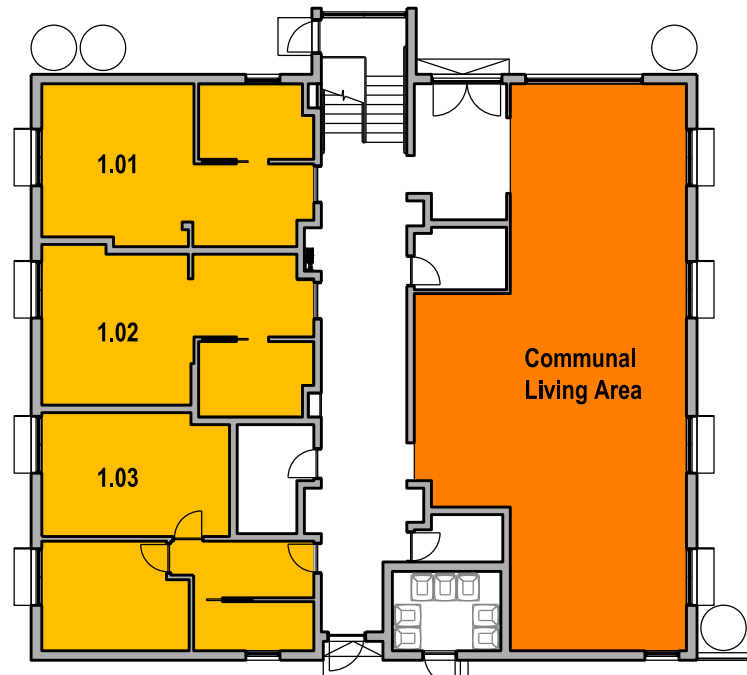
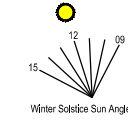
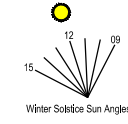
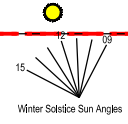
Southern Cross Housing  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Boarding House Precinct B - SSSA  
 Nett Floor Space Area Calculations

Date	15th June 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	BA171
		Rev.	C

**Revision Notes**  
 Rev A : Coordination Issue  
 Rev B : SSSA Lodgement  
 Rev C : Revised SSSA reflecting comments:  
 Park Interface Coordination  
 Revised Parking as per SCC Comments  
 Slopes & Levels  
 Revised Waste Management



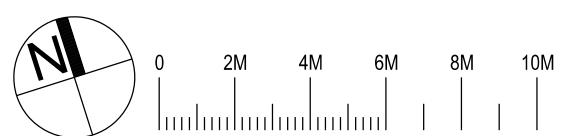
Ground (L1) Floor Plan

Level 2 Plan

Level 3 Plan

**Boarding House Site B  
 Solar Access Calculations**

Total Units	19
Units receiving more than 3 Hrs	13 (68.4%)
Units receiving 2-3 Hrs	0
Units receiving less than 2 Hrs	6 (31.6%)
Units receiving no mid winter sun	0
Communal Space receiving more than 3 Hrs	



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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph. (02) 9230 7100  
 W. www.eg.com.au

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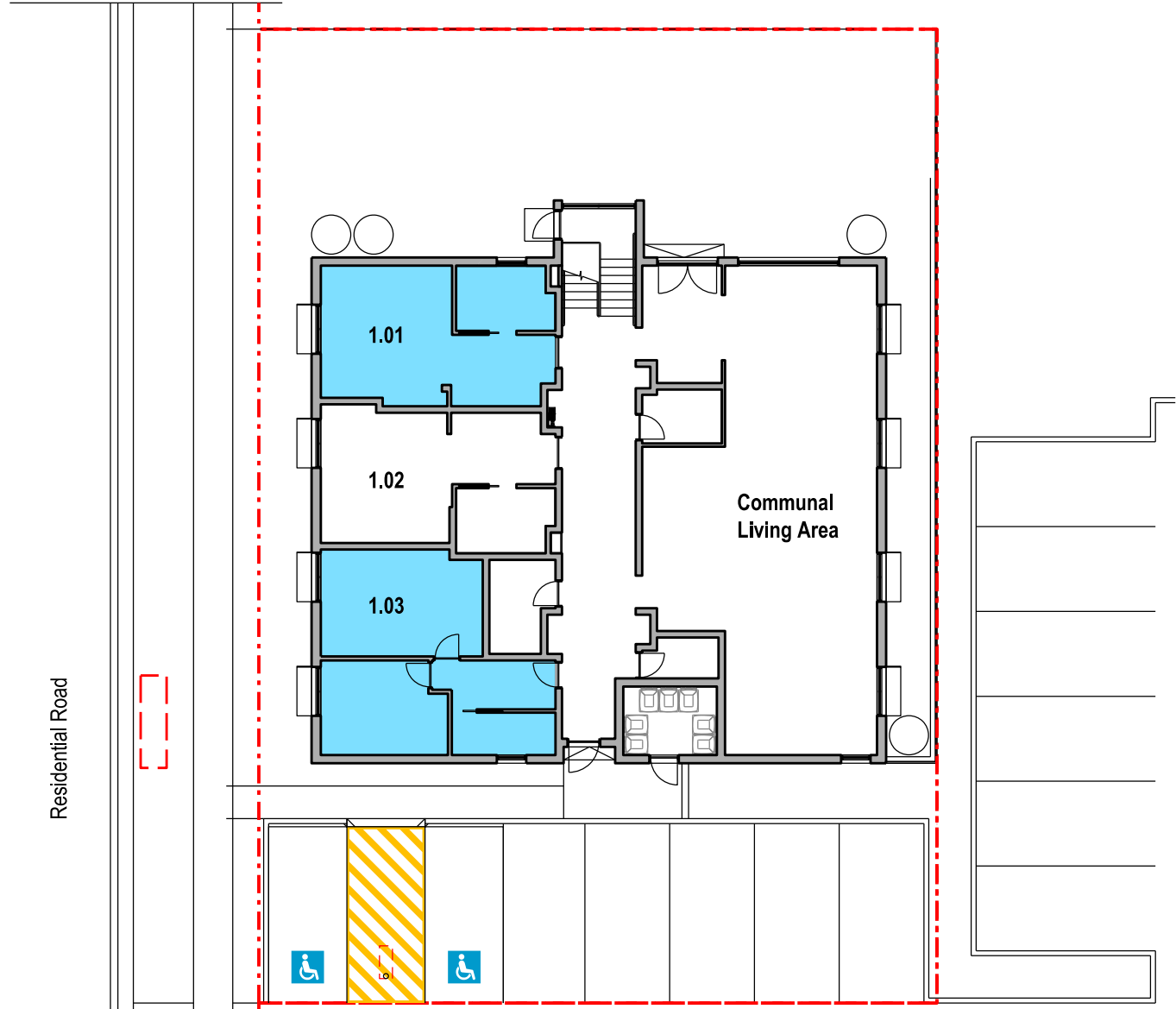
**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

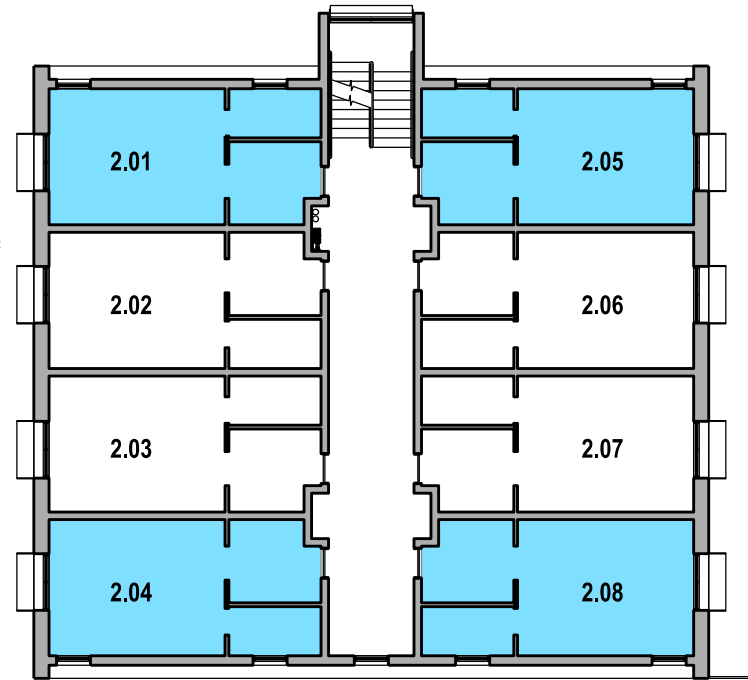
Drawing Title  
 Boarding House Precinct B - SSSA  
 Solar Access Calculations

Date	15th June 2025
Drawn	DJD
Scale	1:200 @ A3
Job No.	SYB01
Dwg No.	BA173
Rev.	C

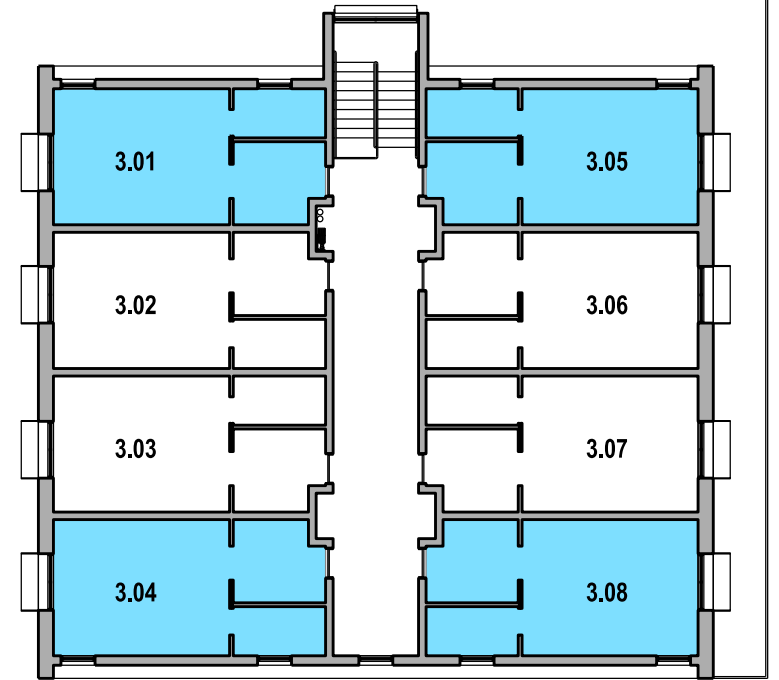
**Revision Notes**  
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 Slopes & Levels  
 Revised Waste Management



Ground (L1) Floor Plan



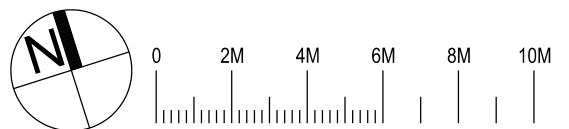
Level 2 Plan



Level 3 Plan

**Boarding House Site B  
 Cross Ventilation Calculations**

Total Units	19
Dual Orientation Units	10 (52.6%)
Single Orientation Units	9 (47.4%)



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au

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 BUILDING COMMUNITY FUTURES

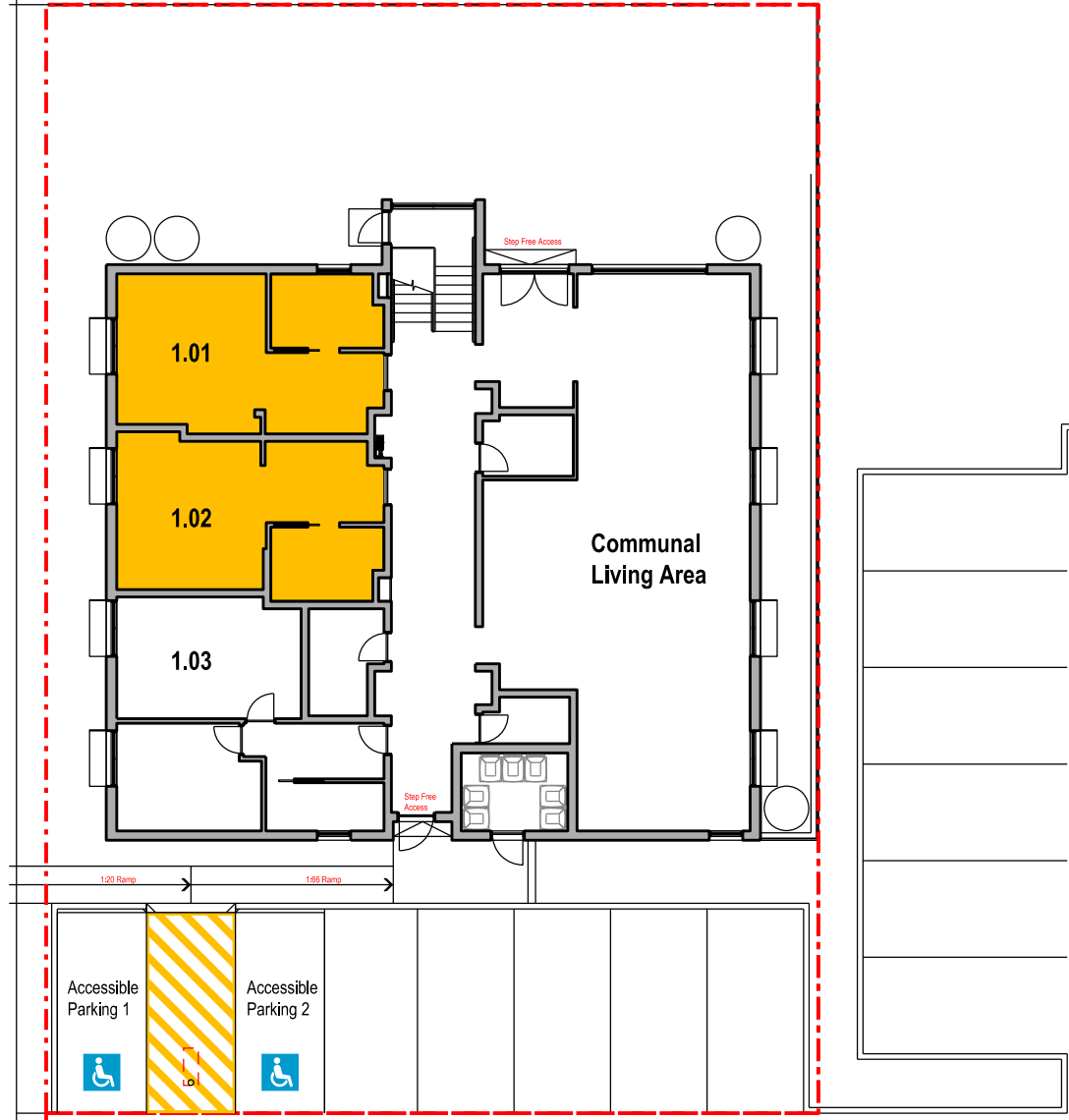
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Boarding House Precinct B - SSSA  
 Cross Ventilation Calculations

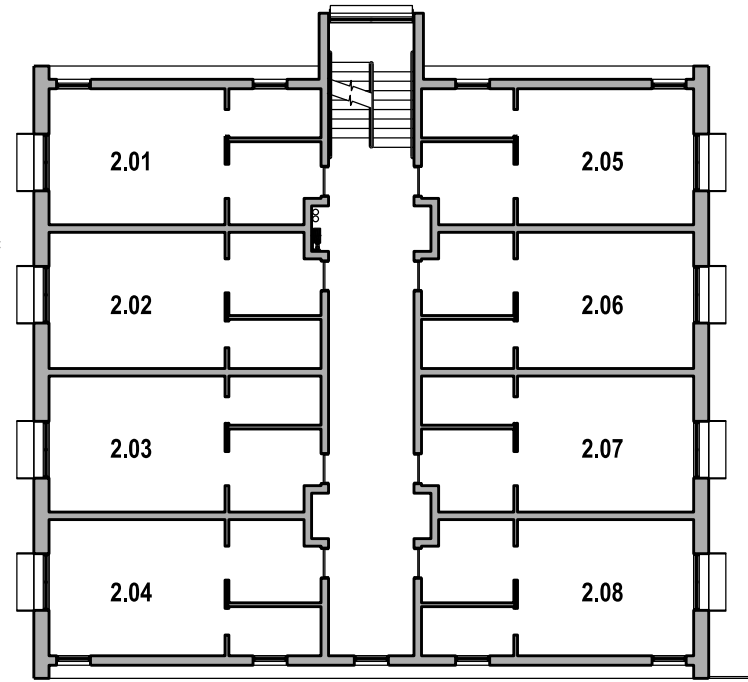
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Drawn	DJD
Scale	1:200 @ A3
Job No.	SYB01
Dwg No.	BA174
Rev.	C

**Revision Notes**  
 Rev A : Coordination Issue  
 Rev B : SSSA Lodgement  
 Rev C : Revised SSSA reflecting comments:  
 Park Interface Coordination  
 Revised Parking as per SCC Comments  
 Slopes & Levels  
 Revised Waste Management

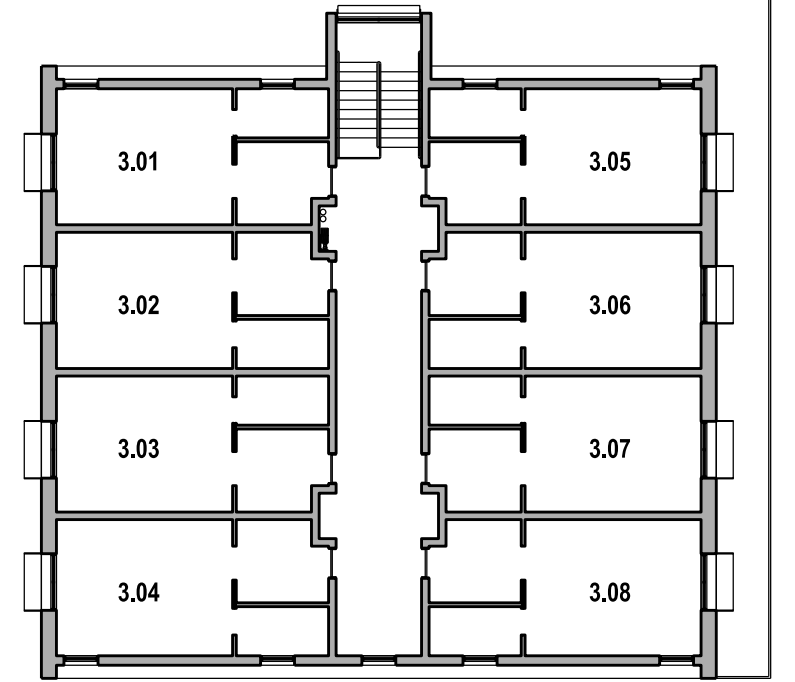
Residential Road



Ground (L1) Floor Plan



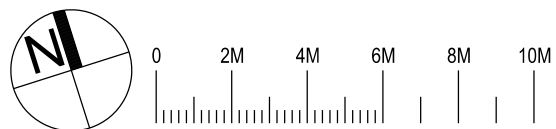
Level 2 Plan



Level 3 Plan

**Boarding House Site B  
 DDA Room Calculations**

Total Units	19
DDA Complaint Rooms (Compliance with AS1428.1)	2 (10.5%)



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 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



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 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
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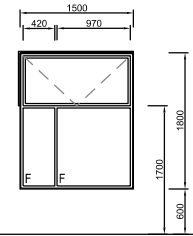
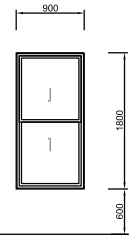
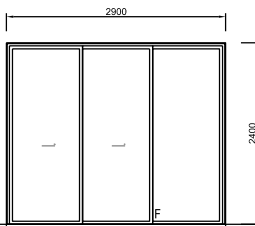
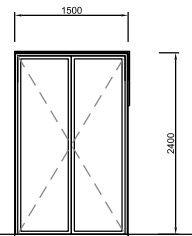
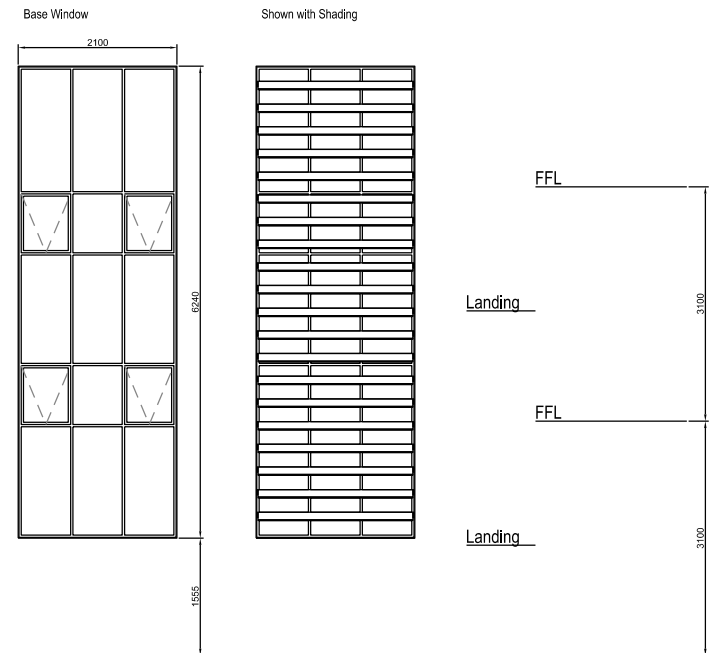


**The Yards**  
 Moss Vale Road, Bomaderry

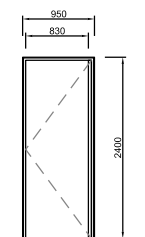
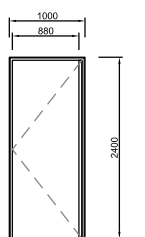
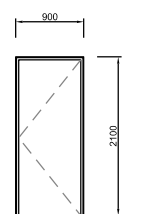
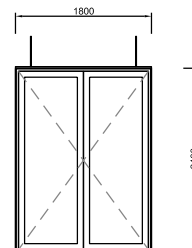
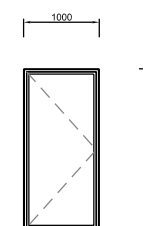
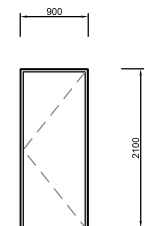
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 Boarding House Precinct B - SSSA  
 DDA Boarding Rooms

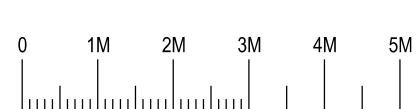
Date	15th June 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	BA176
		Rev.	C

# Windows

					
FFL					
Window No	BW01	BW02	BW03	BW04	
Type	Fixed & Awning	Double Hung	Double Sliding door	French Doors	
Frame	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	
Glazing	Single	Single Frosted	Single	Single	
Finish	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	
Locks	Yes	Yes	Yes	Yes	
Quantity	4	2	1	4	
Shading	450mm Eyebrow Shroud	-	600mm Horizontal Awning	450mm Eyebrow Shroud	
					
Window No	BW05	BW06	BW07	BW08	BW09 (Stairwell Glazing)
Type	Double Hung	Fixed & Awning	Double Hung	Double Hung	Fixed with Awning
Frame	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium
Glazing	Single	Single	Single	Single Frosted	Single
Finish	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat
Locks	Yes	Yes	Yes	Yes	Yes
Quantity	2	16	8	8	1
Shading	-	450mm Full Surround Shroud	450 Shroud	450 Shroud	Fixed Horizontal Louvres

# Unit Doors

						
FFL						
Door No	KDE1	KDE2	KD01	KD02	KD03	KD04
Type	Unit Entry Door	Unit Entry Door Adaptable	Egress Door	Main Entry French Door	Secondary Entry Glazed Door	Waste Room Door
Frame	FR Steel Frame	FR Steel Frame	FR Steel Frame	Improved Aluminium	Improved Aluminium	Solid Core Timber Exterior Grade
Glazing	-	-	-	Single	Single	-
Finish	White	White	Black Powdercoat Frame	Black Powdercoat Frame	Black Powdercoat Frame	Black Powdercoat Frame / Black painted door leaf
Locks	Entry Lockset & Deadbolt	Entry Lockset & Deadbolt	Self Closing External Locking	Self Closing Intercom & NFID	Self Closing & NFID	Self Closing & NFID
Quantity	10 RH / 10 LH	2 LH	1 RH	1	1	1
Shading	Internal	Internal	-	600mm Horizontal Awning	500mm Building Overhang	-
Door	40mm Solid Core Fire	40mm Solid Core Fire	40mm Solid Core Fire	Glazed Aluminium	Glazed Aluminium	40mm Solid Core Fire



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 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 18113  
 Licensed Building Contractor (NSW) 253780C  
 2/114 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. (02) 9233 7100  
 W. www.eg.com.au



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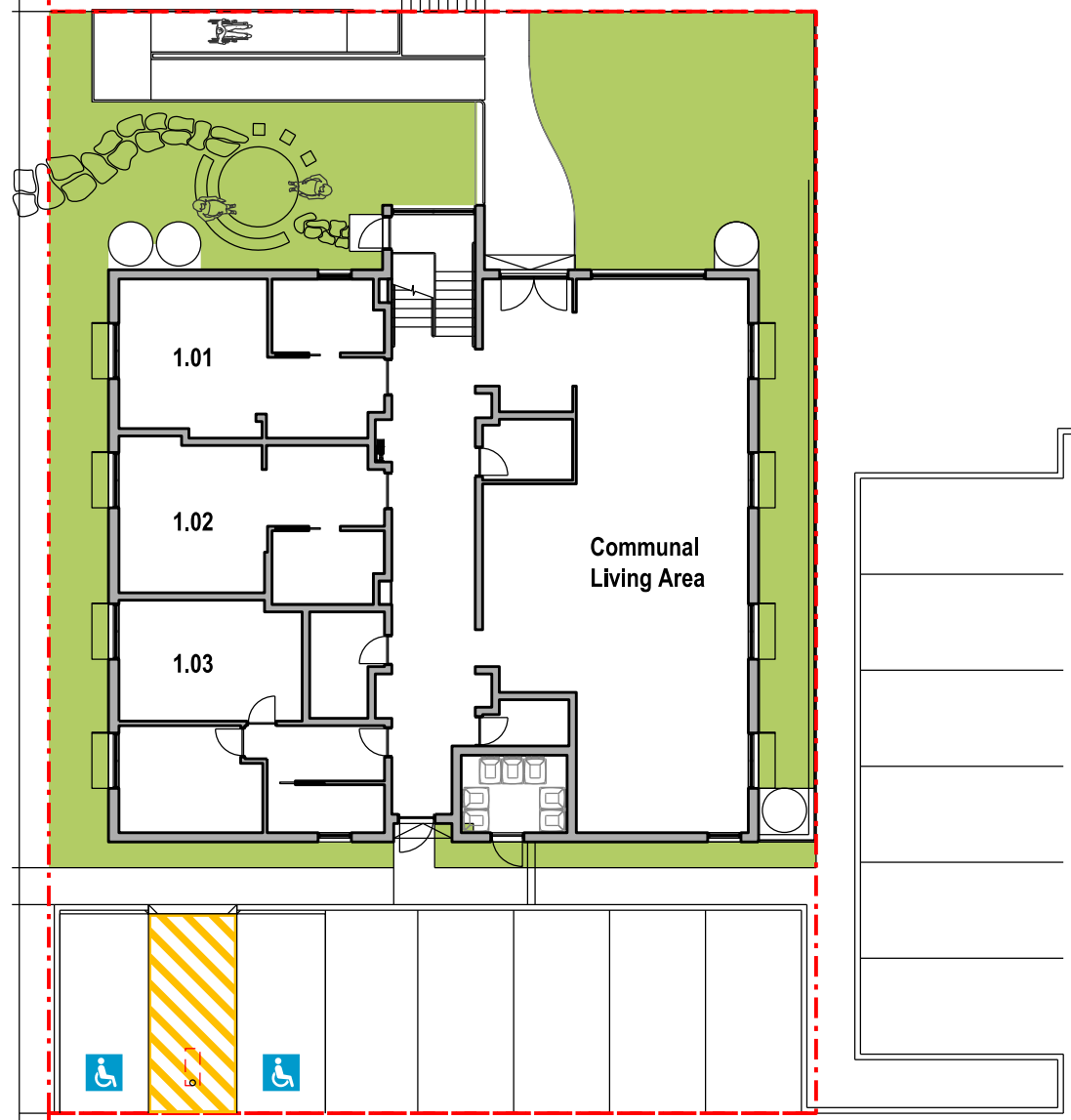
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Site B Boarding House - SSDA  
 Window Schedule

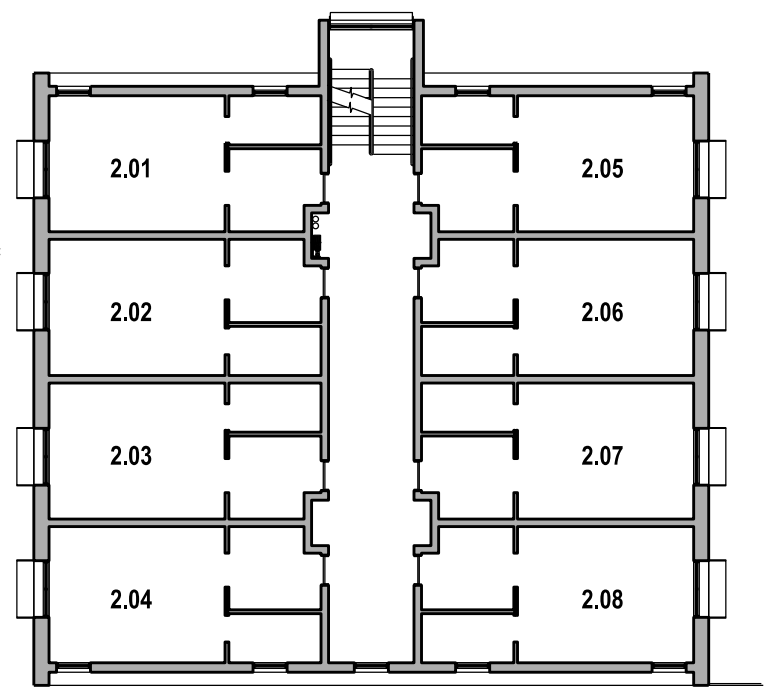
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Drawn	DJD
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Job No.	SYB01
Dwg No.	BA181
Rev.	C

**Revision Notes**  
 Rev A : Coordination Issue  
 Rev B : SSDA Lodgement  
 Rev C : Revised SSDA reflecting comments:  
 Park Interface Coordination  
 Revised Parking as per SCC Comments  
 Slopes & Levels  
 Revised Waste Management

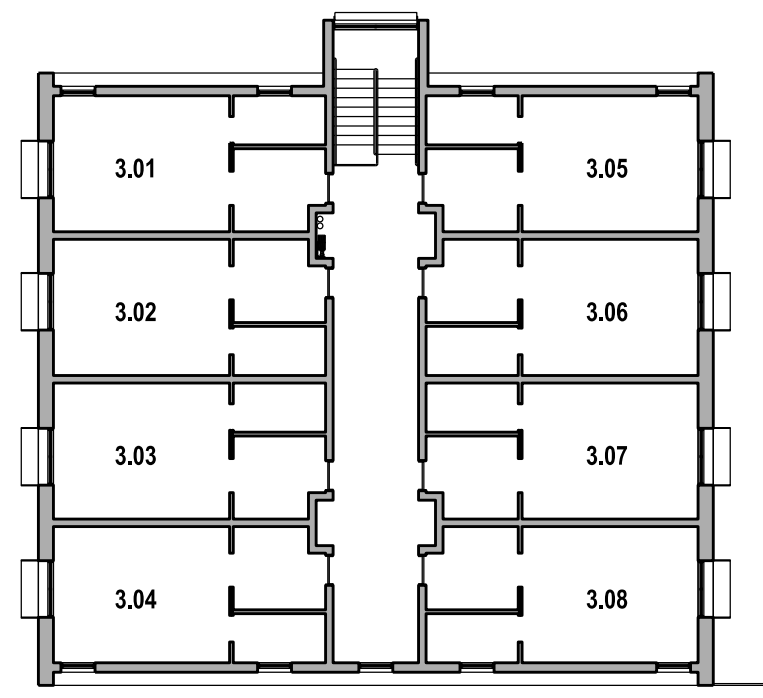
Residential Road



Ground (L1) Floor Plan



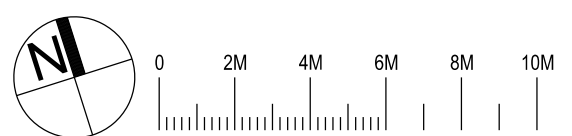
Level 2 Plan



Level 3 Plan

**Residential Site F  
 Communal Open Space Calculations**

Site Area	621m <sup>2</sup>
Communal Space	157m <sup>2</sup>
Percentage	25.3%
Compliance	>25%



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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
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**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph. (02) 9230 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

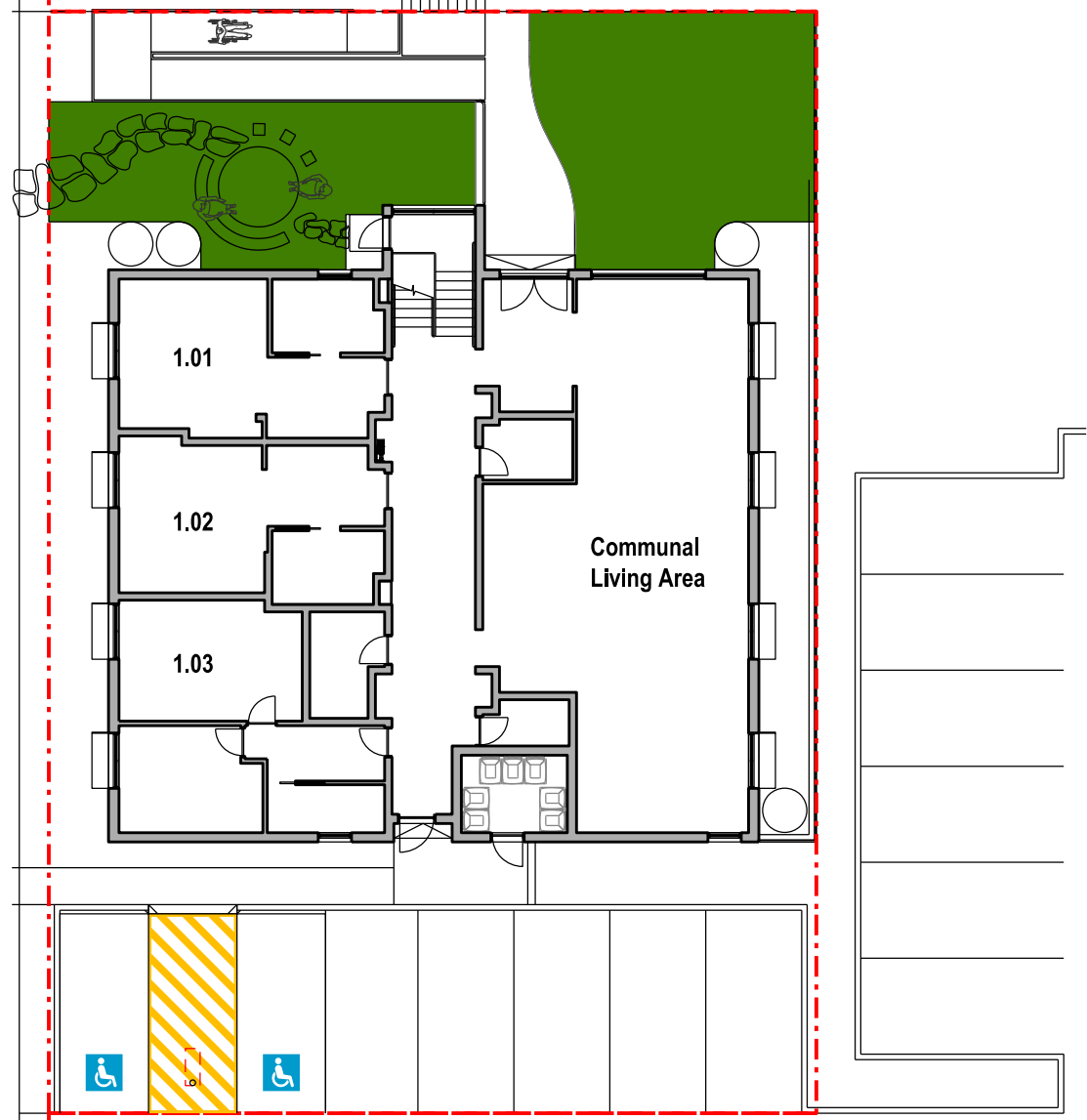
Drawing Title  
 Boarding House Precinct B - SSDA  
 Communal Open Space Calculations

Date	15th June 2025
Drawn	DJD
Scale	1:200 @ A3
Job No.	SYB01
Dwg No.	BA185
Rev.	C

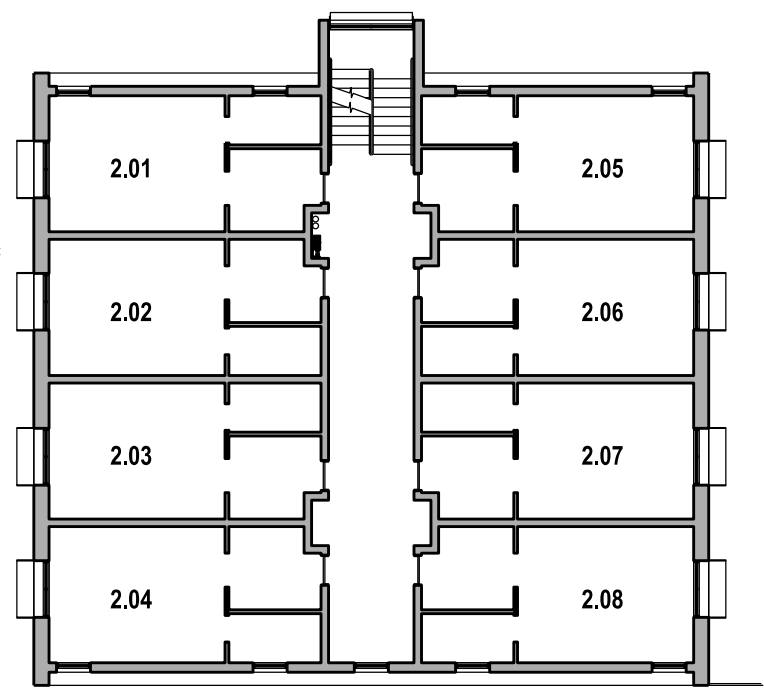
**Revision Notes**

Rev A	Coordination Issue
Rev B	SSDA Lodgement
Rev C	Revised SSDA reflecting comments: Park Interface Coordination Revised Parking as per SCC Comments Slopes & Levels Revised Waste Management

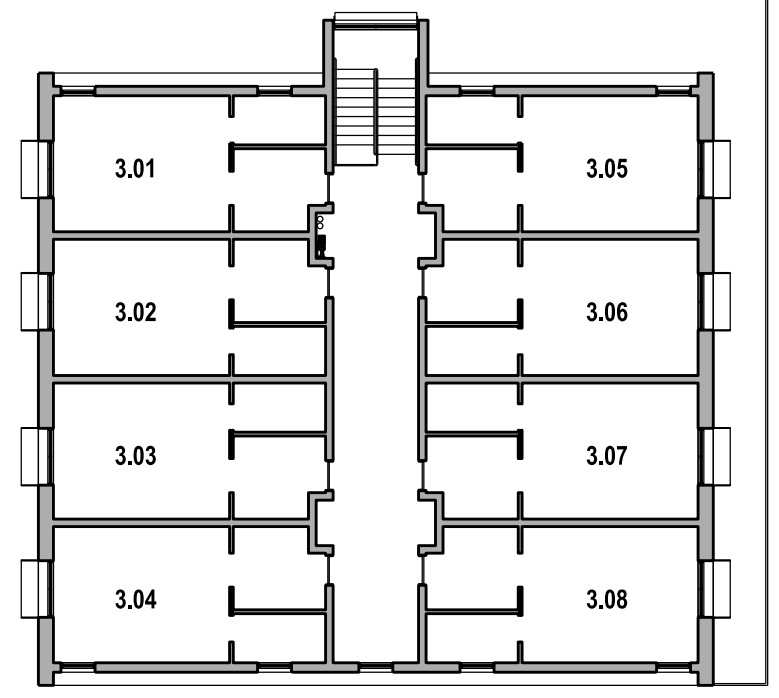
Residential Road



Ground (L1) Floor Plan



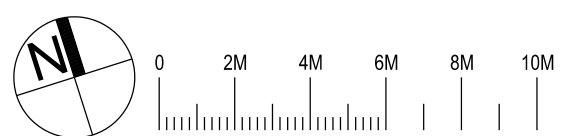
Level 2 Plan



Level 3 Plan

**Residential Site B  
Communal Open Space Calculations**

Site Area	621m <sup>2</sup>
Deep Soil	87.9m <sup>2</sup>
Percentage	14.2%
Compliance	>7%



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BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
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Registered Architect (Vic) No. 19113  
Licensed Building Contractor (NSW) 253780C  
29/04 Elizabeth Bay Road  
Elizabeth Bay, NSW, 2011  
M. 0410 025 892  
E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
Level 21  
Governor Philip Tower  
11 Finner Place  
Sydney, NSW  
2000  
P. (02) 0230 7100  
W. www.eg.com.au

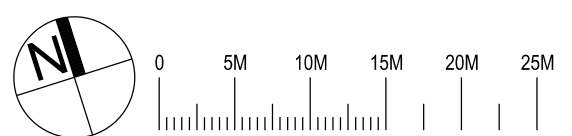
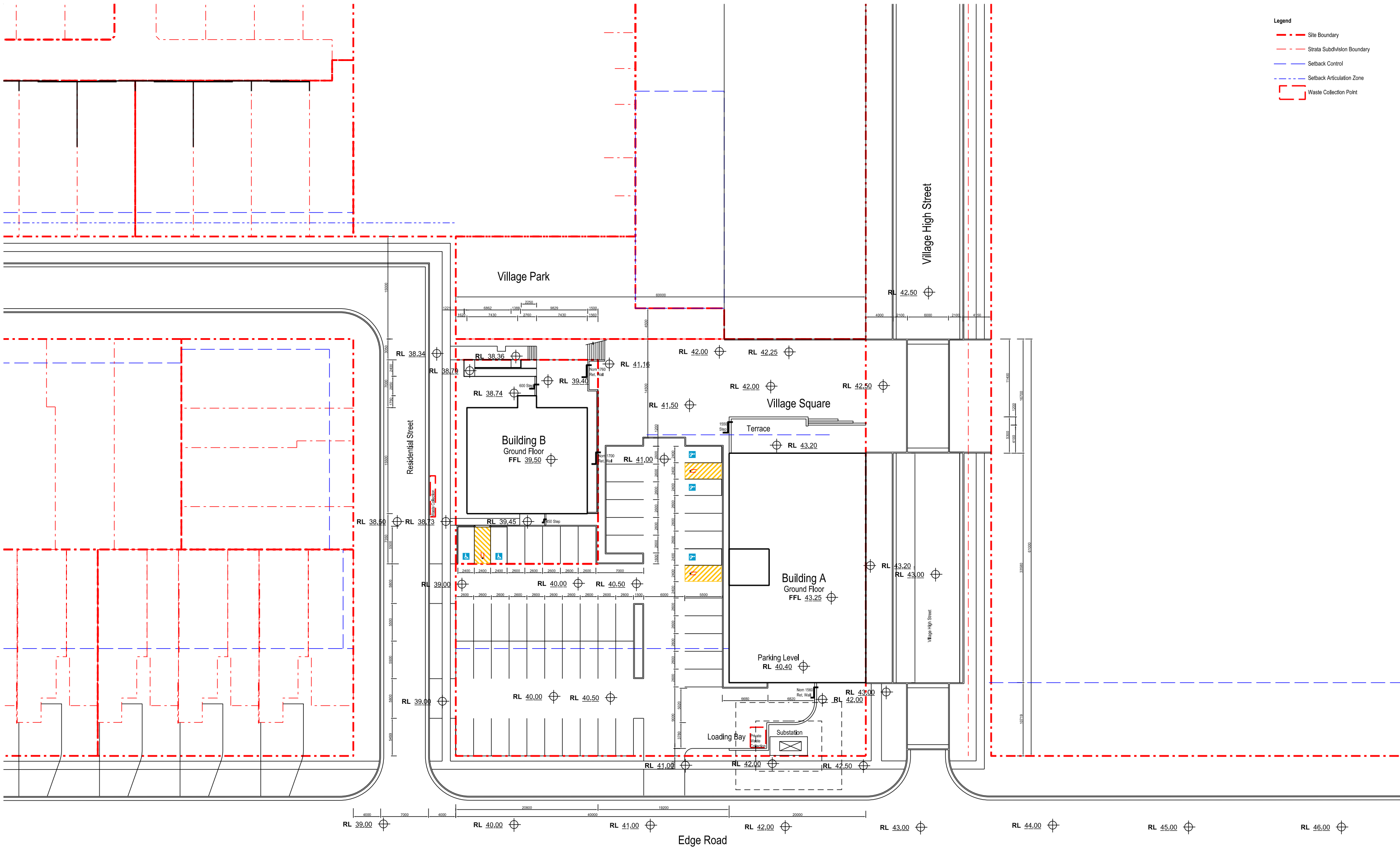


**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
Boarding House Precinct B - SSDA  
Deep Soil Planting Opportunity Calculations

Date	15th June 2025
Drawn	DJD
Scale	1:200 @ A3
Job No.	SYB01
Dwg No.	BA186
Rev.	C

- Legend**
- Site Boundary
  - Strata Subdivision Boundary
  - Setback Control
  - Setback Articulation Zone
  - Waste Collection Point



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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
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**SPARC**  
DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au

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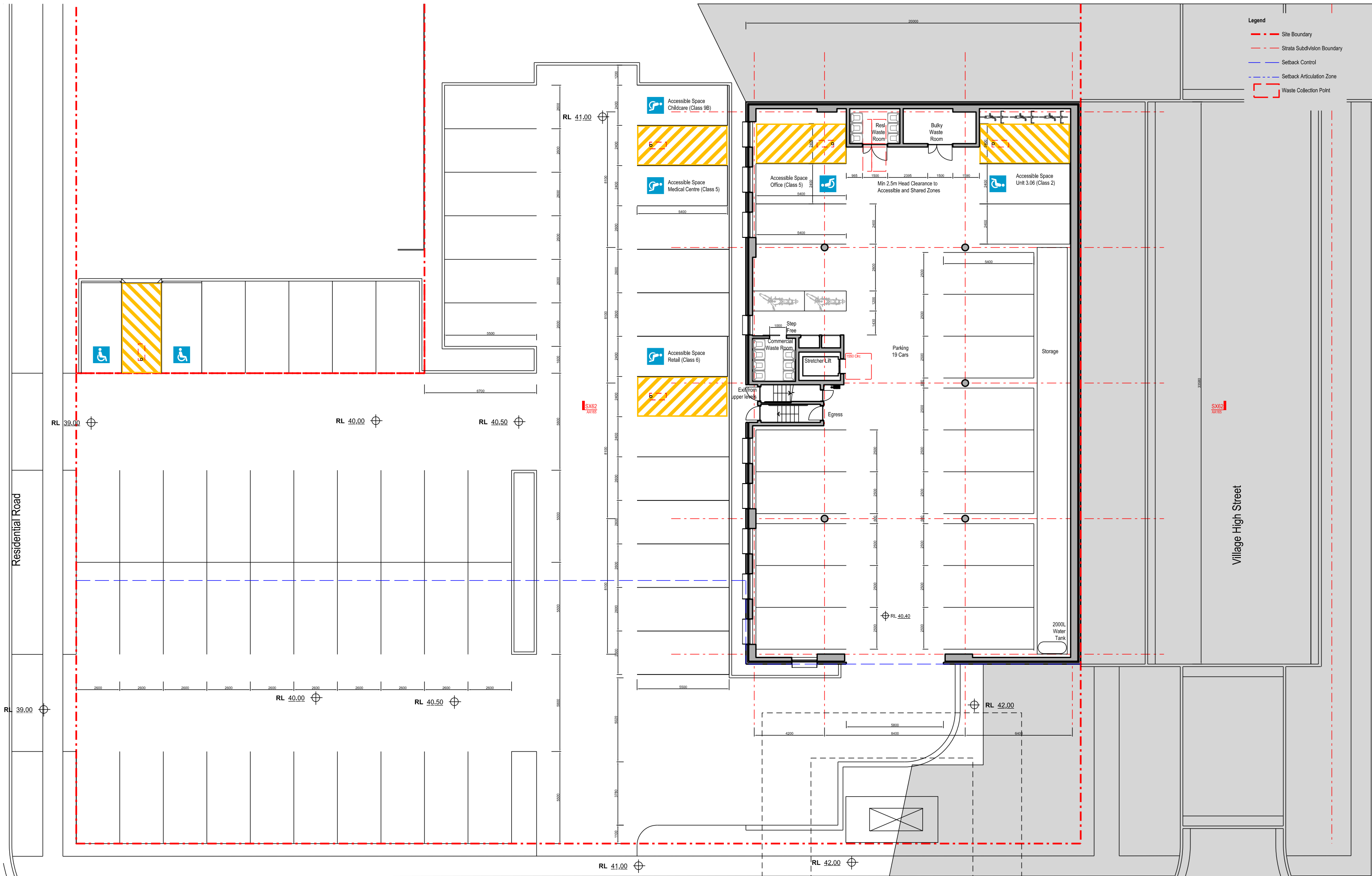


**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
**SCCH Office Site A & B - SSDA**  
 Site Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	AA100	Rev.	J

- Legend**
- Site Boundary
  - Strata Subdivision Boundary
  - Setback Control
  - Setback Articulation Zone
  - Waste Collection Point



Residential Road

Village High Street



**The Yards**  
Moss Vale Road, Bomaderry

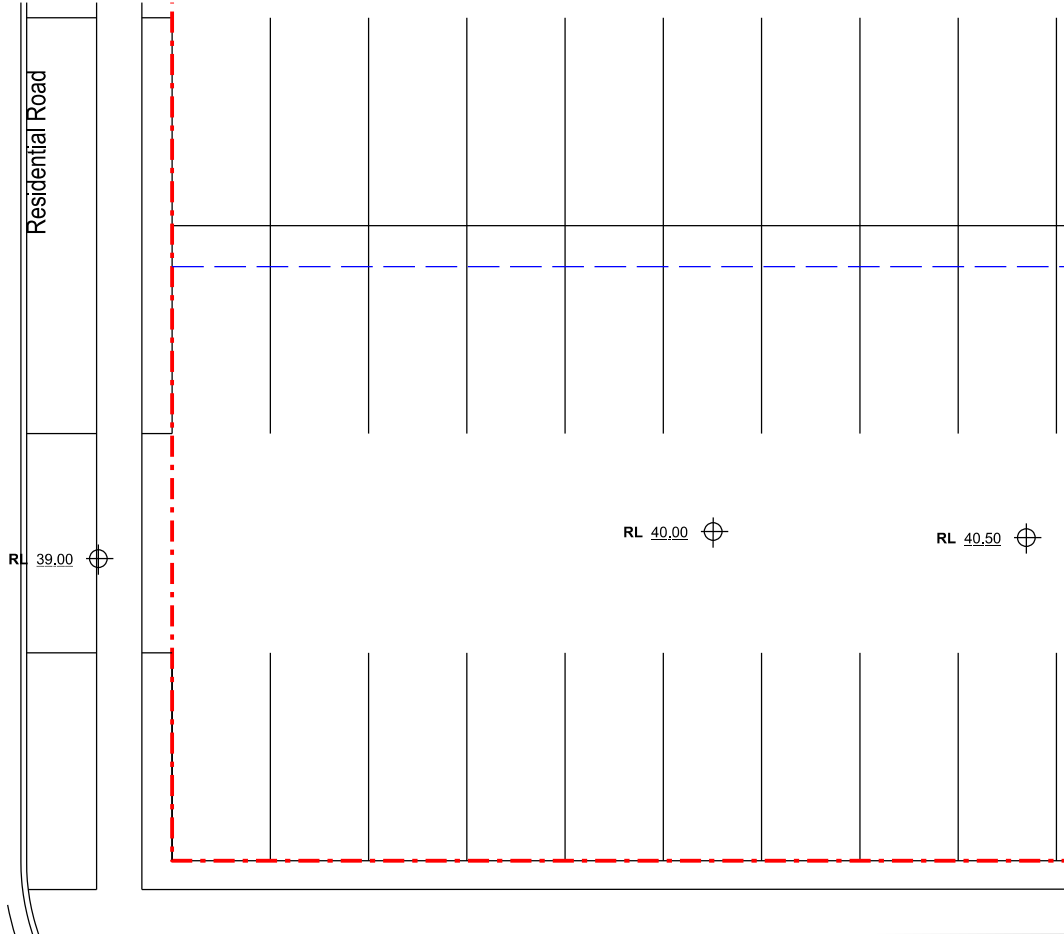
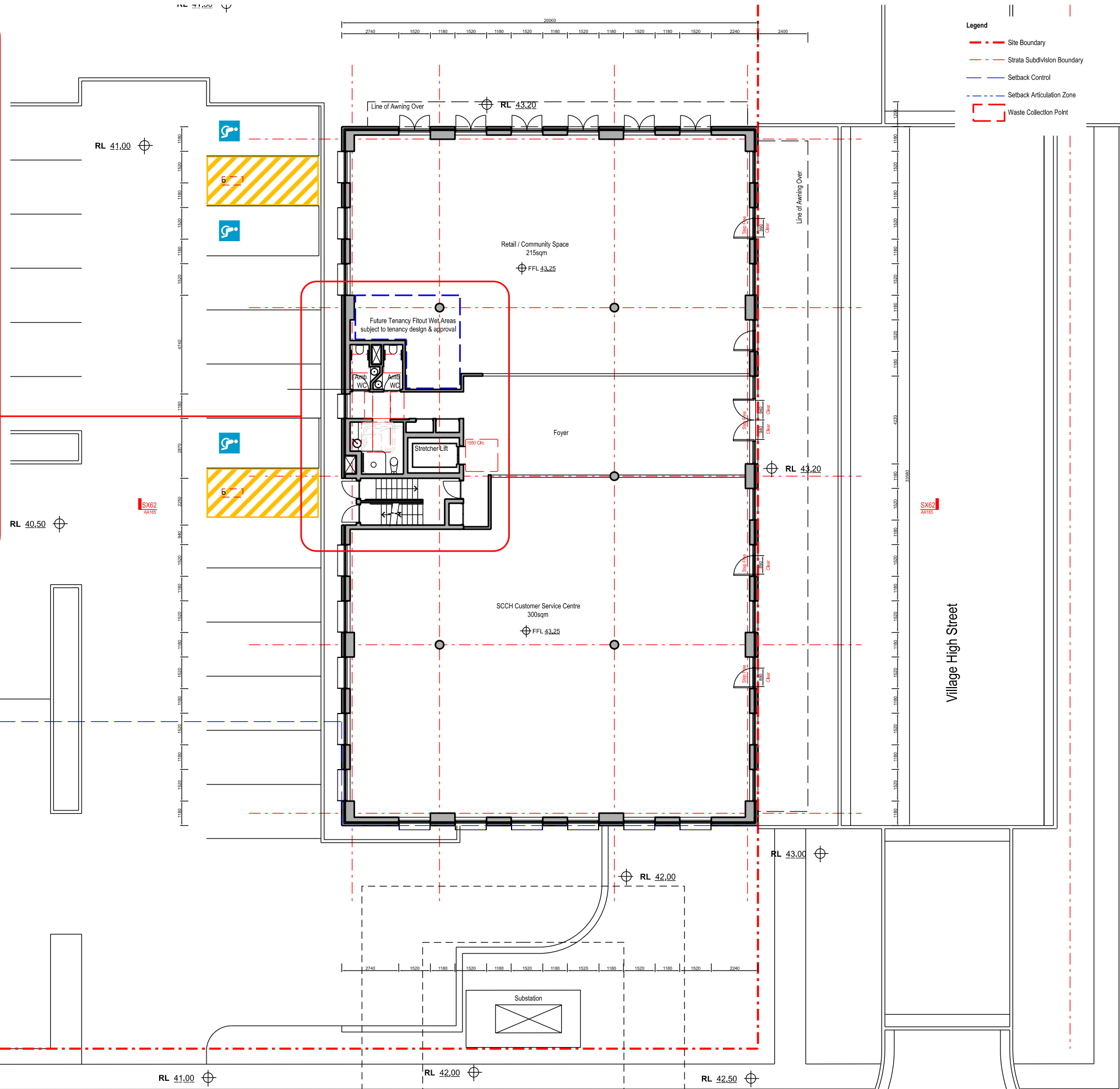
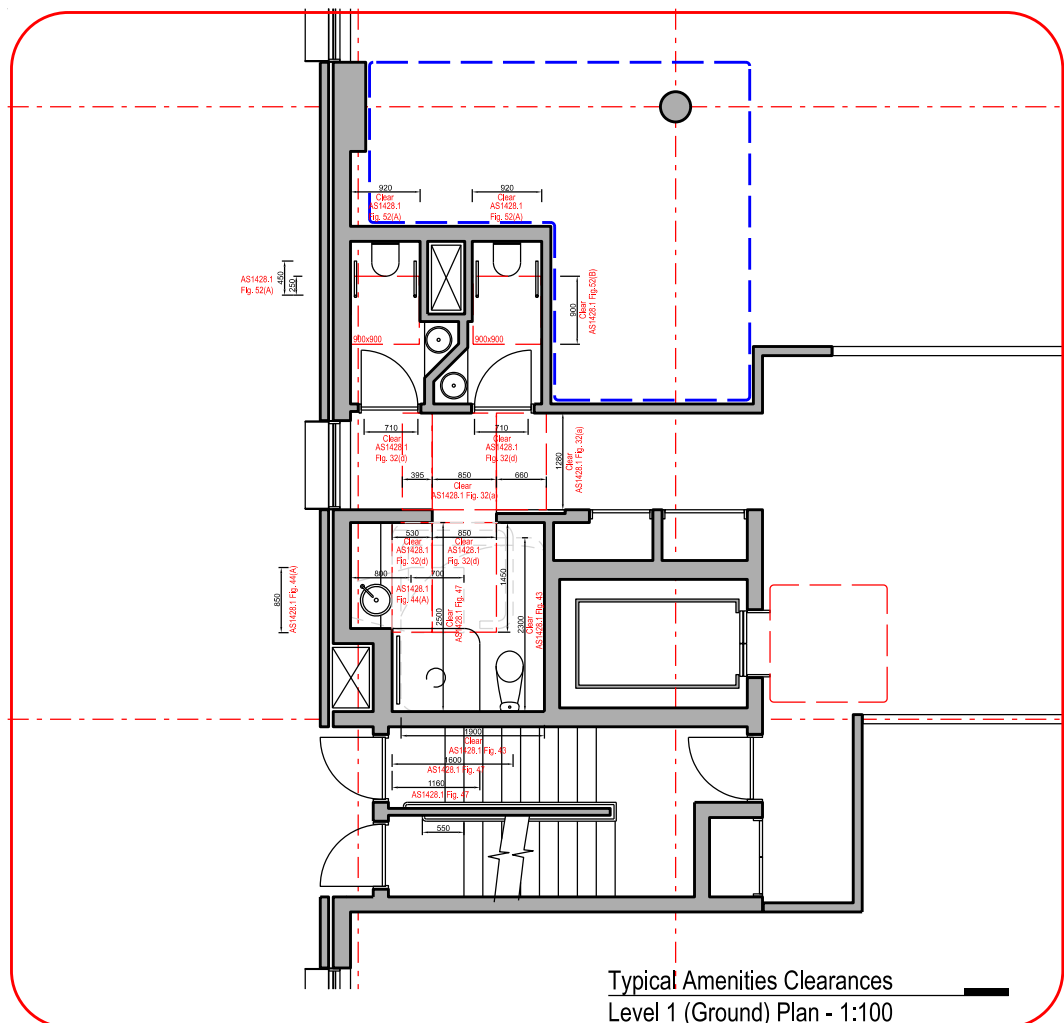
Drawing Title  
SCCH Office Site A - SSSA  
Level 0 (Undercroft) Floor Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	AA100	Rev.	J

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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
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 M. 0410 025 892  
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 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
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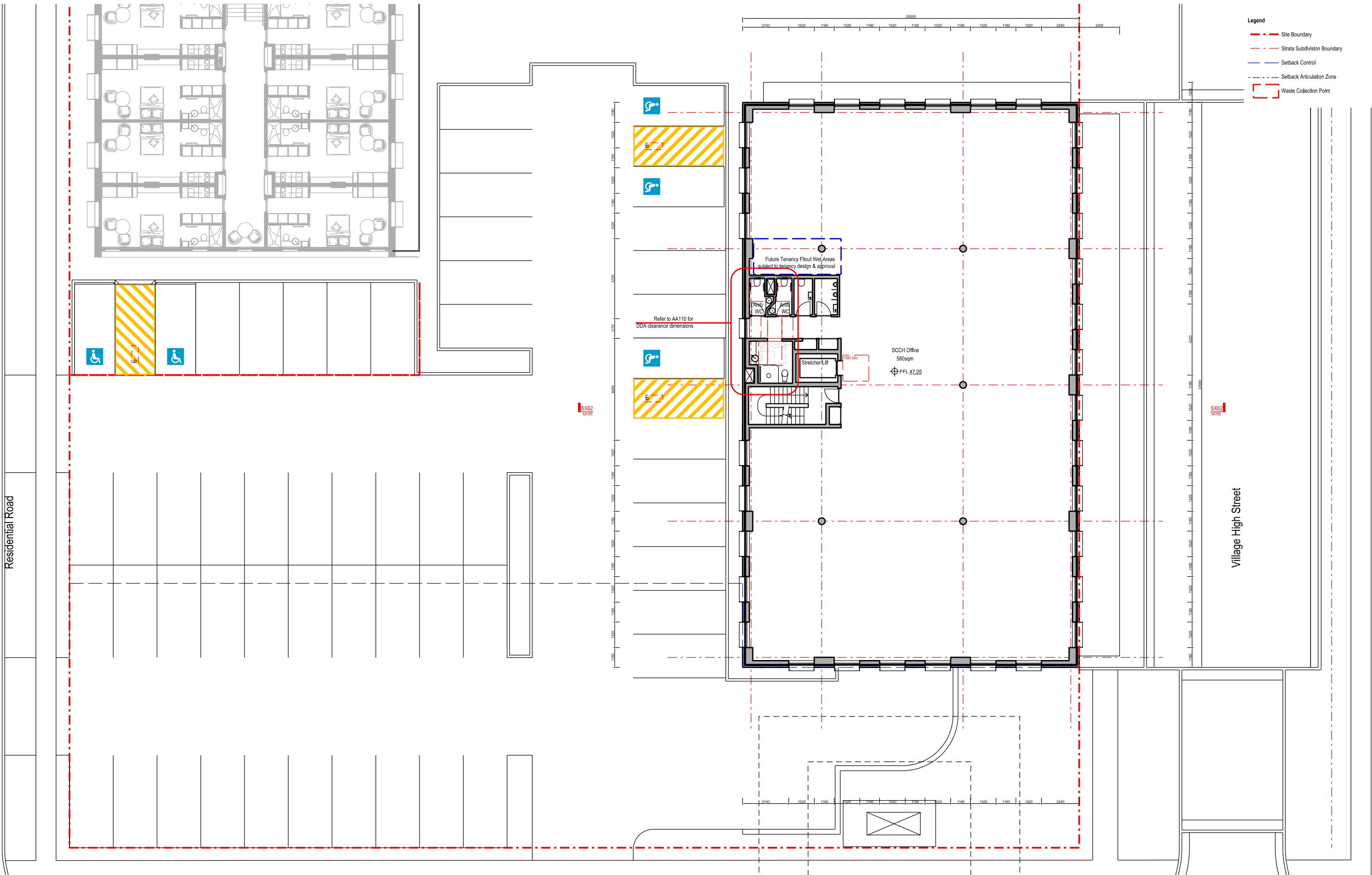
**EG**

**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
**SCCH Office Site A - SEDA**  
 Level 1 (Ground) Floor Plan

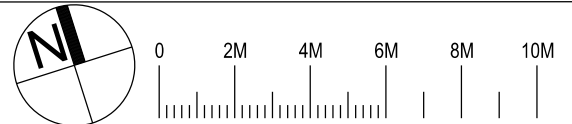
Date: 25th July 2025  
 Drawn: DJD Scale: 1:200 @ A3  
 Job No. SYB01 Dwg No. AA110 Rev. G



- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - - - Setback Articulation Zone
  - - - Waste Collection Point

Residential Road

Village High Street



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

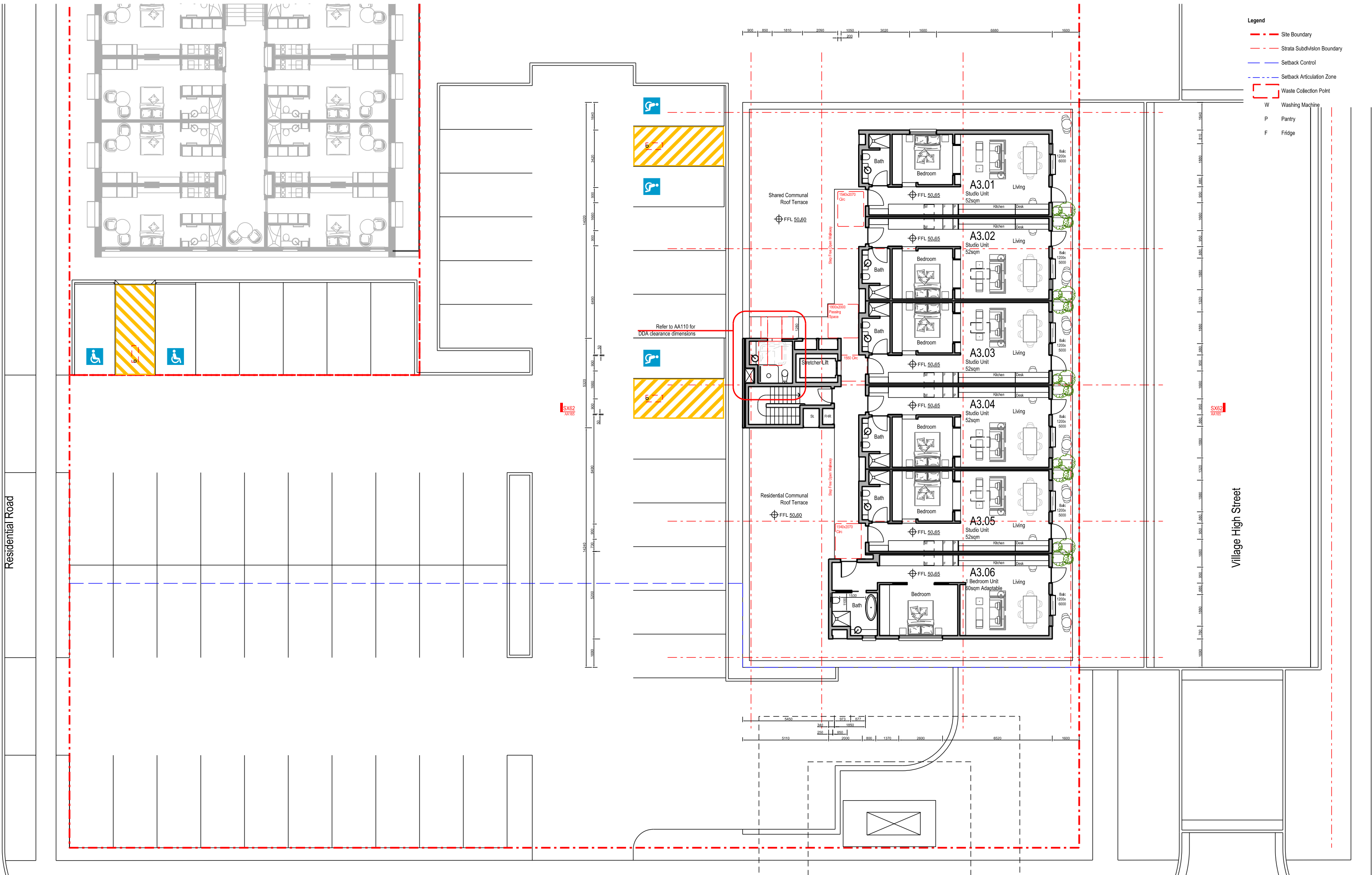
EG Funds Management  
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 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
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**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
**SCCH Office Site A - SSDA**  
**Level 2 (Mid Level) Floor Plan**

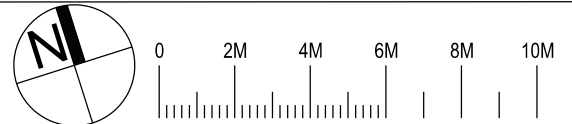
Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	AA120	Rev.	G



- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - - - Setback Articulation Zone
  - Waste Collection Point
  - W Washing Machine
  - P Pantry
  - F Fridge

Residential Road

Village High Street



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 Ph. (02) 9230 7100  
 W. www.eg.com.au

**EG**



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SEDA  
 Level 3 (Top Level) Floor Plan

Drawn	DJD	Date	25th July 2025
Scale	1:200 @ A3		
Job No.	SYB01	Dwg No.	AA130
Rev.	G		

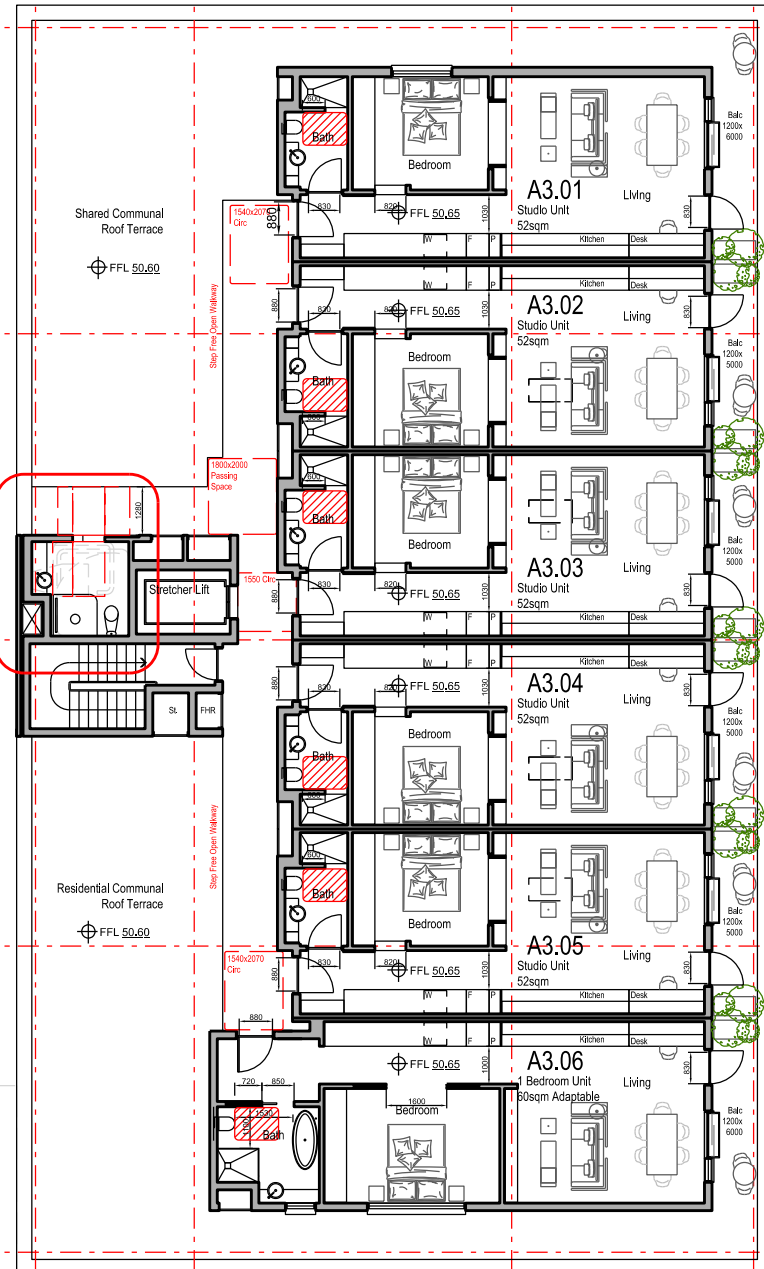
**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
A3.01	Yes	No
A3.02	Yes	No
A3.03	Yes	No
A3.04	Yes	No
A3.05	Yes	No
A3.06	Yes	Yes
<b>Total</b>	<b>Total</b>	<b>Total</b>
6 Units	6 Units (100%)	1 Units (17%)

- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - - - Setback Articulation Zone
  - - - Waste Collection Point
  - W Washing Machine
  - P Pantry
  - F Fridge
  - ▨ Toilet Clearance Zone 900x1200

Residential Road

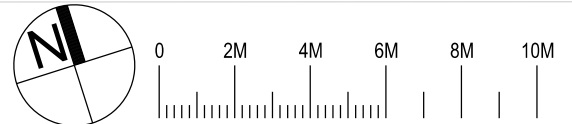
Village High Street



Refer to AA110 for DDA clearance dimensions

SX62 AX185

SX62 AX185



Nominated Architect: David Dove  
 BAArch (Hons), AAADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8982  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



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 Level 21  
 Governor Phillip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
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 W: www.eg.com.au

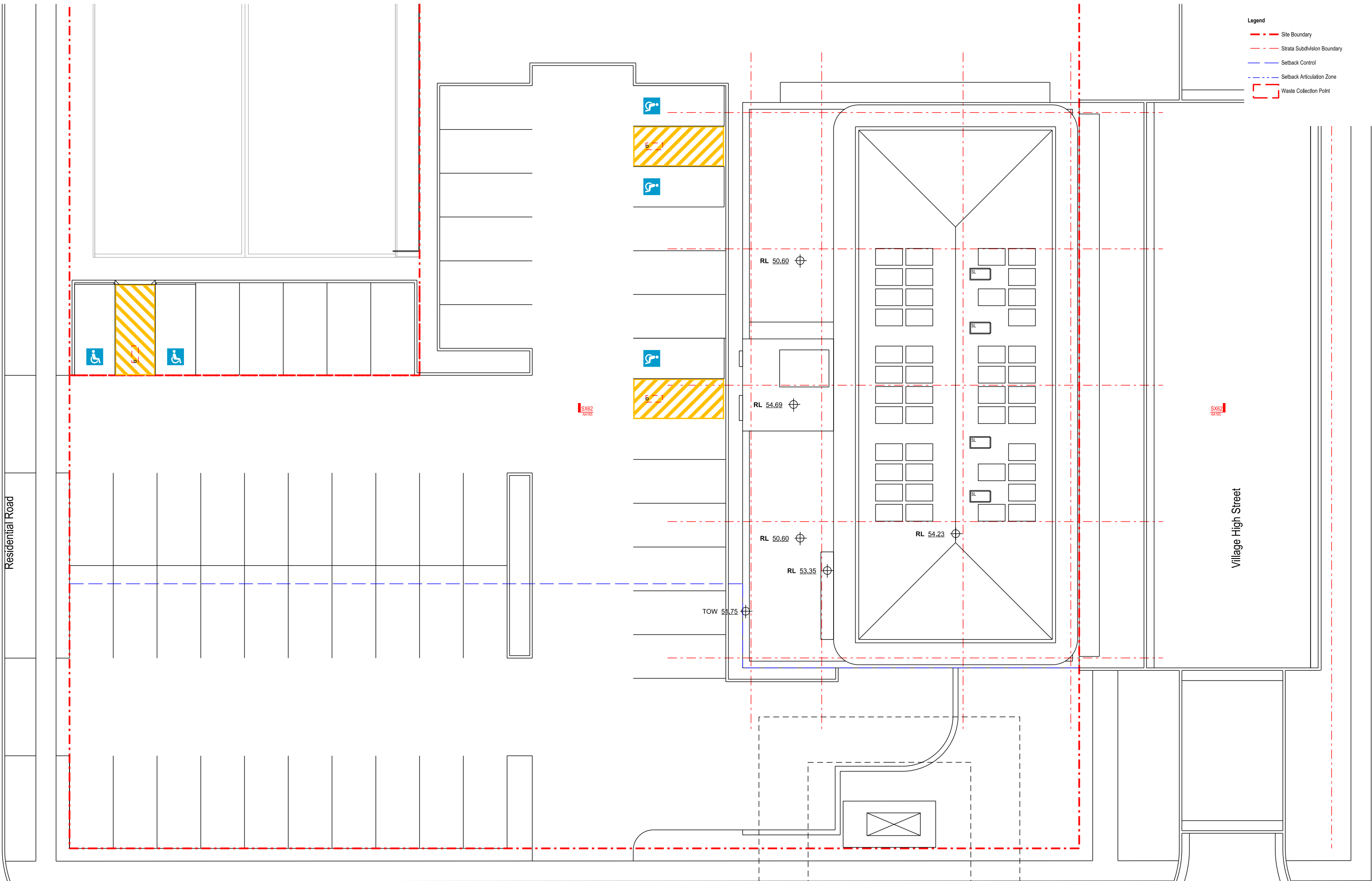


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SEDA  
 Level 3 Livable Housing Units

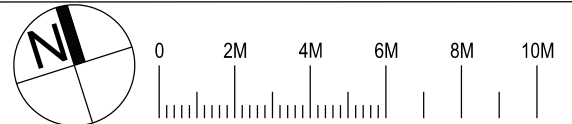
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Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	AA131	Rev.	E

- Legend**
- - - - Site Boundary
  - - - - Strata Subdivision Boundary
  - - - - Setback Control
  - - - - Setback Articulation Zone
  - [ ] Waste Collection Point



Residential Road

Village High Street



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 10113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
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EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
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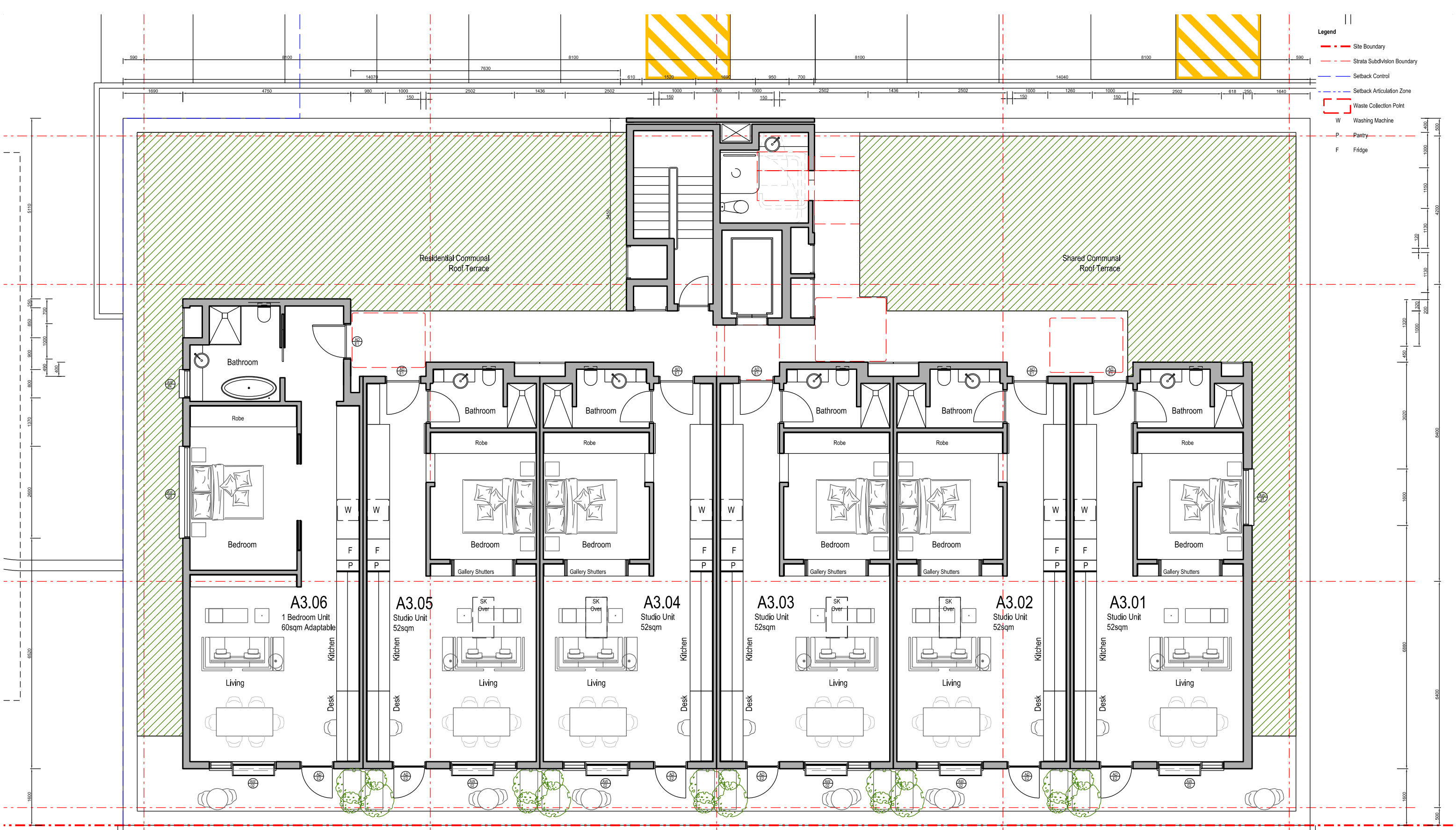
**EG**

**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

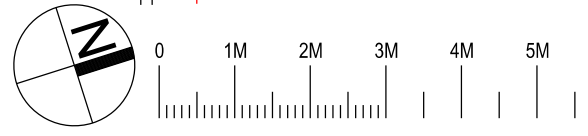
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SSSA  
 Level 4 Roof Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	AA140	Rev.	F



- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - - - Setback Articulation Zone
  - - - Waste Collection Point
  - W Washing Machine
  - P Pantry
  - F Fridge



Nominated Architect: David Dove  
 BAArch (Hons), AArch (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



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 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



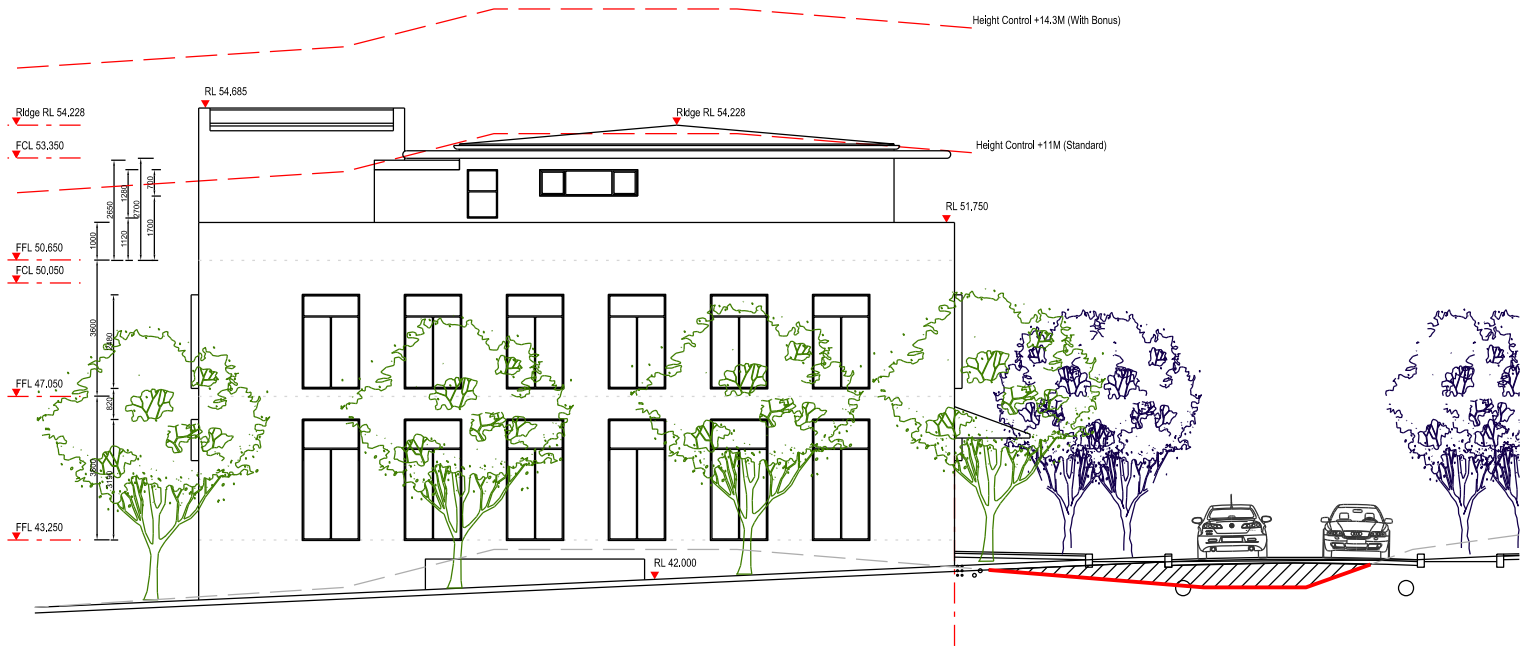
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site A - SDDA  
 Level 3 Detail Floor Plan

Drawn	DJD	Date	25th July 2025
Scale	1:100 @ A3	Dwg No.	AA143
Job No.	CL41	Rev.	C



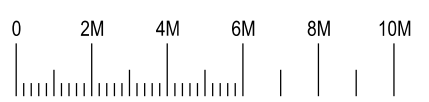
East Elevation



South Elevation



North Elevation



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 18913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



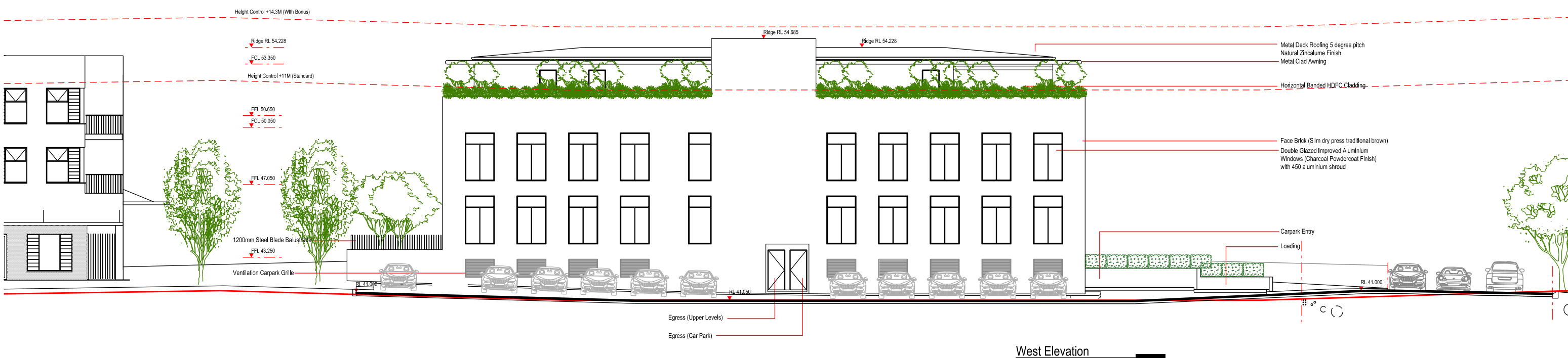
EG Funds Management  
 Level 21  
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 2000  
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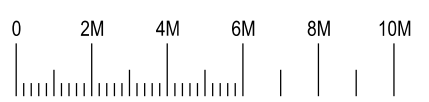
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SSSA  
 Elevations (N/E/S)

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	AA160 Rev. F



West Elevation



Nominated Architect: David Dove  
 BA Arch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8982  
 Registered Architect (Vic) No. 19913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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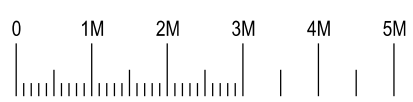
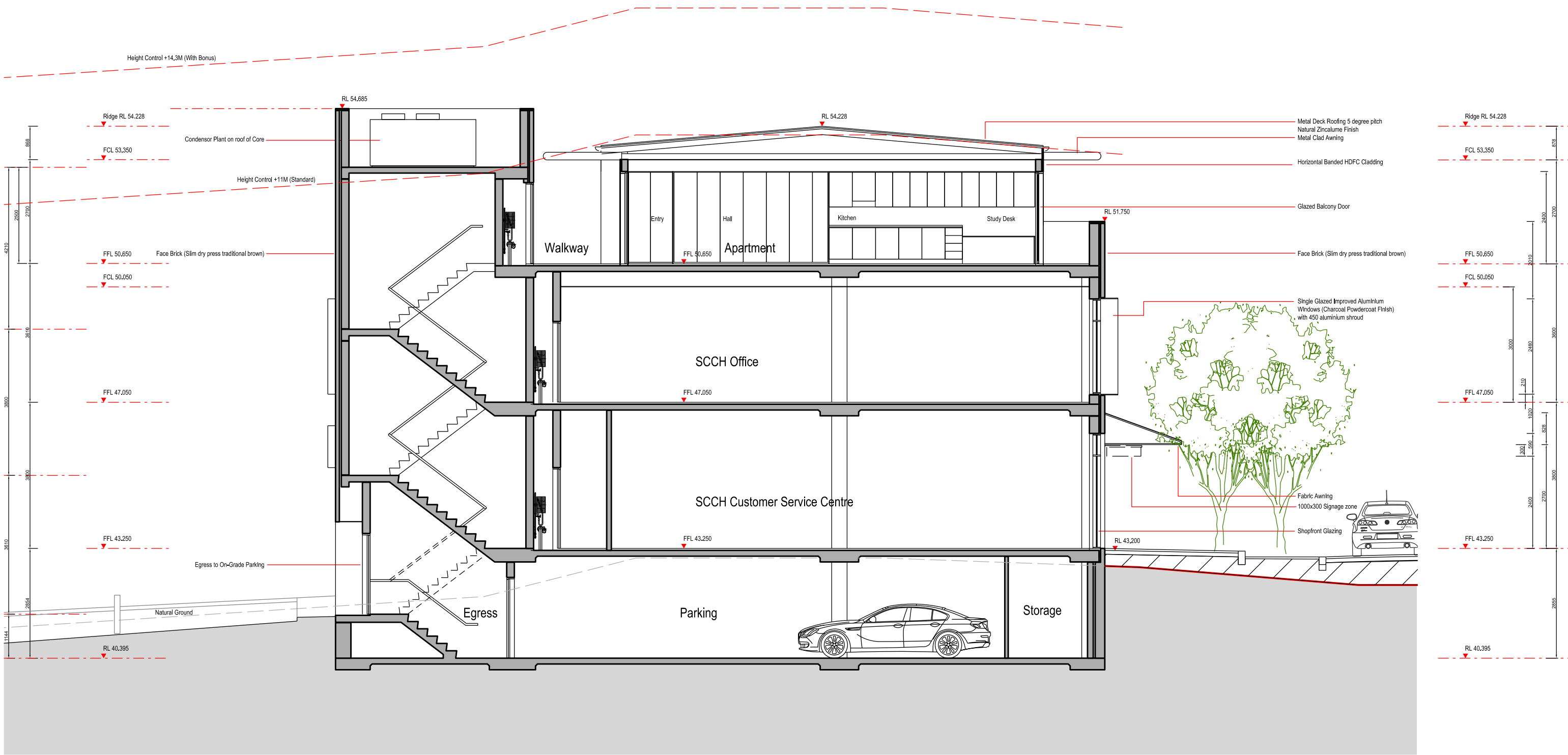
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 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SEDA  
 West Elevation

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	AA161	Rev.	D



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

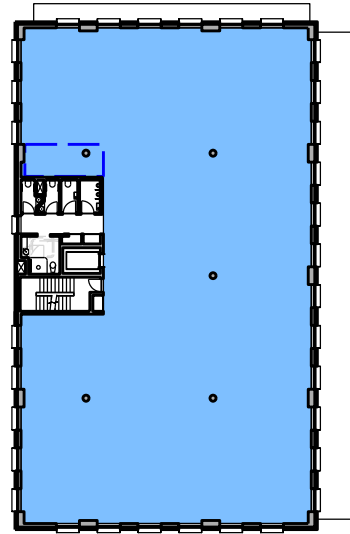
EG Funds Management  
 Level 21  
 Governor Philip Tower  
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 2000  
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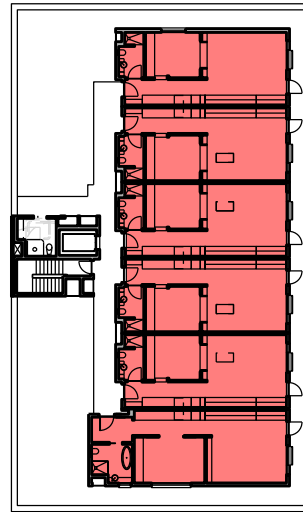
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SEDA  
 Indicative Section (sx62)

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	AA165 Rev. B



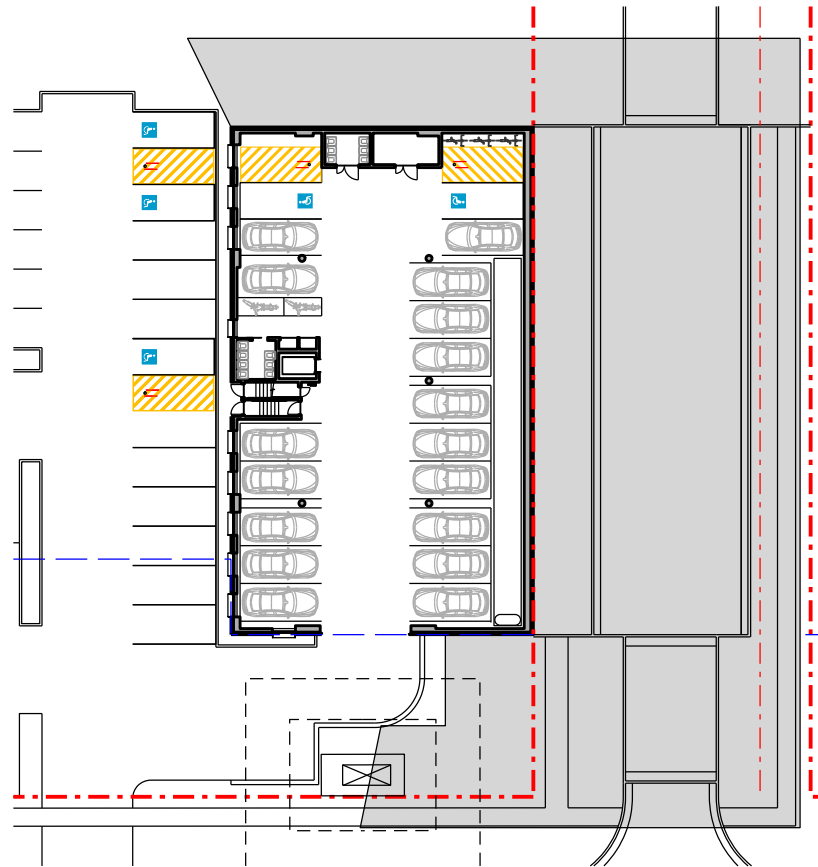
Level 2 (Commercial Level)



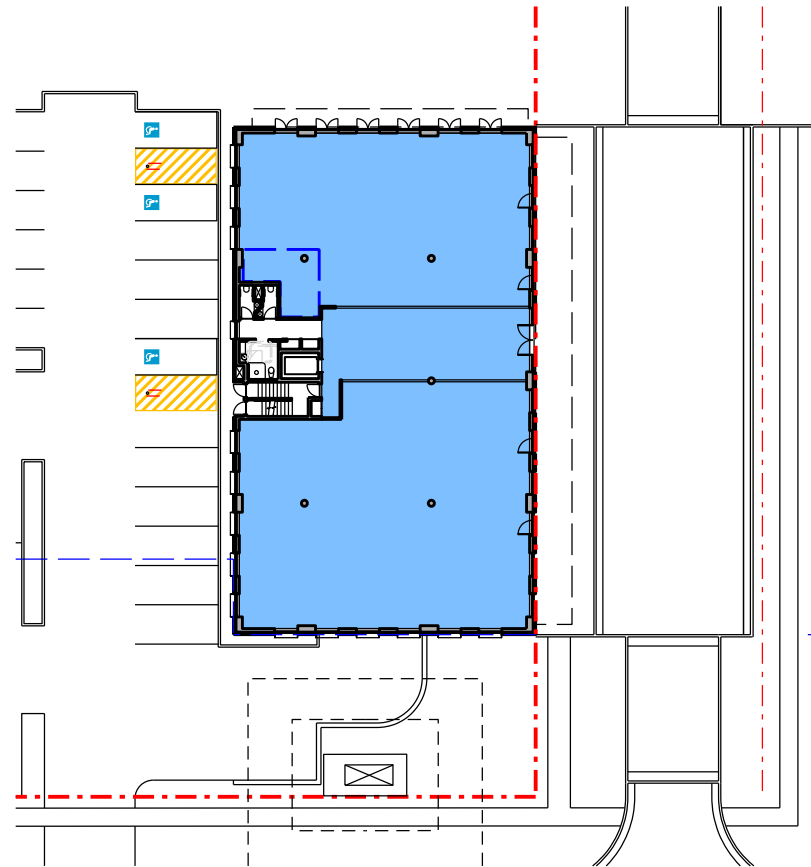
Level 1 (Residential Accommodation)

**Mixed Use Site A  
Floor Space Area Calculations**

Level 3 (Top)	331m <sup>2</sup>
Level 2 (Mid)	577m <sup>2</sup>
Level 1 (Ground)	584m <sup>2</sup>
Level 0 (Undercroft)	0m <sup>2</sup>
<b>Total</b>	<b>1492m<sup>2</sup></b>



Level 0 (Undercroft)



Level 1 (Ground)



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 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registration Address: (Vic) 189/3  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
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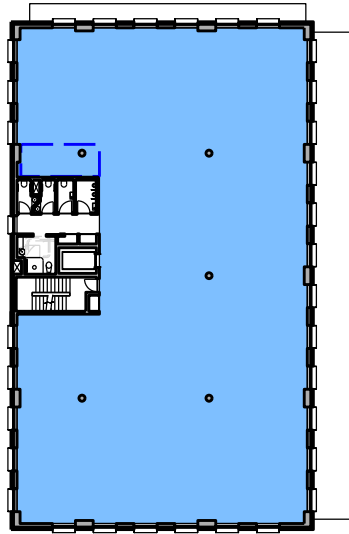
EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
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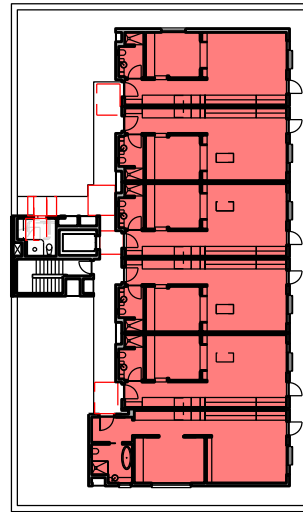
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SSDA  
 Floor Space Area Calculations

Drawn	DJD	Date	25th July 2025
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Dwg No.	AA170	Rev.	C



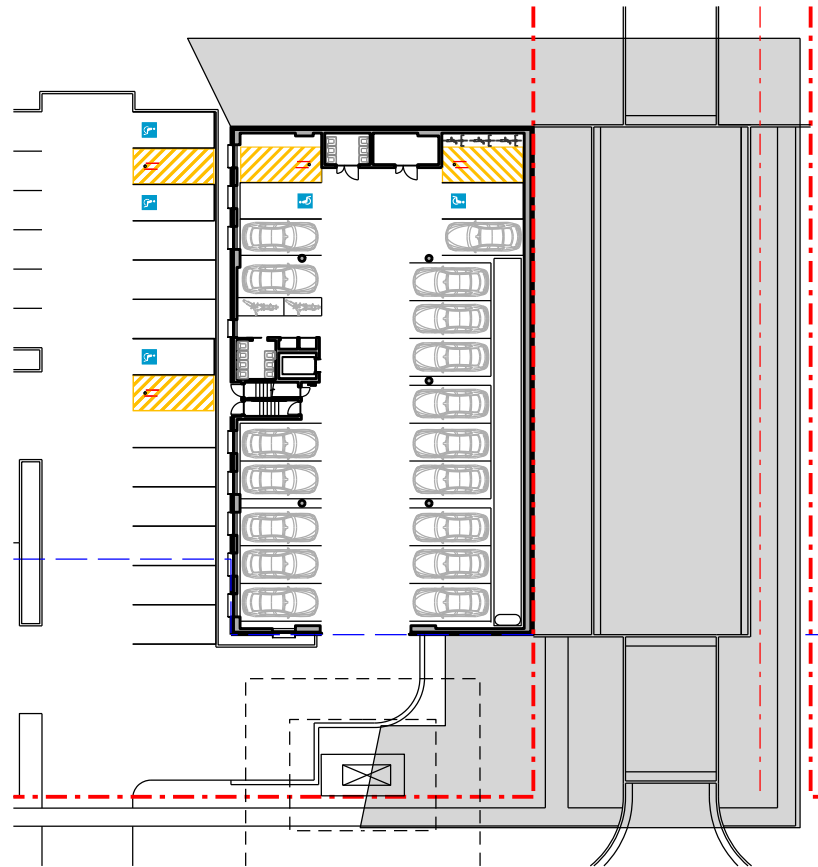
Level 2 (Commercial Level)



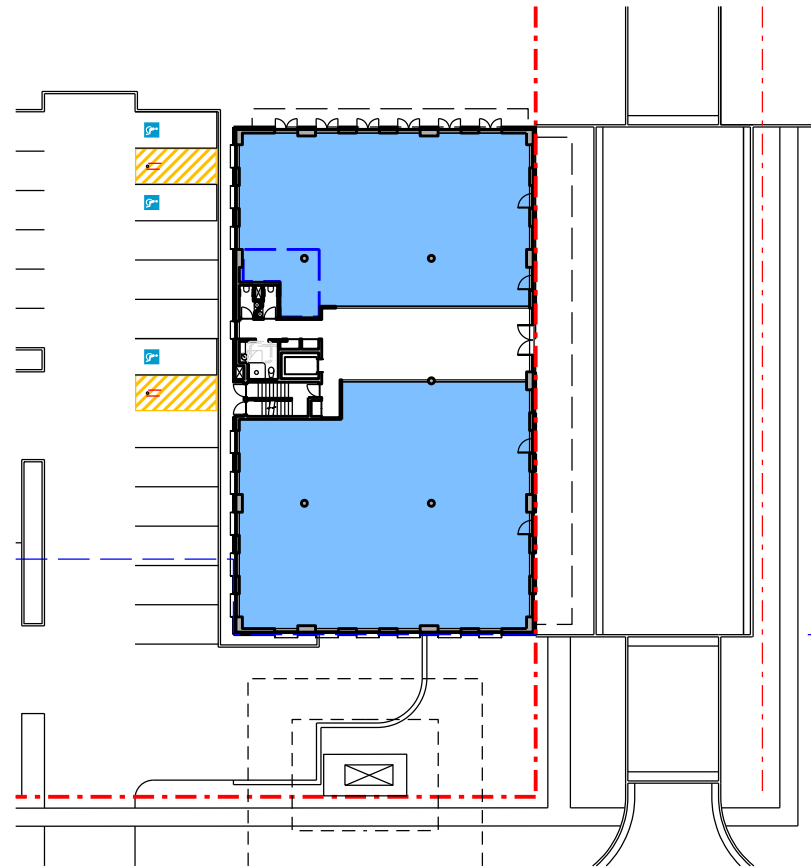
Level 1 (Residential Accommodation)

**Mixed Use Site A  
Nett Saleable / Lettable Area Calculations**

Unit	NIA
3.01	52m2
3.02	52m2
3.03	52m2
3.04	52m2
3.05	52m2
3.06	60m2
2.01	580m2
1.01	215m2
1.02	300m2
<b>Total</b>	<b>1375m2</b>



Level 0 (Undercroft)



Level 1 (Ground)



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 Registration Address: (Vic) 189/3  
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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



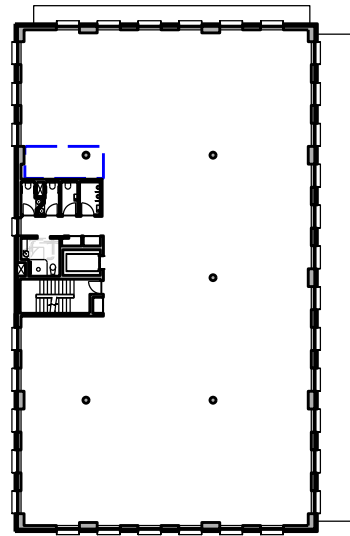
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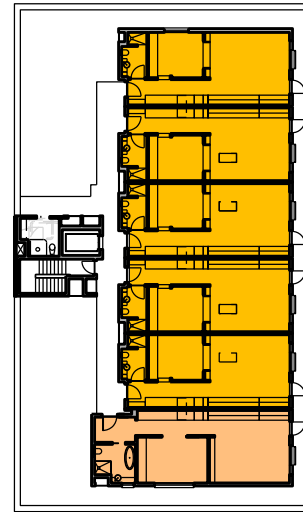
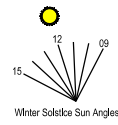
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SSDA  
 NSA / NLA Area Calculations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	AA171	Rev.	B



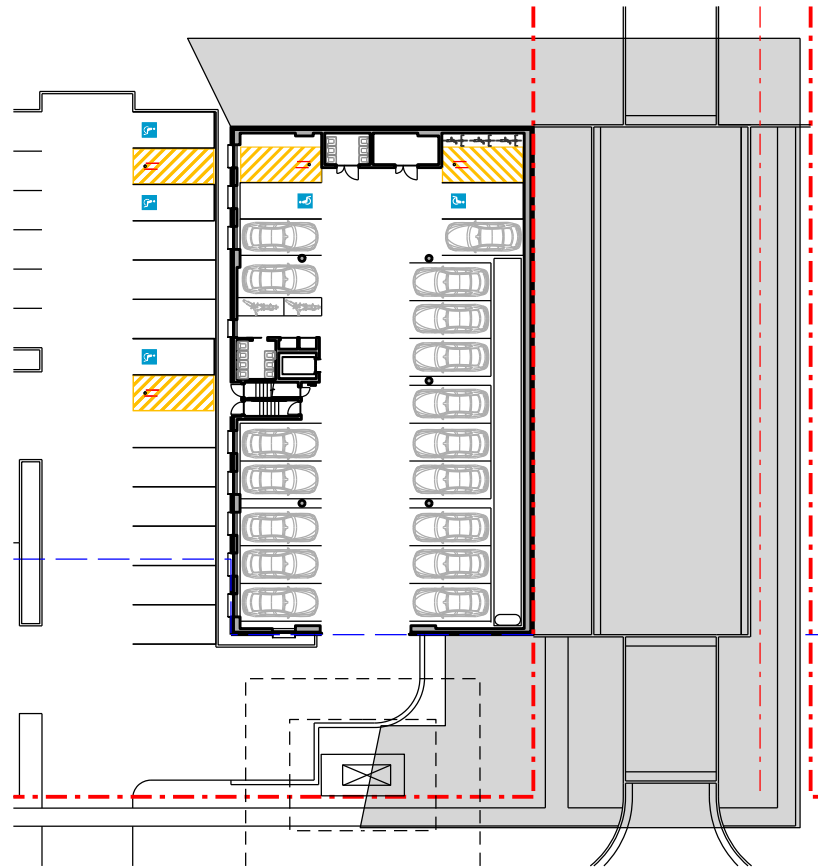
Construction Level 2 (Commercial)



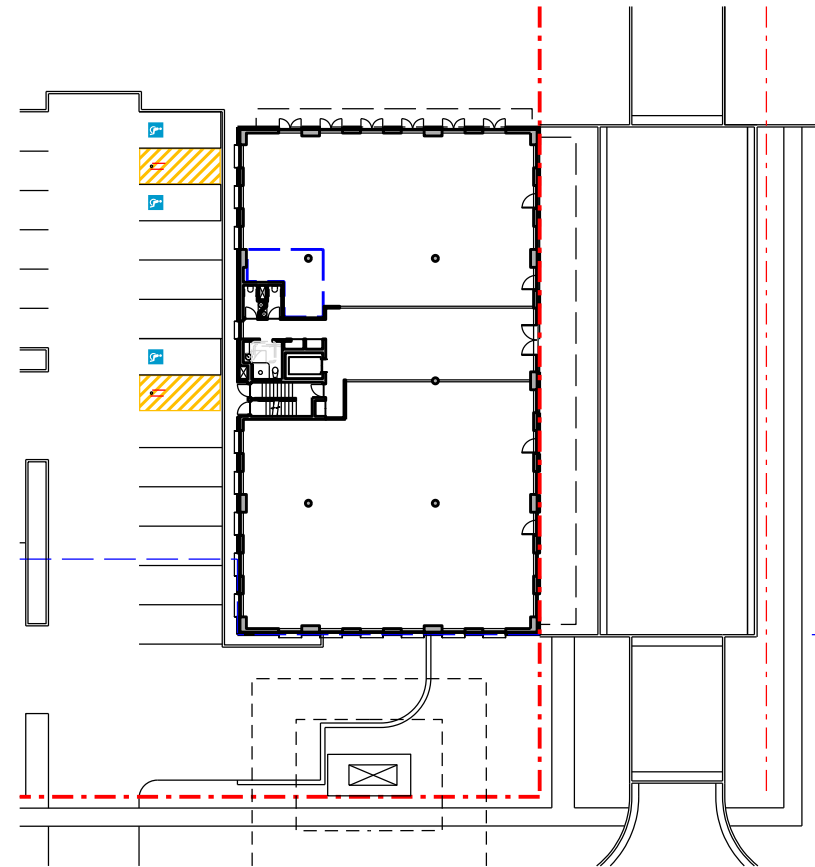
Construction Level 3 (Residential)

**Mixed Use Site A  
Solar Access Calculations**

	Total Units	Compliance
Units receiving more than 3 Hrs	5 (84%)	>70% (Complies)
Units receiving 2-3 Hrs	0	
Units receiving less than 2 Hrs	1 (16%)	<15% (Complies)
Units receiving no mid winter sun	0	



Construction Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19913  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



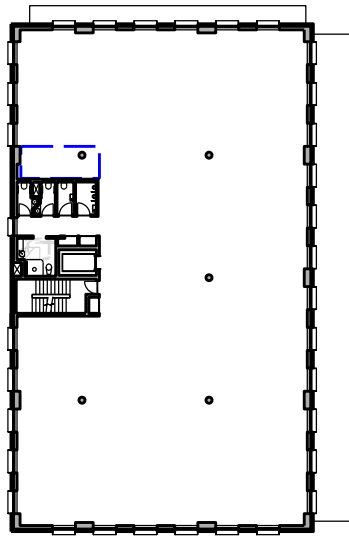
EG Funds Management  
 Level 21  
 Governor Philip Tower  
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 Sydney, NSW  
 2000  
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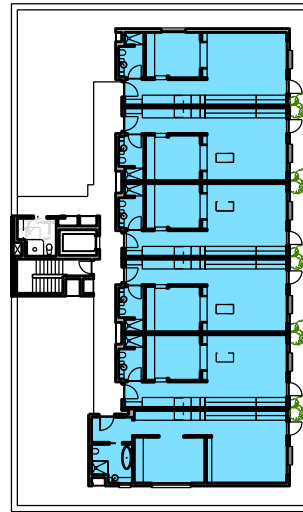
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SSDA  
 Solar Access

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	AA173 Rev. B

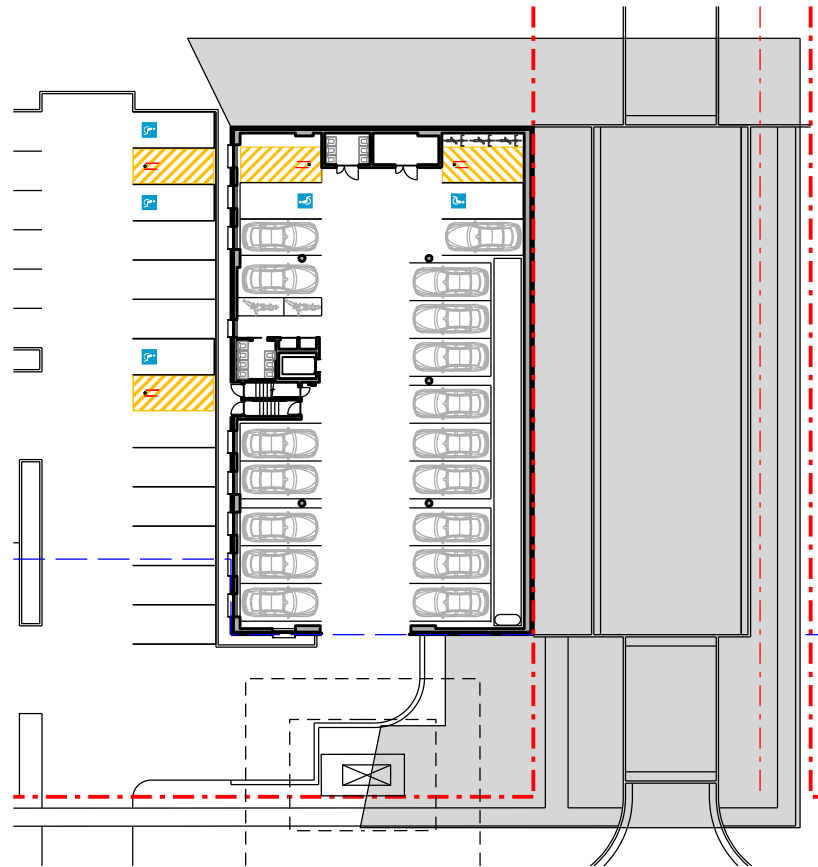


Construction Level 2 (Commercial)

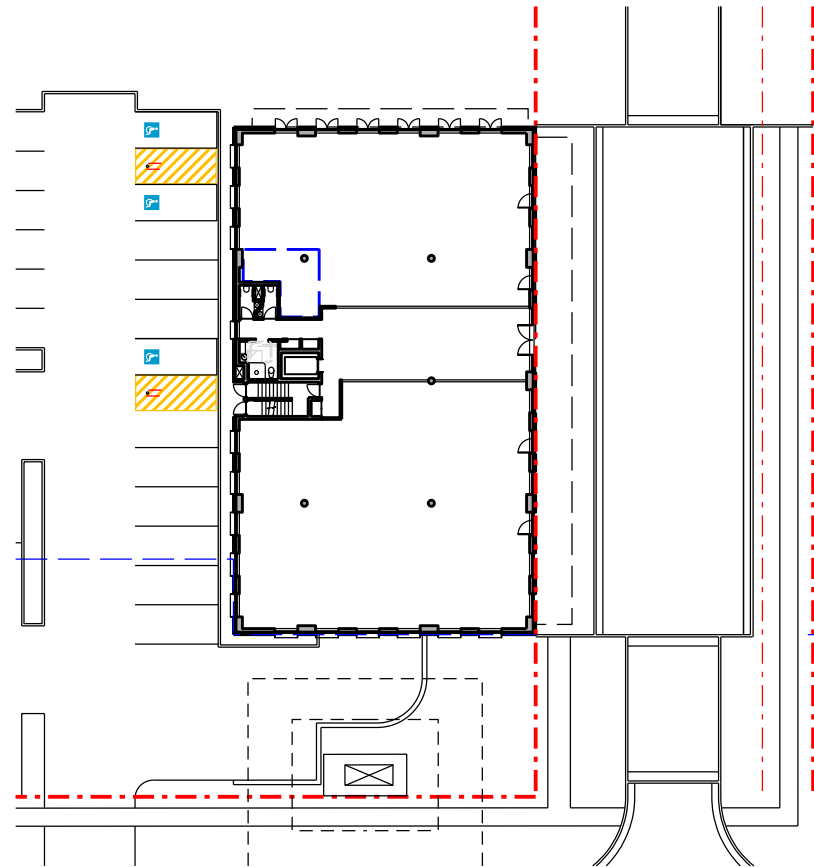


Construction Level 3 (Residential)

Mixed Use Site A Cross Ventilation Calculations		Compliance
Total Units	6	
Dual Orientation Units	6 (100%)	>60% (Complies)
Single Orientation Units	0	



Construction Level 0 (Undercroft)



Construction Level 1 (Ground)



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 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registration Address: (Vic) 189/3  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



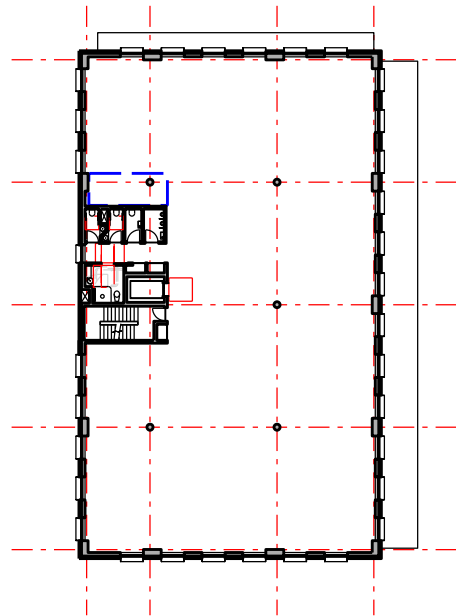
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 11 Finner Place  
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 2000  
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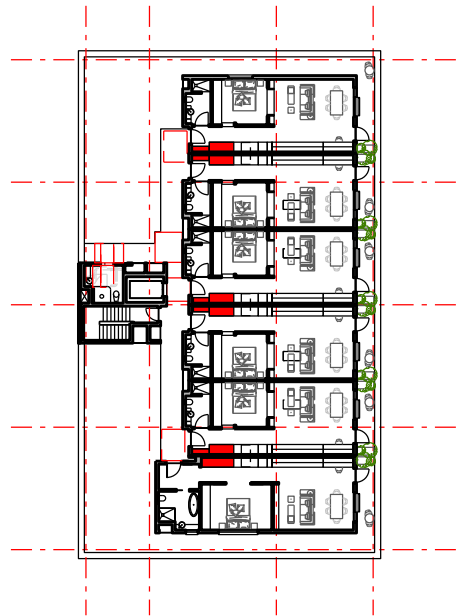
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SSSA  
 Cross Ventilation

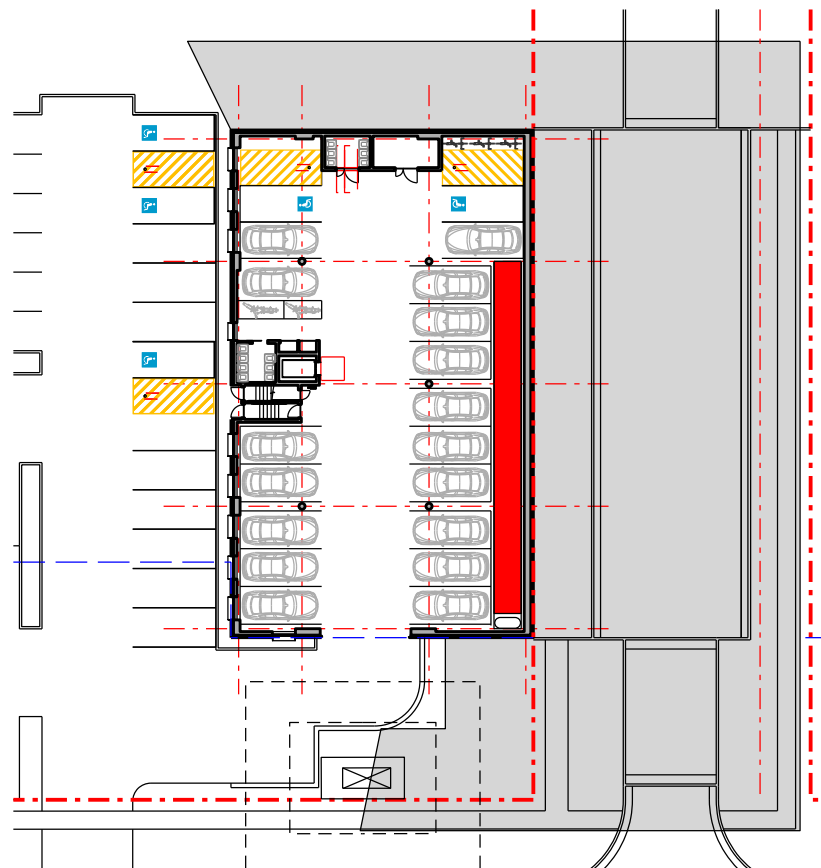
Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	AA174	Rev.	B



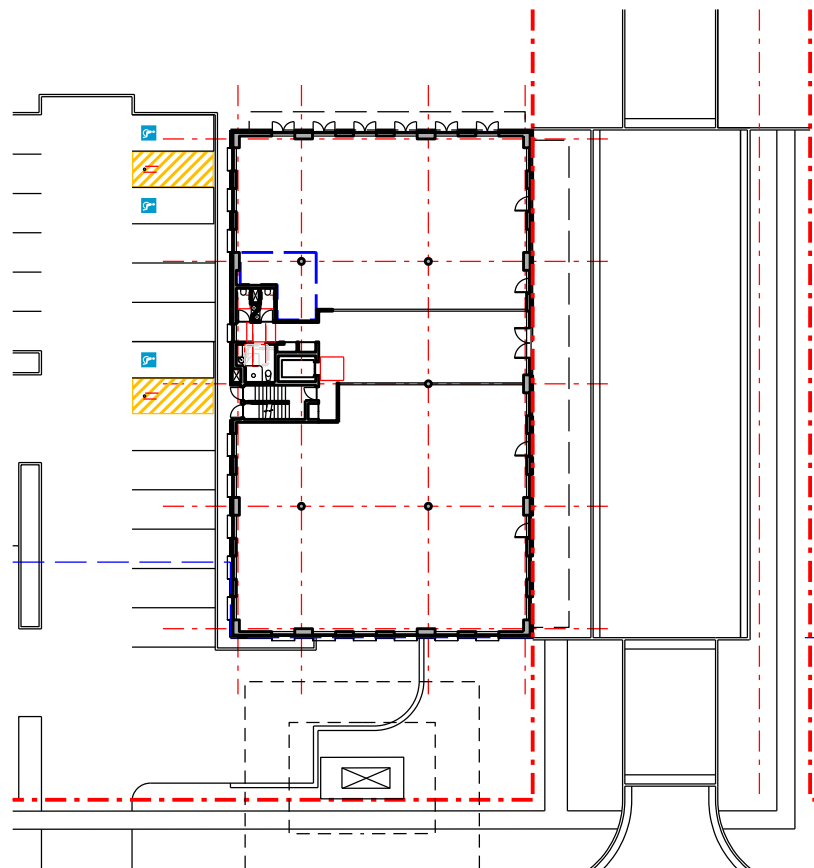
Level 2 (Commercial Level)



Level 1 (Residential Accommodation)



Level 0 (Undercroft)



Level 1 (Ground)



Nominated Architect: David Dove  
 BArch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



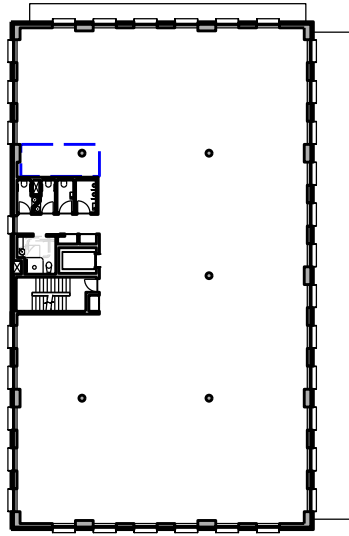
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 Governor Philip Tower  
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 Sydney, NSW  
 2000  
 P. (02) 9233 7160  
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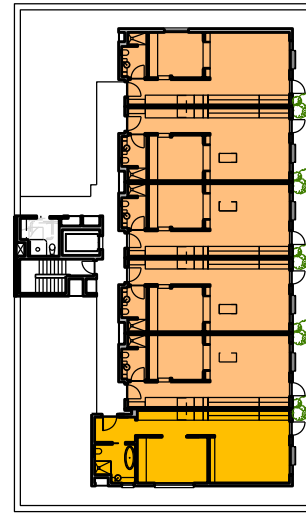
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SSDA  
 Storage

Date	5th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	AA175 Rev. B

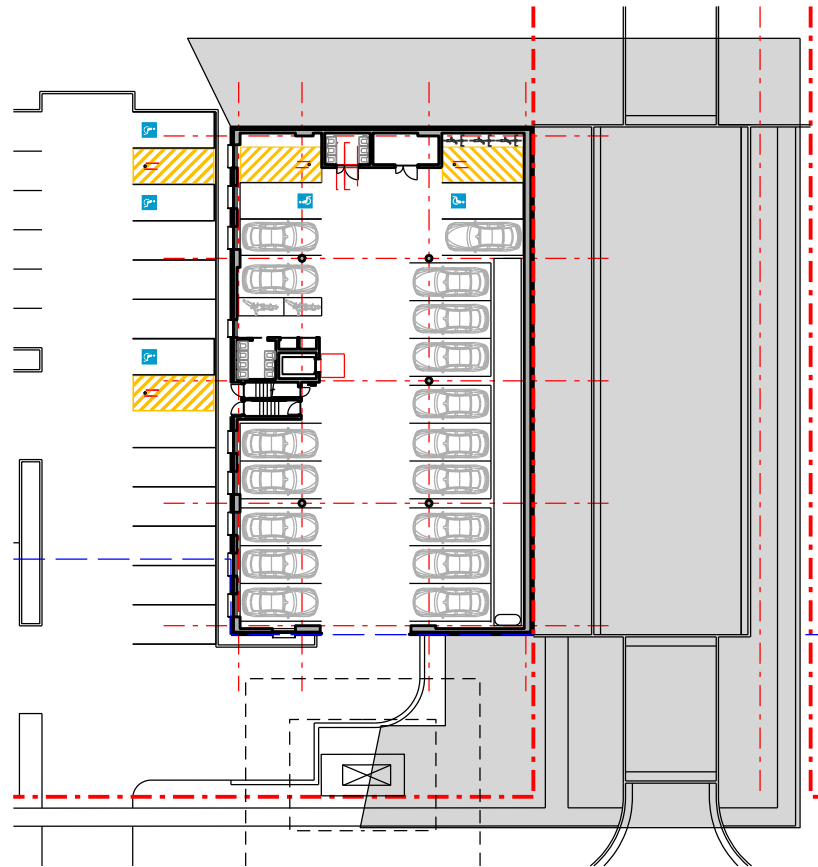


Construction Level 2 (Commercial)

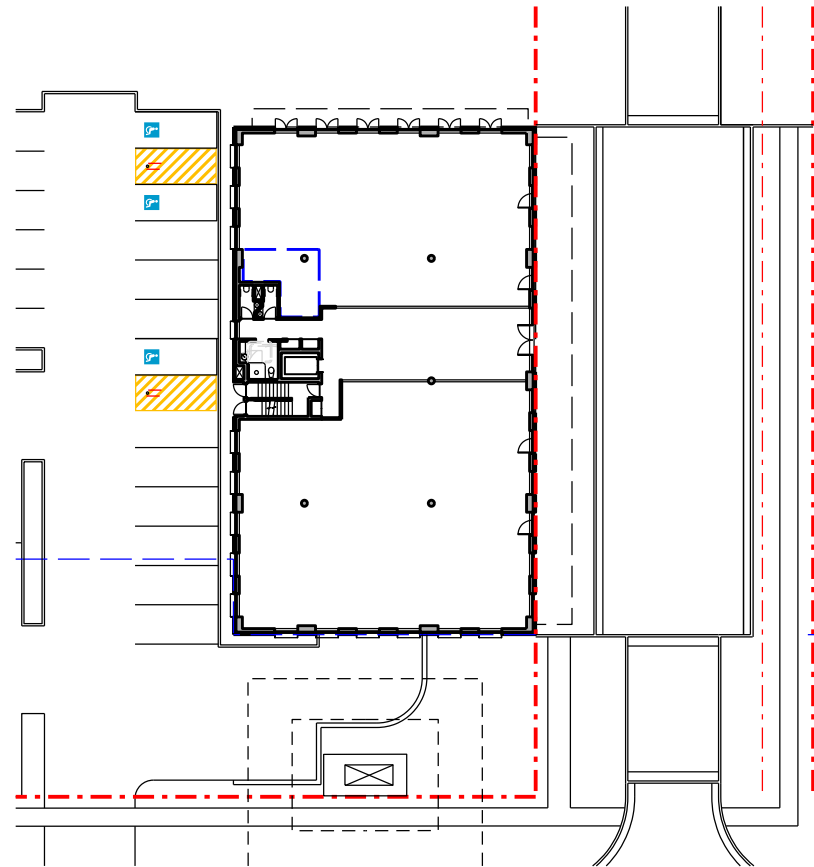


Construction Level 3 (Residential)

Mixed Use Site A DDA / LHA Calculations		Compliance
Total Units	6	
Adaptable Units + Livable Silver (Compliance with AS1428.1)	1 (16%)	10% (Complies)
Livable Homes Silver Standard	6 (100%)	50% (Complies)



Construction Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 18913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



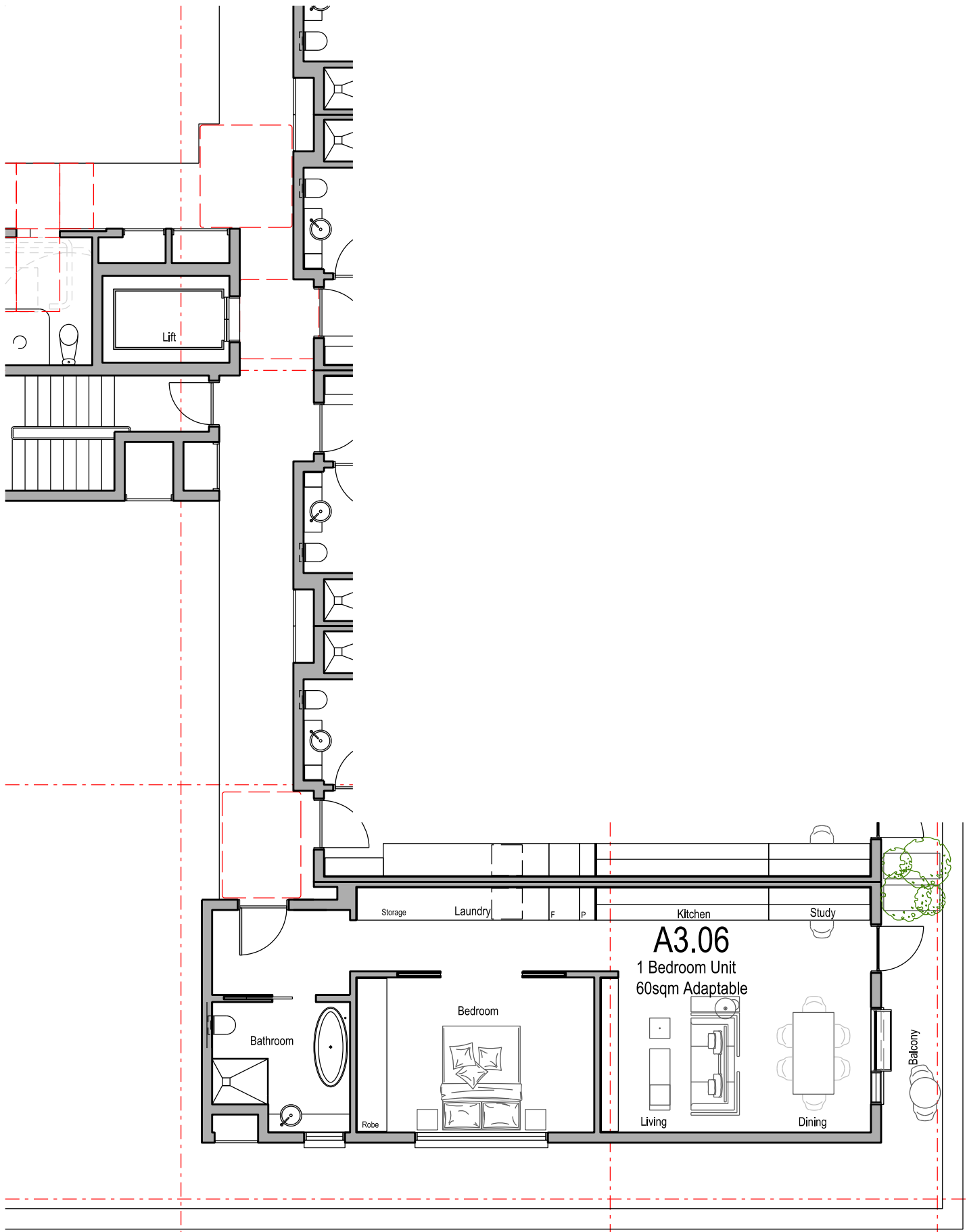
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 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



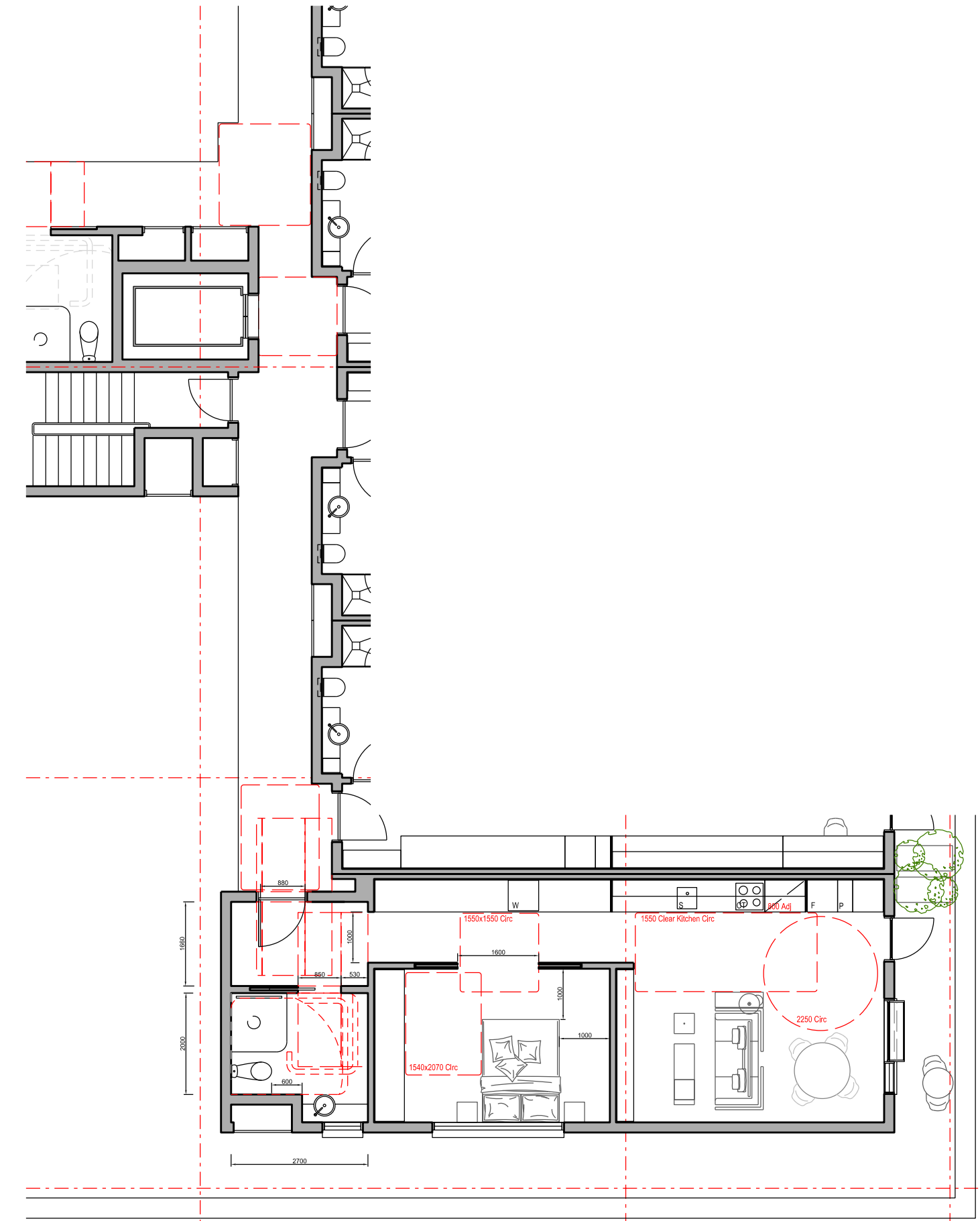
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SEDA  
 Accessible / Livable Homes

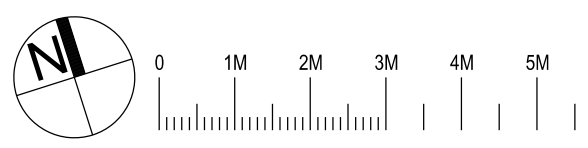
Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	AA176 Rev. B



Unit 3.06 Base Plan



Unit 3.06 Post Adaption



Nominated Architect: David Dove  
 BAArch (Hons), AArch (AppSci) (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site A - SSSA  
 Adaptable Unit Plans - Unit 3.06

Drawn	DJD	Date	1st December 2024
Job No.	SYB01	Scale	1:100 @ A3
Dwg No.	AA177	Rev.	C

# Building A Specification

## Thermal Comfort Inclusions

### Glazing Doors / Windows

**Group A** - awning + bifold + casement windows + hinged glazed doors  
 U-value: 5.40 (equal to or lower than) SHGC: 0.49 (±5%)  
**Group B** - sliding doors/windows + fixed glazing + louvred windows  
 U-value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%)  
**Skylights** VEL-011-01 U-value 3.97 SHGC 0.27 fixed

### Window Frame Colour

Dark (SA > 0.85)

### Window Restrictors

Window restrictors to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

### Roof and Ceiling

150mm Concrete roof  
 Metal roof with foil/sarking R1.3  
 Plasterboard ceiling with R1.5 insulation (insulation only value) where balconies are above  
 Plasterboard ceiling with R3.0 insulation (insulation only value) to soffit where concrete roof is over, and where metal roof is over  
 Plasterboard ceiling, no insulation where neighbouring units are above  
 External Colour : medium default

### Ceiling Penetrations

Sealed LED downlights at a maximum of one every 5m<sup>2</sup>.

### External Walls

Brick veneer, metal stud walls (thermal break R0.2) with R2.5 insulation (insulation only value)  
 Lightweight cladding, metal stud walls (thermal break R0.2) with R2.5 insulation (insulation only value)  
 Concrete columns within the external wall envelope R2.5 insulation  
 External Colour : Default Medium (0.50)

### Inter-tenancy Walls

Double stud walls to neighbours, R1.5 insulation both sides between dwellings  
 Double stud walls adjacent to hallways, R1.5 insulation (insulation value only)  
 Minimum 150mm concrete with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs.

### Walls within Dwellings

Plasterboard on studs no insulation

### Floors

Minimum 150mm Concrete with a minimum R1.2 subfloor insulation (insulation only value) required to units with garage below, and where part open subfloor below  
 Concrete slab on ground, no insulation required  
 Minimum 150mm Concrete between levels, no insulation required

### Floor Coverings

Carpet to bedrooms and WIR and tiles elsewhere

### Water inclusions

#### Fixtures within units

Showerheads: Mid flow (>6L but d=7.5L/min)  
 Toilets: 4.0 star  
 Kitchen taps: 5.0 star  
 Bathroom vanity taps: 5.0 star  
 Fixtures within common areas : Taps: 5.0 star

#### Central rainwater storage

Tank size: 2,000L  
 Collecting from 300m<sup>2</sup>  
 Connected to outdoor tap for irrigation of landscaped areas.

### Energy Inclusions

#### Hot water system

Central electric heat pump air sourced with unit efficiency of 3.5 < COP d=4.0 and R0.6 (~25mm) insulation to ring main and supply risers

#### Lift motors

Gearless traction with VVVF motor with lift load capacity of e=1,001kg to d=1,500kg

#### Appliances within units

Induction cooktop & electric oven  
 Dishwashers: 4.0 star  
 Clothes dryers: 8.0 star

#### Heating and cooling within units

All units to have individual, single phase, reverse cycle air conditioning to living areas, and at least 1 bedroom  
 A minimum efficiency of EER 3.5 4.0 is required for cooling; and  
 A minimum efficiency of EER 3.5 4.0 is required for heating

#### Artificial lighting within units

Minimum of 80% of all light fittings within each room are to have dedicated LED fixtures installed

#### Ventilation within units

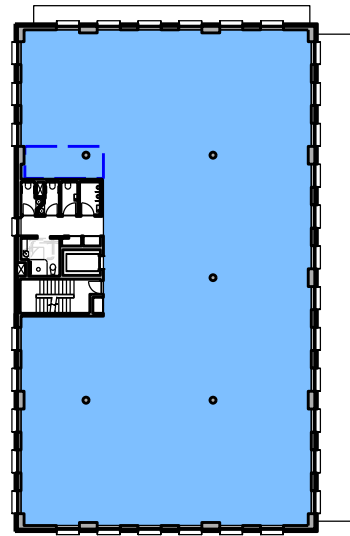
Bathroom: individual fan, ducted to roof or façade connected to light, timer off  
 Laundry: individual fan, ducted to roof or façade manual on / off switch  
 Kitchen range hood: Individual fan, ducted to roof or façade manual on / off switch

#### Artificial lighting to common areas

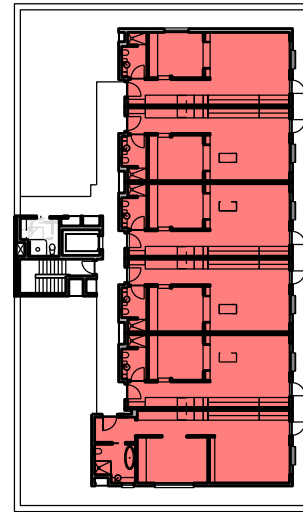
Lighting control system / BMS : Car park area Light emitting diodes (LEDs) with zoned switching and motion sensors  
 Lifts Light emitting diodes (LEDs) connected to lift call button  
 Garbage rooms Light emitting diodes (LEDs) with motion sensor  
 Plant / service rooms Light emitting diodes (LEDs) with manual on / manual off switch  
 Ground floor lobbies Light emitting diodes (LEDs) with zoned switching and motion sensors  
 Hallways Light emitting diodes (LEDs) with zoned switching and motion sensors  
 Communal areas - Light emitting diodes (LEDs) with manual on/timer off

#### Ventilation to common areas

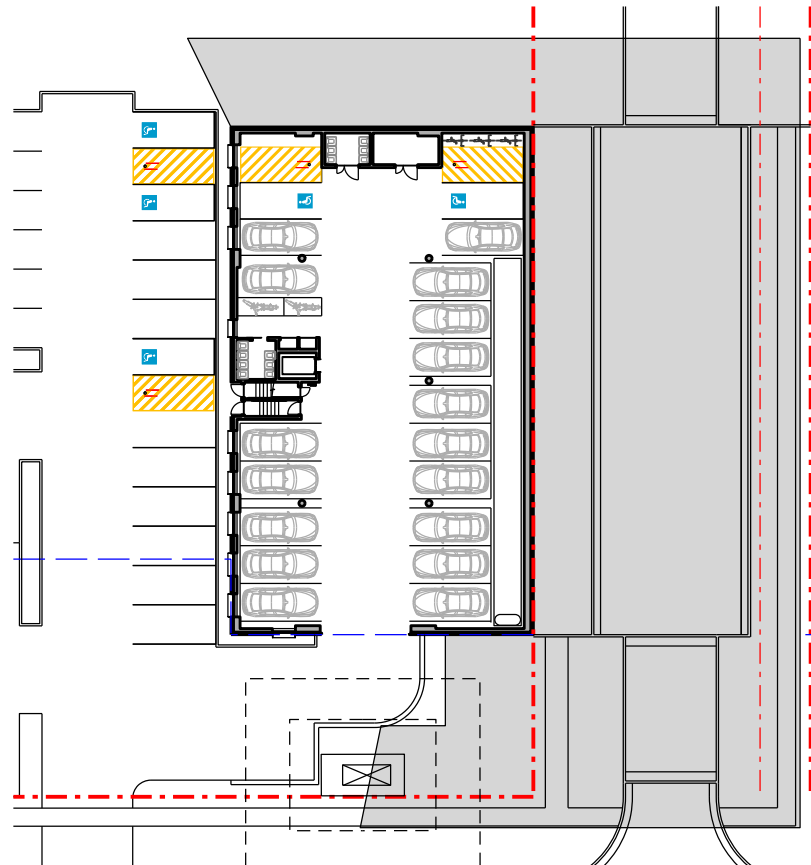
Car park area Supply and exhaust air with a carbon monoxide monitor & VSD fan  
 Garbage rooms Exhaust air only, running continuously  
 Plant / service rooms Supply and exhaust air, thermostatically controlled  
 Storage Supply air only, interlocked to light  
 Ground floor lobbies and hallways Naturally ventilated



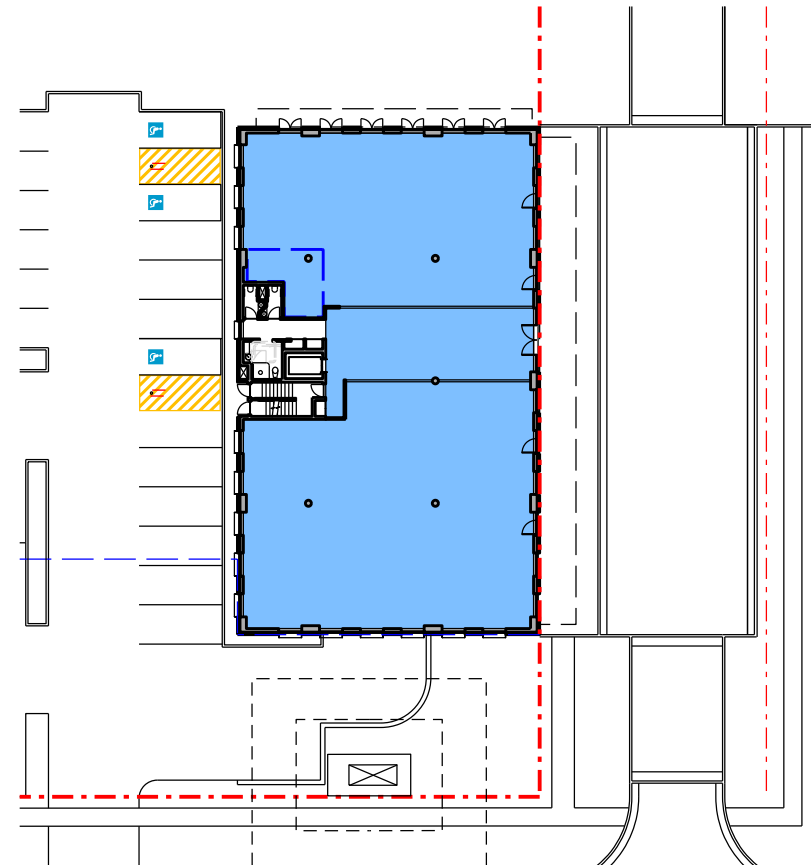
Level 2 (Commercial Level)



Level 1 (Residential Accommodation)



Level 0 (Undercroft)



Level 1 (Ground)



Nominated Architect: David Dove  
 SAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/114 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au

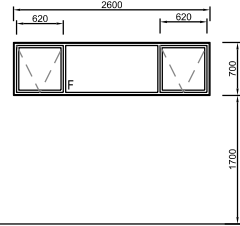
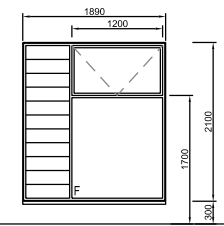
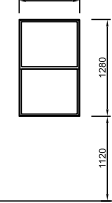


**The Yards**  
 Moss Vale Road, Bomaderry

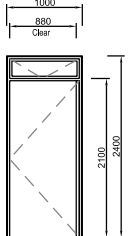
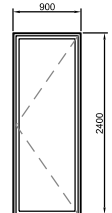
Drawing Title  
 SCCH Office Site A - SSDA  
 Typical Specification

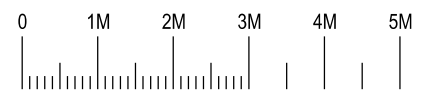
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Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	AA180 Rev. B

# Windows

					
FFL					
Window No	AW02	AW02	AW03		
Type	Fixed & Awning	Fixed, Awning & Louvre	Fixed & Awning		
Frame	Improved Aluminium	Improved Aluminium	Improved Aluminium		
Glazing	Single	Single	Single / one way film external		
Finish	Black Powdercoat	Black Powdercoat	Black Powdercoat		
Locks	Yes	Yes	Yes		
Quantity	2	6	1		
Shading	Eaves 1200mm	Eaves 1200mm	Eaves 1200mm		

# Unit Doors

				
FFL				
Door No	ADE1	ADE2		
Type	Unit Entry Door	Balcony Door		
Frame	Aluminium frame	Aluminium frame		
Glazing	Highlight Awning	Glazed Door		
Finish	Black Powdercoat	Black Powdercoat		
Locks	Entry Lockset & Deadbolt	Entry Lockset & Deadbolt		
Quantity	4 RH / 2 LH	3 RH / 3 LH		
Shading	Internal Gallery	Balcony / Pergola		
Door	40mm Solid Core External	Single Glazed Aluminium		



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 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
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 Registered Architect (Vic) No. 18913  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



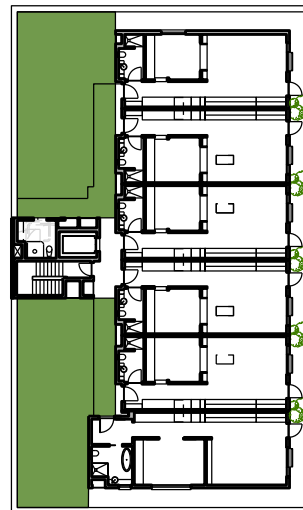
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site A - SSSA  
 Apartment Window / Door Schedule

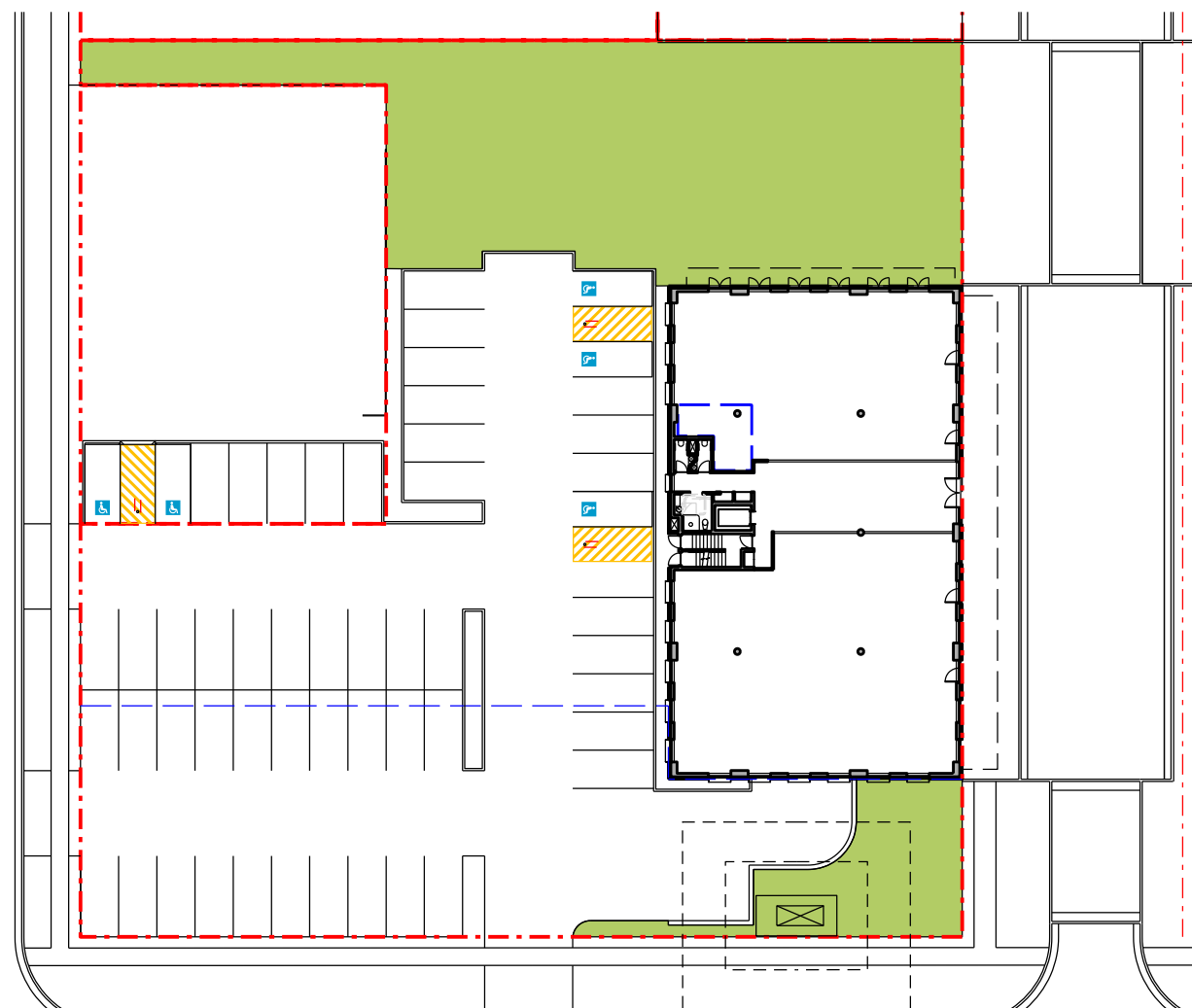
Date	14th October 2024		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	AA181 Rev. B

**Mixed Use Site A  
Communal Open Space Calculations**

Site Area	3039m <sup>2</sup>
 Common Open Space at Ground	812m <sup>2</sup>
 Communal Open Space Elevated	167m <sup>2</sup>
<b>Total</b>	<b>979m<sup>2</sup> (32%)</b>



Construction Level 3 (Residential)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



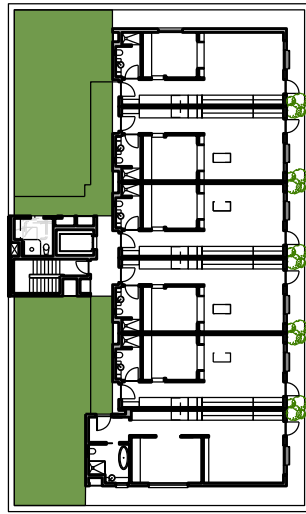
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 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
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**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
 SCCH Office Site A - SEDA  
 Communal Open Space Calculation

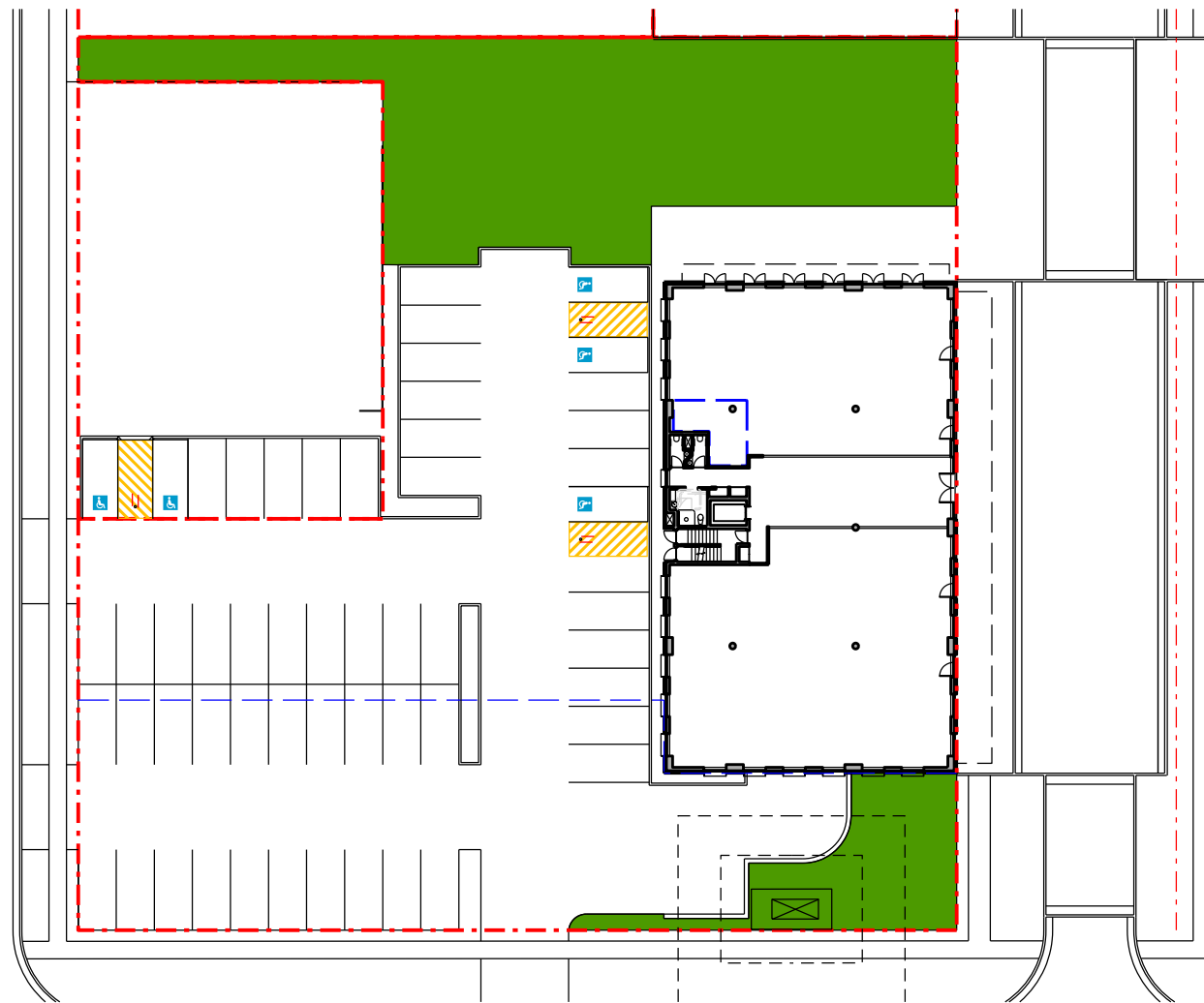
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Dwg No.	AA185	Rev.	B



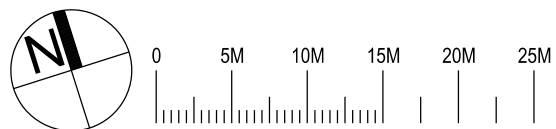
Construction Level 3 (Residential)

**Mixed Use Site A  
Deep Soil Planting Calculations**

Site Area	3039m <sup>2</sup>
Deep Soil	409m <sup>2</sup>
Percentage	13.5%
Compliance	>7%



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

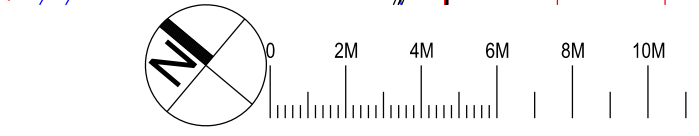
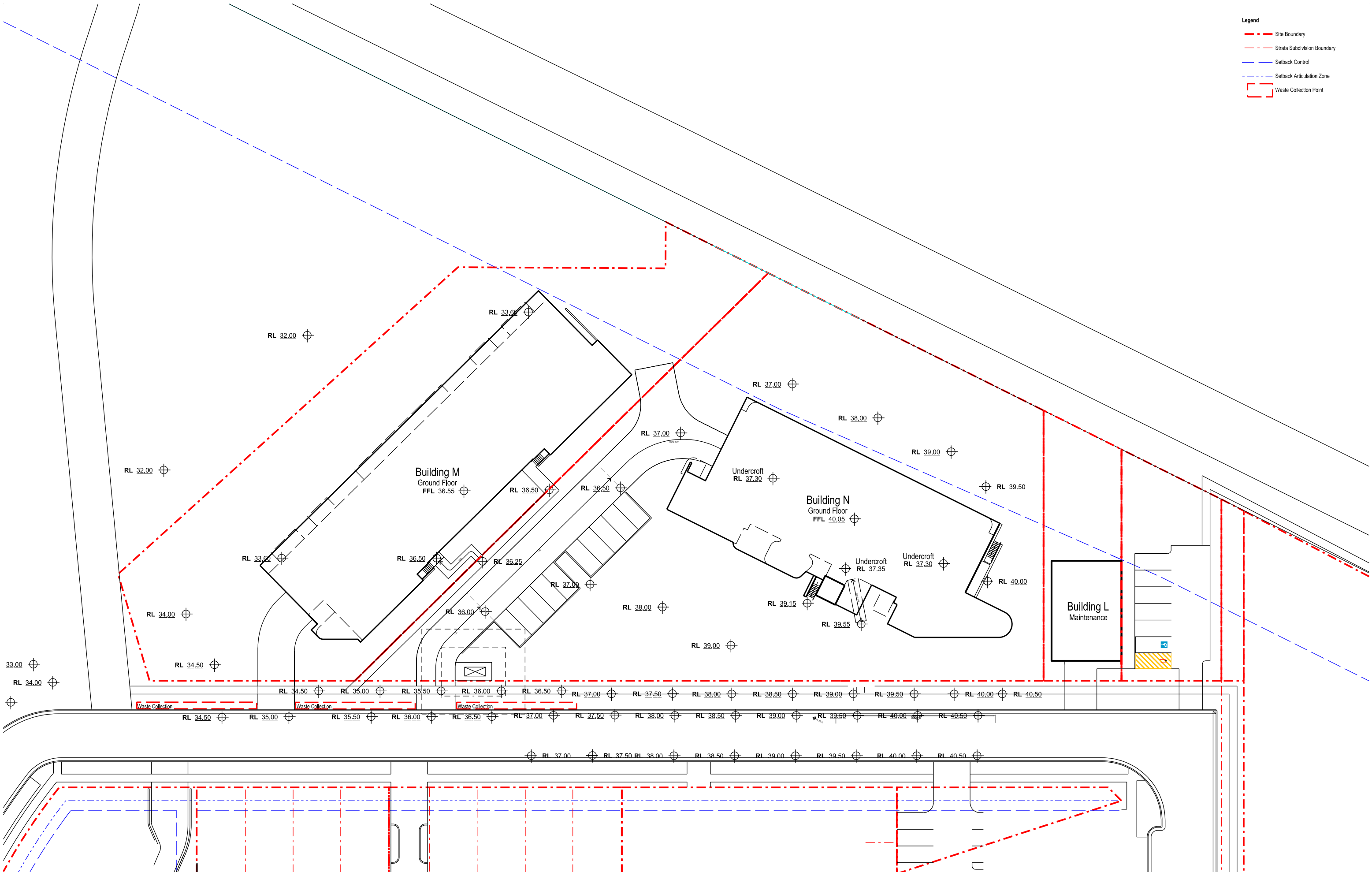


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 SCCH Office Site A - SEDA  
 Deep Soil Planting Calculation

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	AA186	Rev.	C

- Legend**
- - - Site Boundary
  - - - - - Strata Subdivision Boundary
  - - - - - Setback Control
  - - - - - Setback Articulation Zone
  - [ ] Waste Collection Point



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 BAArch (Hons), AAADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
 DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 6233 7100  
 F. www.eg.com.au

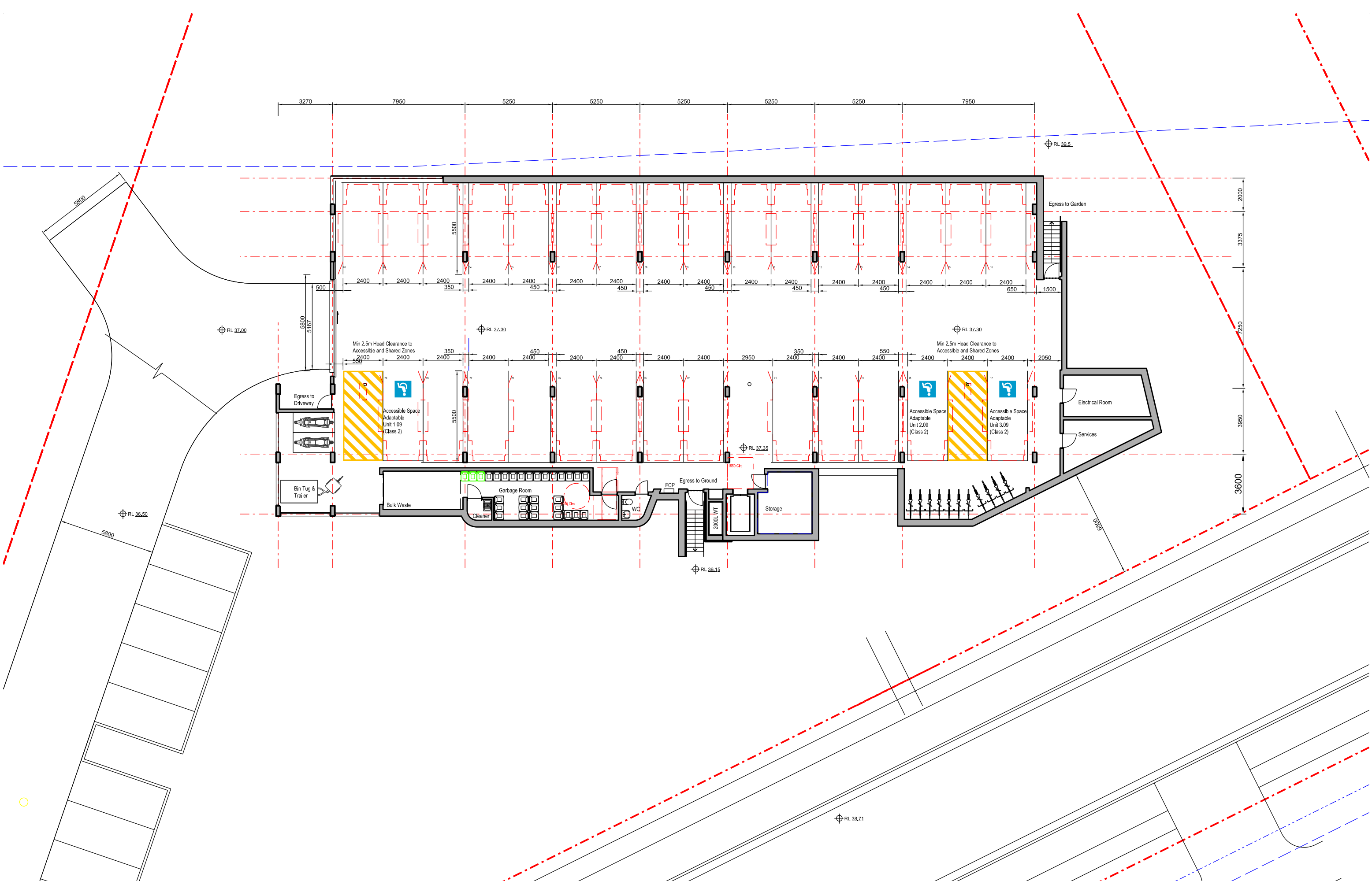
**EG**

**Southern Cross**  
 Housing  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M&N - SSSA  
 Site Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	NA090 Rev. A



Nominated Architect: David Dove  
 BA(Arch) (Hons), AA(Comp) (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au

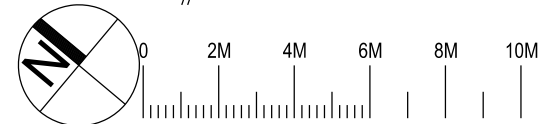
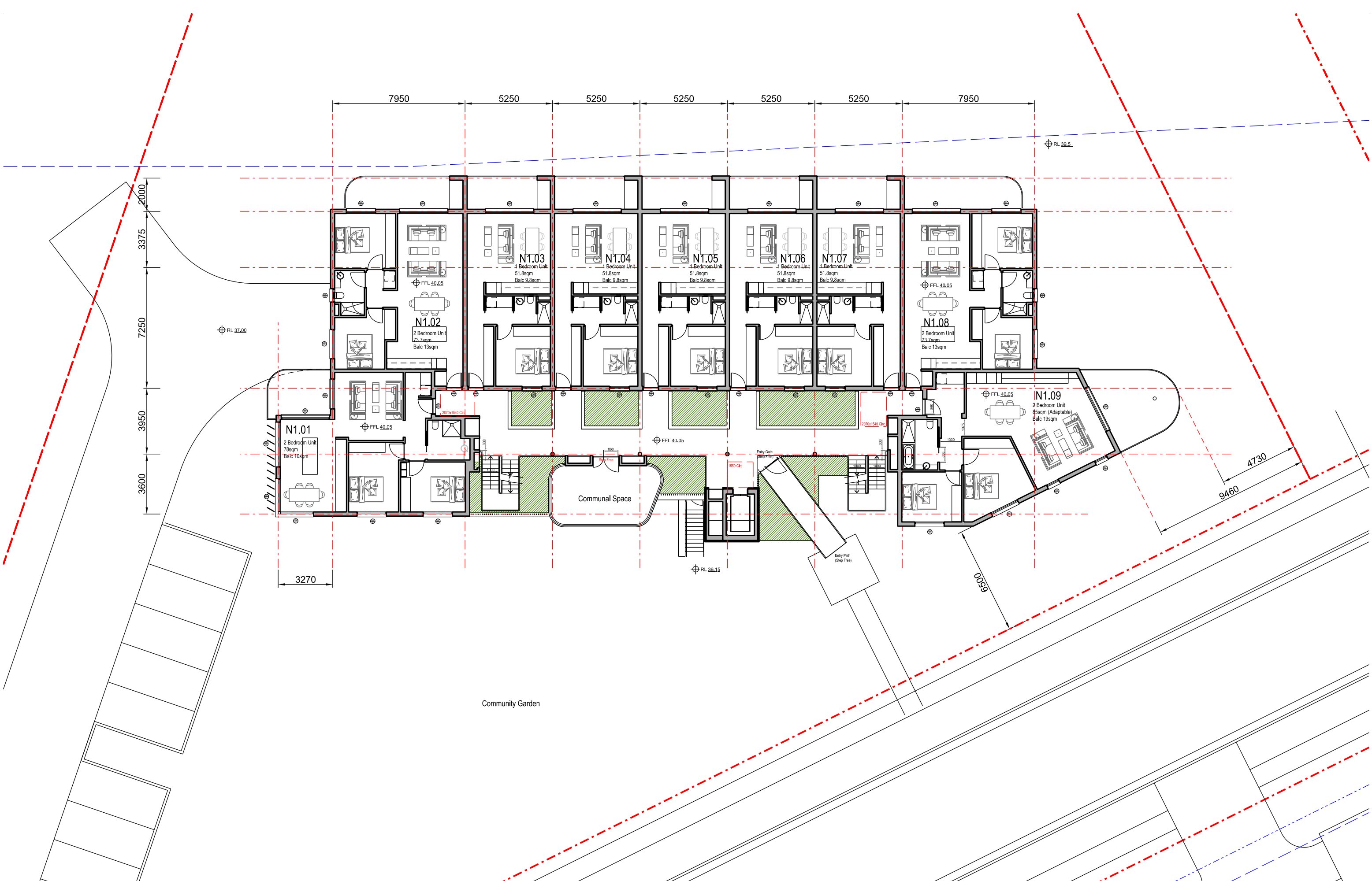


# The Yards

Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 Level 0 (Undercroft) Floor Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	NA100	Rev.	H



Nominated Architect: David Dove  
 BAArch (Hons), AssocAppSI (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19118  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



**The Yards**  
**Moss Vale Road, Bomaderry**

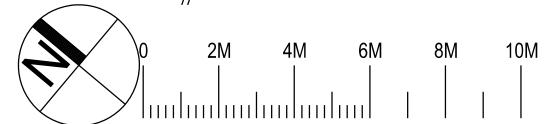
Drawing Title  
**Building Site N - SSSA**  
**Level 1 (Ground) Floor Plan**

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	NA110	Rev.	H



**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
N1.01	Yes	No
N1.02	Yes	No
N1.03	Yes	No
N1.04	Yes	No
N1.05	Yes	No
N1.06	Yes	No
N1.07	Yes	No
N1.08	Yes	No
N1.09	Yes	Yes
<b>Total</b>	<b>Total</b>	<b>Total</b>
9 Units	9 Units (100%)	1 Units (11%)



Nominated Architect: David Dove  
 (Arch) (Hom), AssCPA(Sci) (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8982  
 Registered Architect (Vic) No. 19118  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

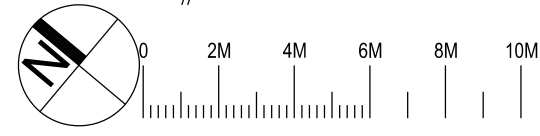
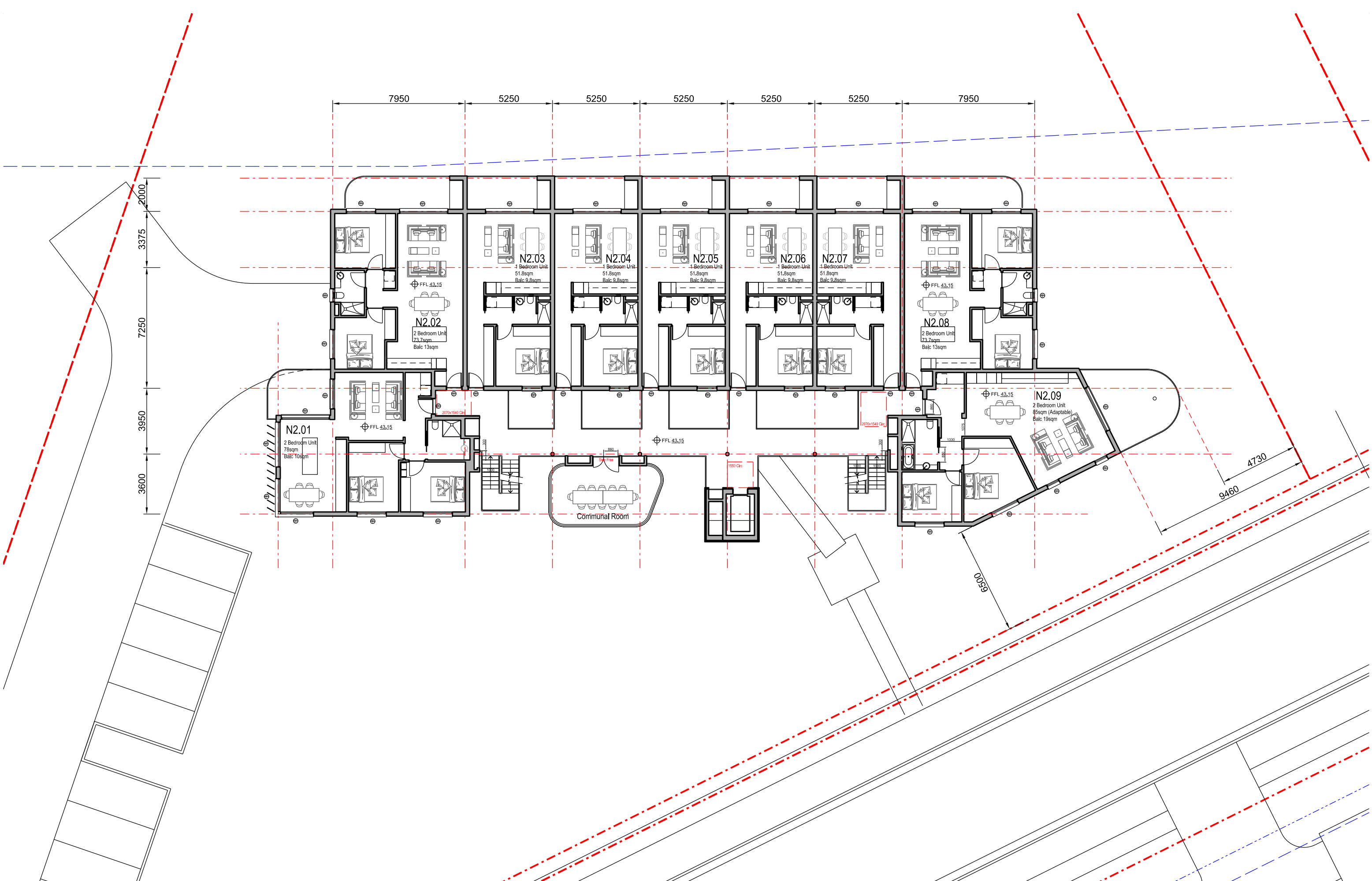
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 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au

Southern Cross Housing  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 Level 1 Livable Housing Units

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	NA111	Rev.	E



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 BAArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

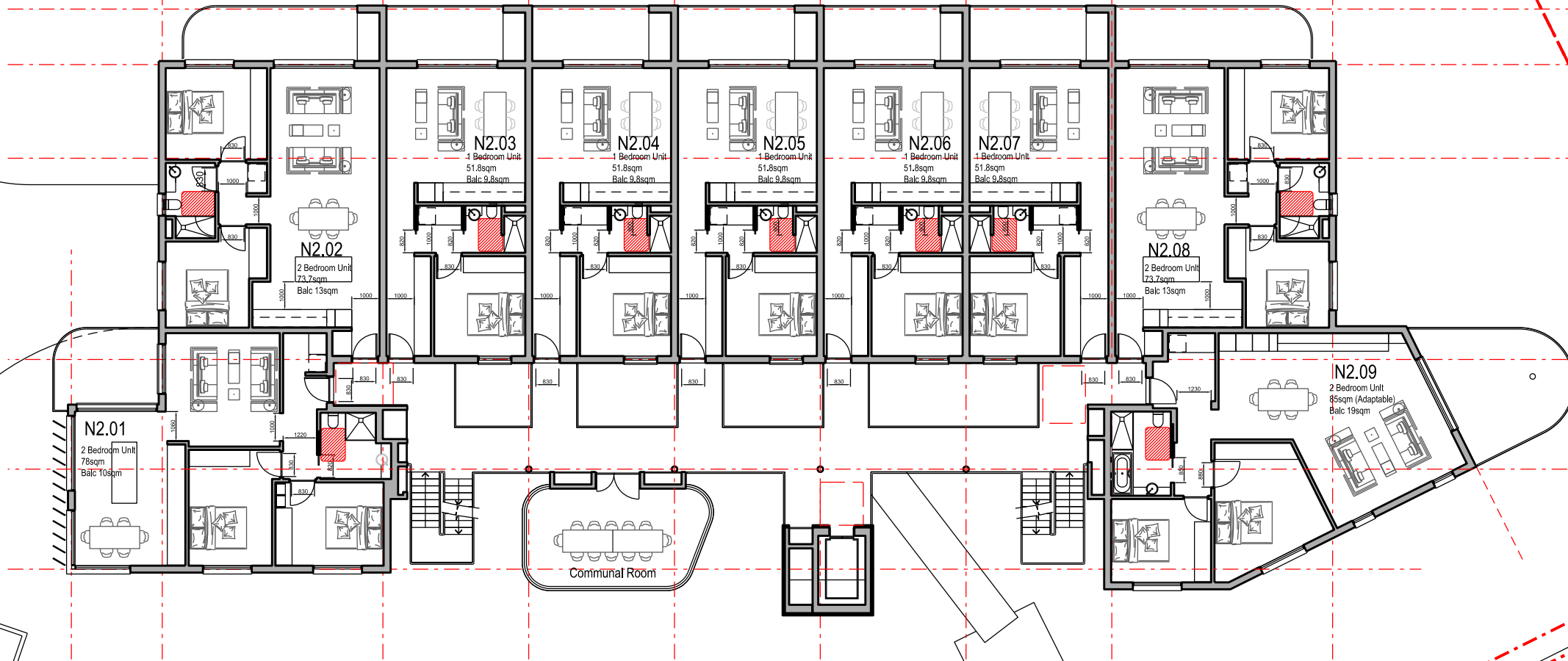
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 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

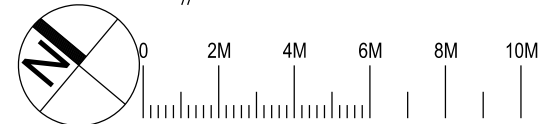
Drawing Title  
 Building Site N - SSSA  
 Level 2 Floor Plan

Drawn	DJD	Date	25th July 2025
Scale	1:200 @ A3		
Job No.	SYB01	Dwg No.	NA120
Rev.	G		



**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
N2.01	Yes	No
N2.02	Yes	No
N2.03	Yes	No
N2.04	Yes	No
N2.05	Yes	No
N2.06	Yes	No
N2.07	Yes	No
N2.08	Yes	No
N2.09	Yes	Yes
<b>Total</b>	<b>Total</b>	<b>Total</b>
<b>9 Units</b>	<b>9 Units (100%)</b>	<b>1 Units (11%)</b>



Nominated Architect: David Dove  
 (Arch) (Hom), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8982  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

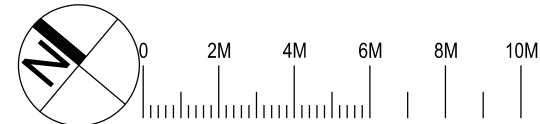
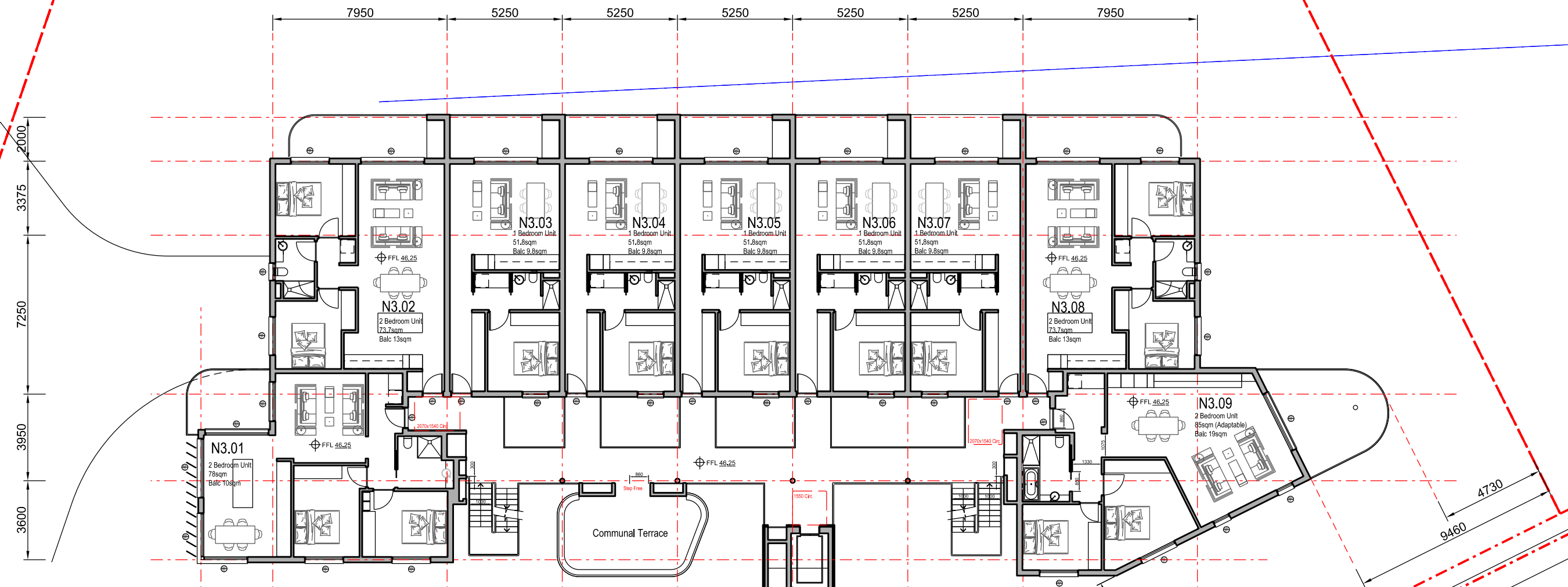
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 11 Farrer Place  
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Southern Cross Housing  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSDA  
 Level 2 Livable Housing Units

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	NA121	Rev.	E



Nominated Architect: David Dove  
 BAArch (Hons), AAACipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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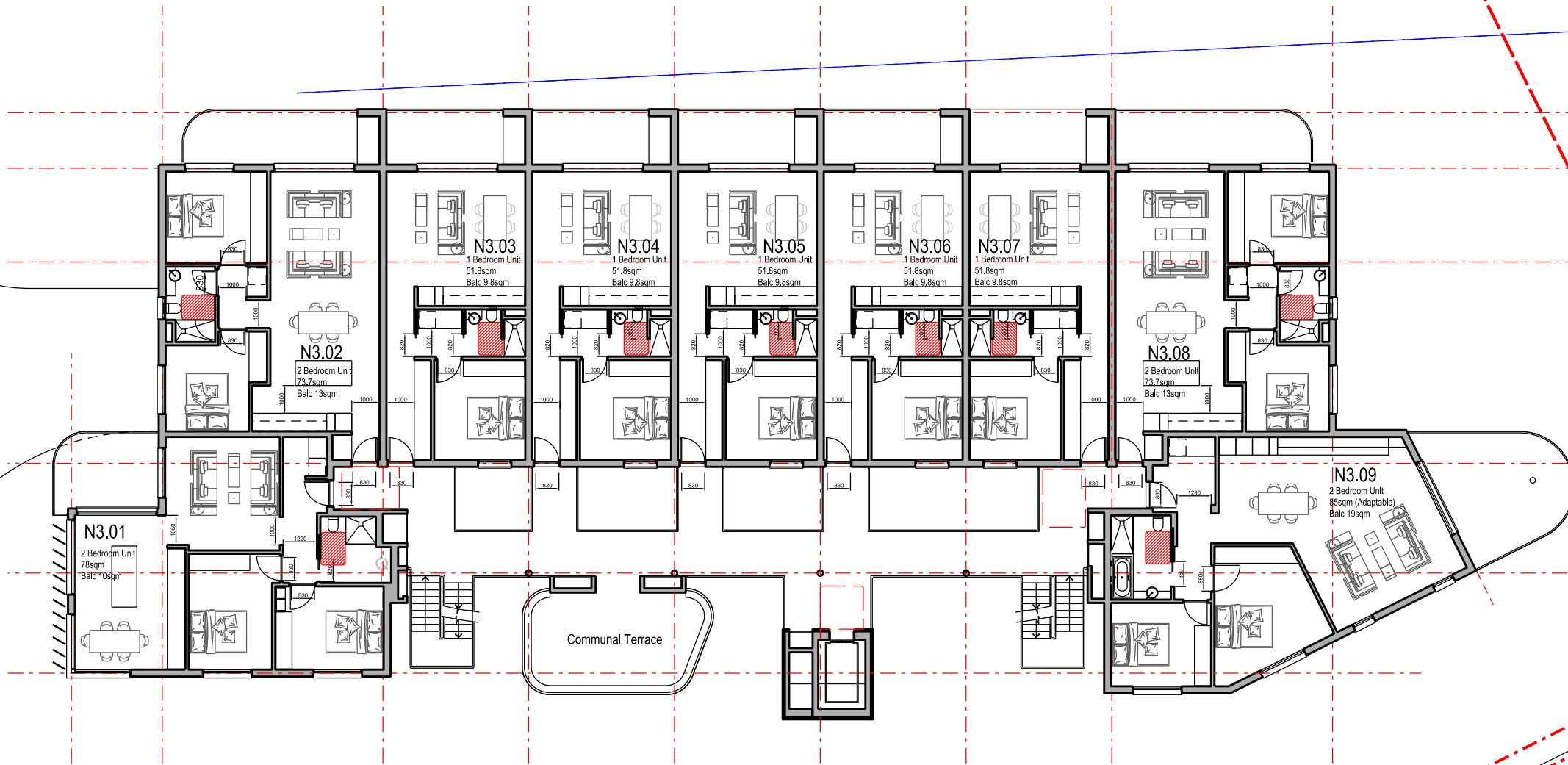
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 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph. (02) 9230 7100  
 W. www.eg.com.au



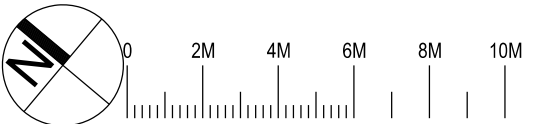
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 Level 3 (Top) Floor Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	NA130	Rev.	J



Livable Housing Design Silver		
Unit No	Achieves Silver	Adaptable DDA
N3.01	Yes	No
N3.02	Yes	No
N3.03	Yes	No
N3.04	Yes	No
N3.05	Yes	No
N3.06	Yes	No
N3.07	Yes	No
N3.08	Yes	No
N3.09	Yes	Yes
<b>Total</b>	<b>Total</b>	<b>Total</b>
9 Units	9 Units (100%)	1 Units (11%)



Nominated Architect: David Dove  
 (Arch) (Hom), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



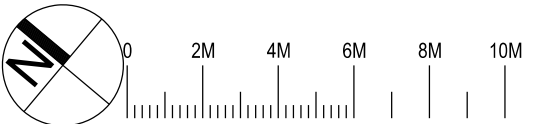
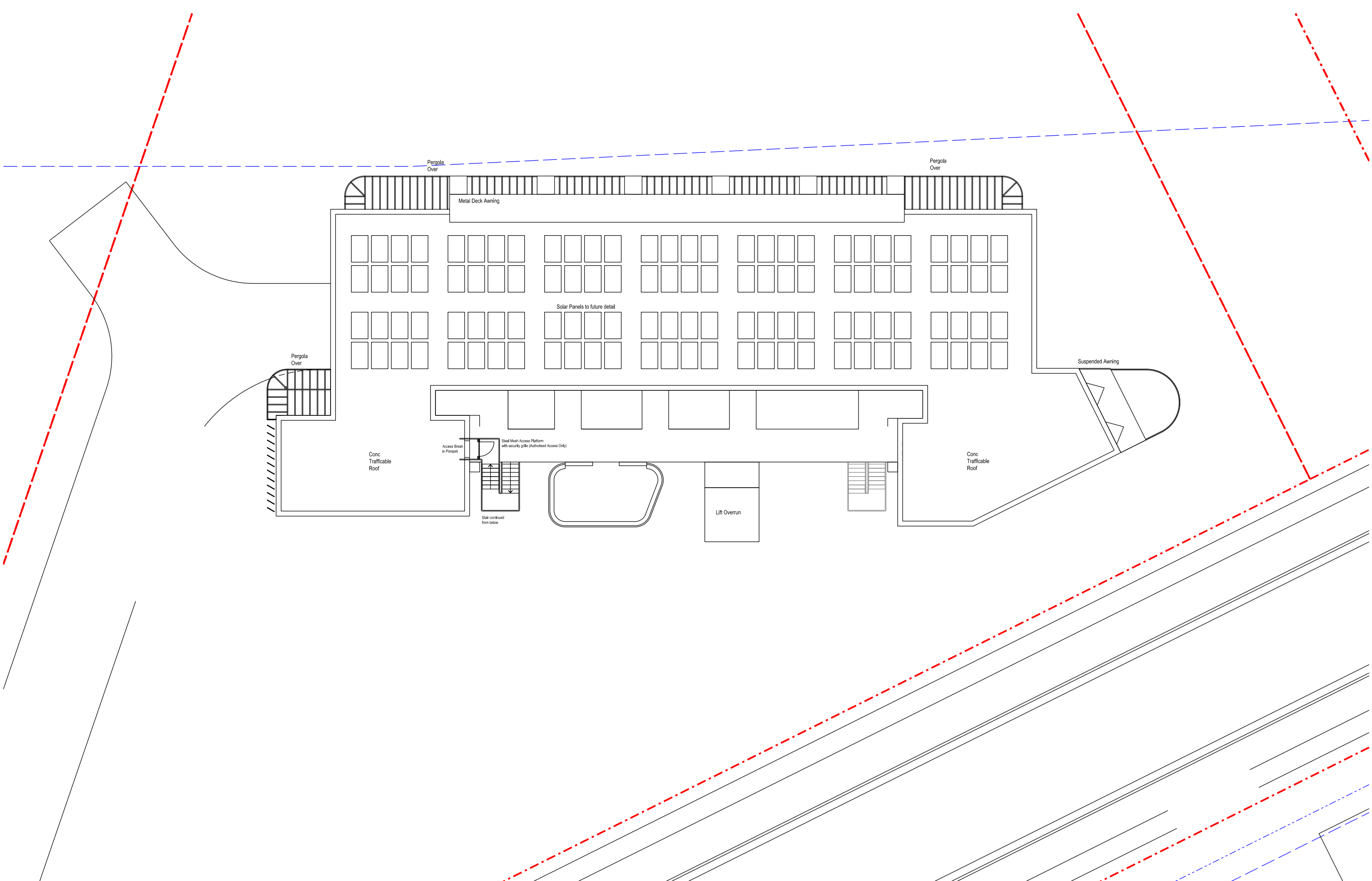
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 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSDA  
 Level 3 Livable Housing Units

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
		Dwg No.	NA131
		Rev.	E



Nominated Architect: David Dove  
 BArch (Hons), AA&DipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

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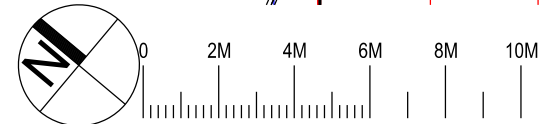
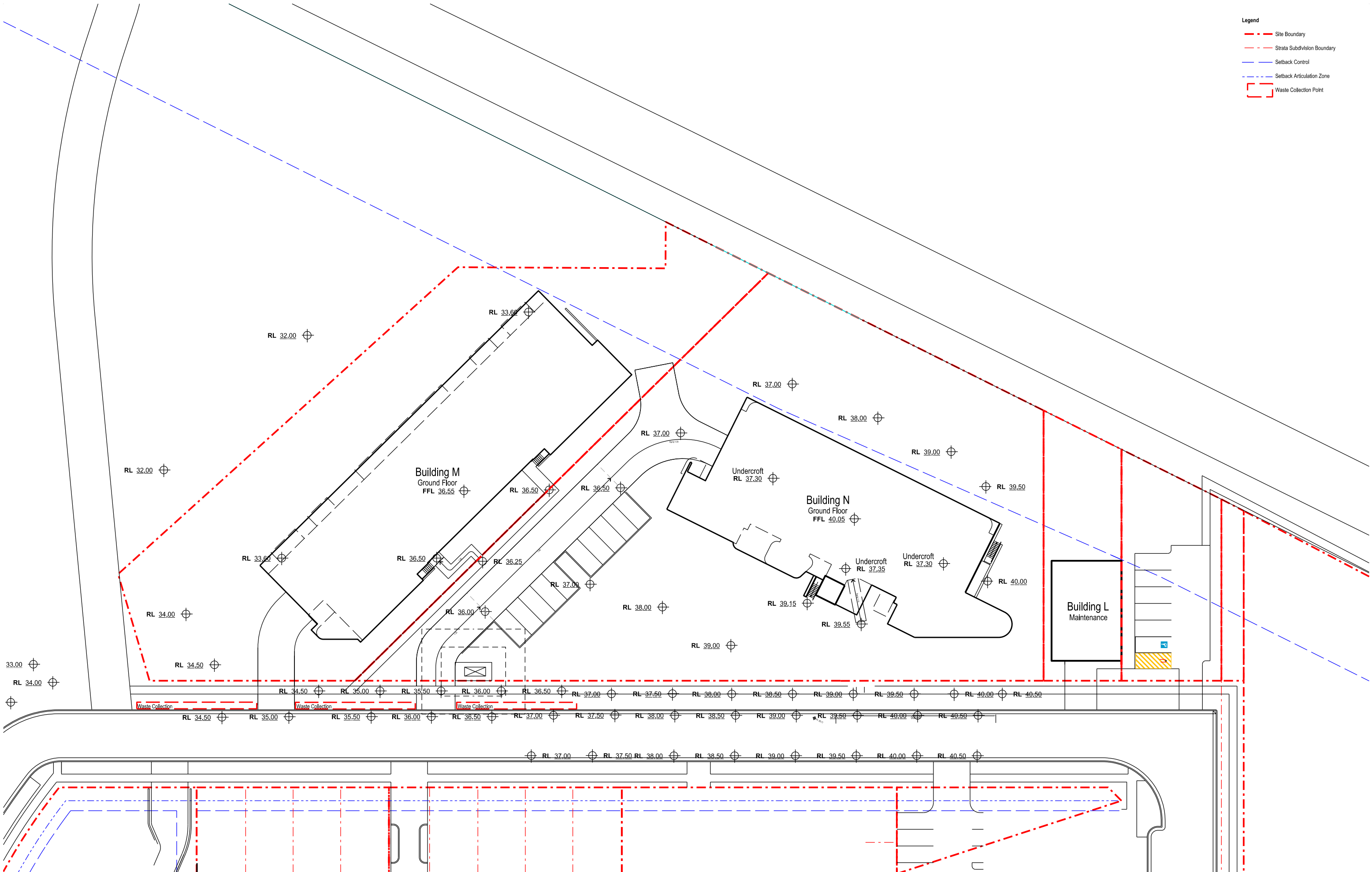
**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 Level 4 Roof Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	NA140	Rev.	G

- Legend**
- - - Site Boundary
  - - - - - Strata Subdivision Boundary
  - - - - - Setback Control
  - - - - - Setback Articulation Zone
  - [ ] Waste Collection Point



Nominated Architect: David Dove  
 BAArch (Hons), AAADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
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EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 6233 7100  
 F. www.eg.com.au

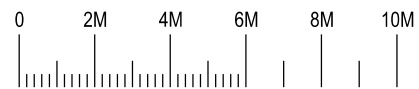
**EG**

**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M&N - SSSA  
 Site Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	NA090 Rev. A



Nominated Architect: David Dove  
 SAArch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 Indicative Section

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	NA150	Rev.	E

Low Pitch Metal Deck Roof Detail - Natural Zincalume Finish to roof sheets. Charcoal flashings  
 Aluminium Pergola - Charcoal

Aluminium Pergola - Charcoal  
 Double Glazed Windows  
 Improved Aluminium Frame (Charcoal)  
 Metal Handrails - Charcoal  
 Face Brickwork - White

Blockwork to Undercroft Facing Walls - Charcoal  
 Face Brick to Balcony Storage - Charcoal  
 Aluminium Car Park Screen - Charcoal



Parapet RL 50,500 ▼  
 FFL 46,250 ▼  
 FFL 43,150 ▼  
 FFL 40,050 ▼  
 FFL 37,300 ▼

North Elevation

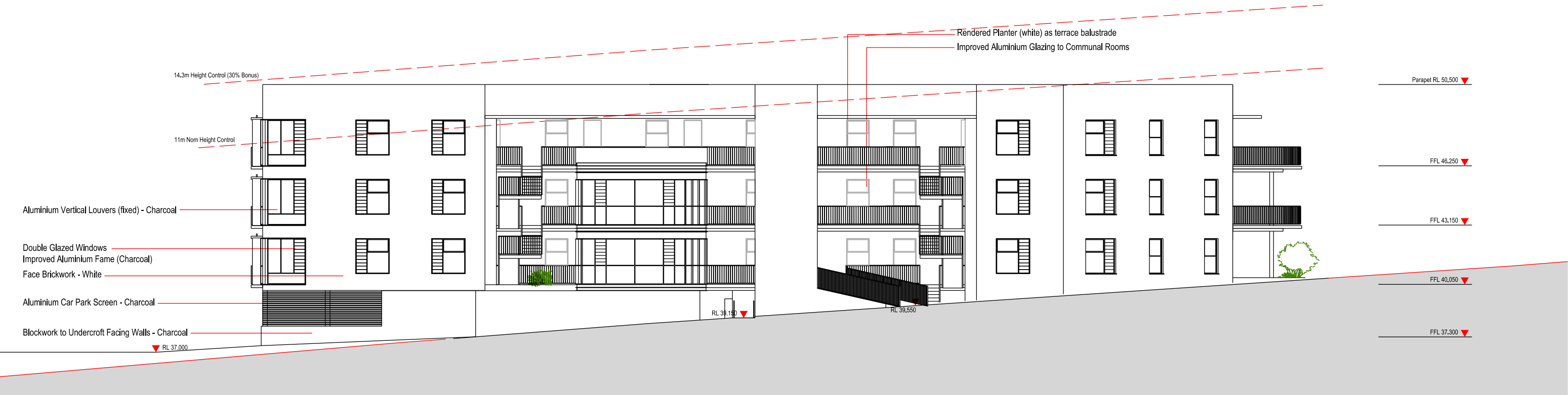
Rendered Planter (white) as terrace balustrade  
 Improved Aluminium Glazing to Communal Rooms

14.3m Height Control (30% Bonus)

11m Nom Height Control

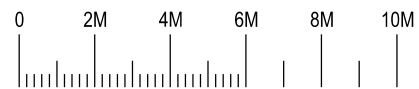
Aluminium Vertical Louvers (fixed) - Charcoal  
 Double Glazed Windows  
 Improved Aluminium Frame (Charcoal)  
 Face Brickwork - White

Aluminium Car Park Screen - Charcoal  
 Blockwork to Undercroft Facing Walls - Charcoal



Parapet RL 50,500 ▼  
 FFL 46,250 ▼  
 FFL 43,150 ▼  
 FFL 40,050 ▼  
 FFL 37,300 ▼

South Elevation



Nominated Architect: David Dove  
 BArch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 North / South Elevation

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	NA160 Rev. C

▼ Parapet RL 50.500

▼ FFL 46.250

▼ FFL 43.150

▼ FFL 40.050

▼ FFL 37.300



East Elevation

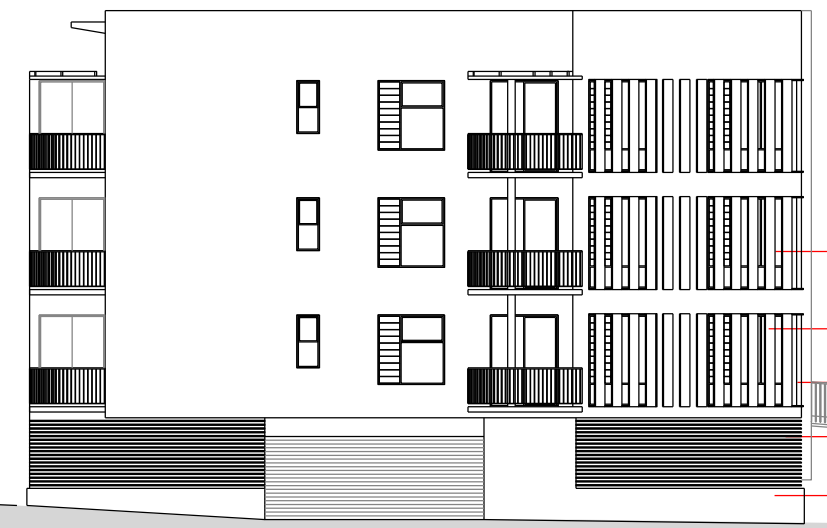
▼ Parapet RL 50.500

▼ FFL 46.250

▼ FFL 43.150

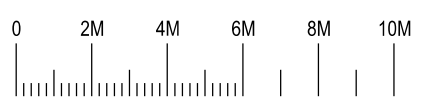
▼ FFL 40.050

▼ FFL 37.300



- Aluminium Vertical Louvers (fixed) - Charcoal
- Double Glazed Windows
- Improved Aluminium Frame (Charcoal)
- Face Brickwork - White
- Aluminium Car Park Screen - Charcoal
- Blockwork to Undercroft Facing Walls - Charcoal

West Elevation



Nominated Architect: David Dove  
 BArch (Hons), ASADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 East / West Elevation

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	NA161	Rev.	C

**Residential Site M  
Floor Space Area Calculations**

	Level 3 (Top)	590m2
	Level 2 (Mid)	590m2
	Level 1 (Ground)	590m2
	Level 0 (Undercroft)	0m2
Total		1770m2



Construction Level 3



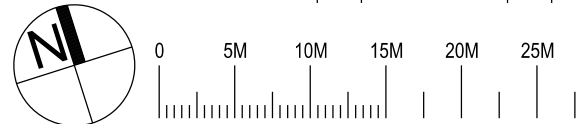
Construction Level 2



Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BAArch (Hons), AAASpAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 291/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
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**The Yards**  
 Moss Vale Road, Bomaderry

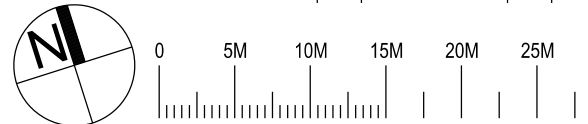
Drawing Title  
 Residential Site N - SSDA  
 Floor Space Area Calculations

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	NA170 Rev. B



**Residential Site M**  
**Nett Saleable / Lettable Area Calculations**

Unit	NIA	Balcony
3.01	78m2	10m2
3.02	73.7m2	13m2
3.03	51.8m2	10m2
3.04	51.8m2	10m2
3.05	51.8m2	10m2
3.06	51.8m2	10m2
3.07	51.8m2	10m2
3.08	73.7m2	13m2
3.09	85m2	19m2
2.01	78m2	10m2
2.02	73.7m2	13m2
2.03	51.8m2	10m2
2.04	51.8m2	10m2
2.05	51.8m2	10m2
2.06	51.8m2	10m2
2.07	51.8m2	10m2
2.08	73.7m2	13m2
2.09	85m2	19m2
1.01	78m2	10m2
1.02	73.7m2	13m2
1.03	51.8m2	10m2
1.04	51.8m2	10m2
1.05	51.8m2	10m2
1.06	51.8m2	10m2
1.07	51.8m2	10m2
1.08	73.7m2	13m2
1.09	85m2	19m2
<b>Total</b>	<b>2131.8m2</b>	



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 BAArch (Hons), AAADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 E: david.dove@sparcdevelopment.com



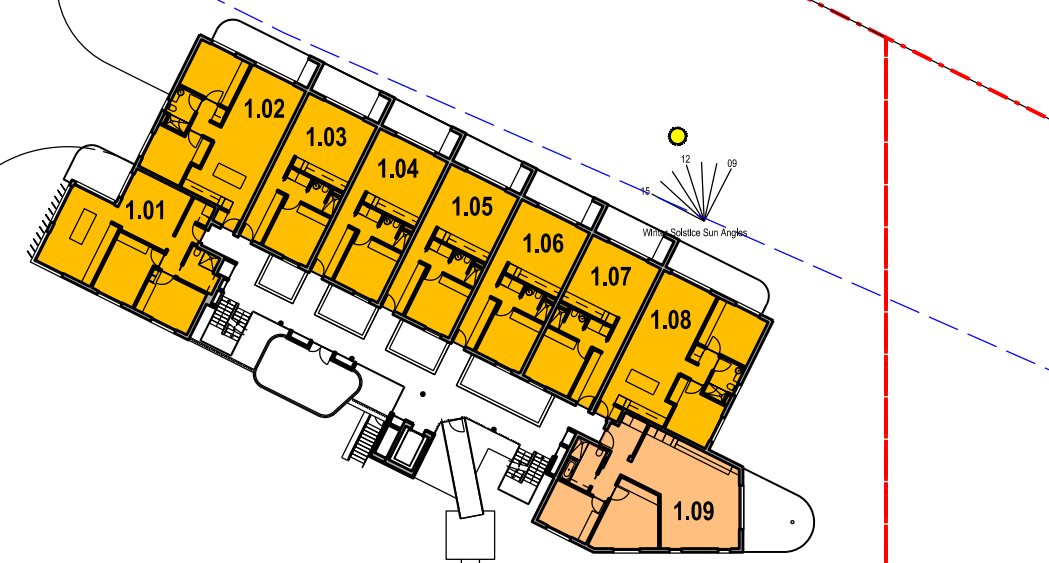
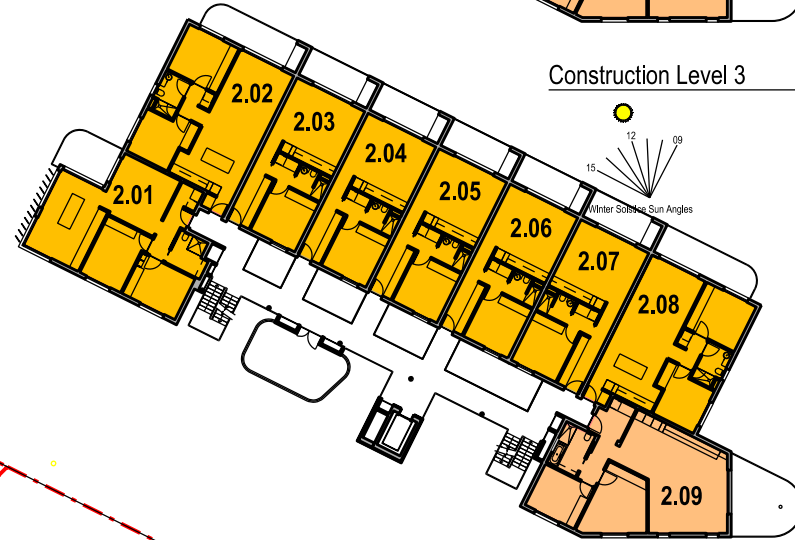
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 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P: (02) 9233 7100  
 F: www.eg.com.au



**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
 Residential Site N - SSSA  
 NSA / NLA Calculations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	NA171	Rev.	B



**Residential Site M  
Solar Access Calculations**

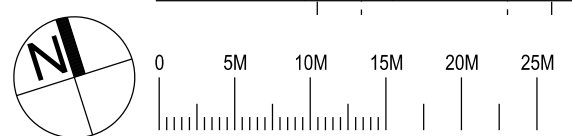
Category	Count	Percentage	Compliance
Total Units	27		
Units receiving more than 3 Hrs	24 (89%)		>70% (Complies)
Units receiving 2-3 Hrs	0		
Units receiving less than 2 Hrs	3 (11%)		<15% (Complies)
Units receiving no mid winter sun	0		

Level 0 (Undercroft)

Construction Level 3

Construction Level 2

Construction Level 1 (Ground)



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 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
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 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
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**Southern Cross Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site N - SSSA  
 Solar Access Calculations

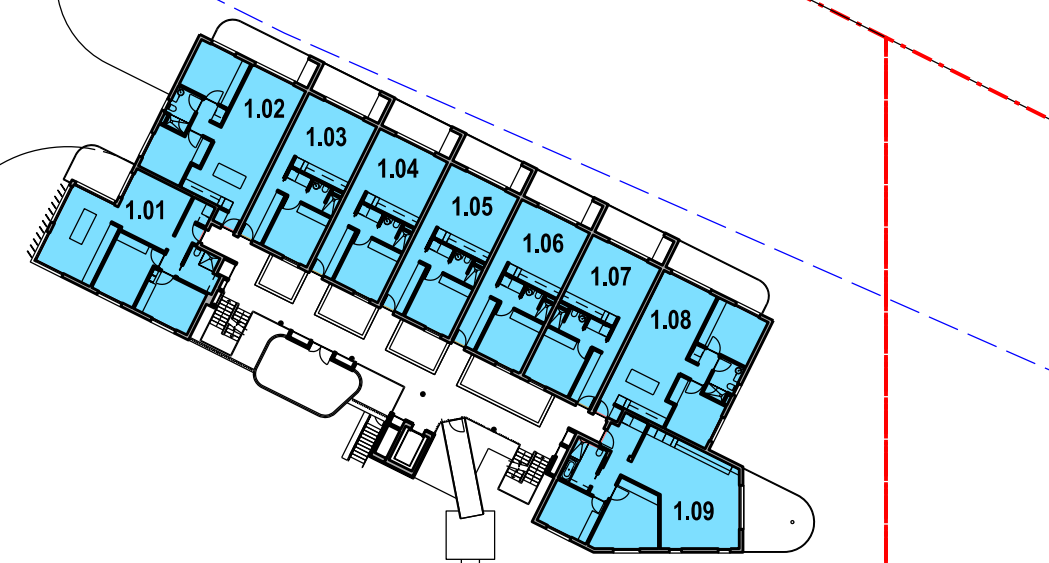
Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	NA173 Rev. B



Construction Level 3



Construction Level 2



Construction Level 1 (Ground)

**Residential Site N  
Cross Ventilation Calculations**

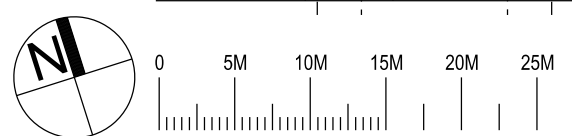
Total Units	27
Dual Orientation Units	27 (100%)
Single Orientation Units	0

**Compliance**

>60% (Complies)



Level 0 (Undercroft)



Nominated Architect: David Dove  
 BAArch (Hons), AArch (AppSci) (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

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**The Yards**  
Moss Vale Road, Bomaderry

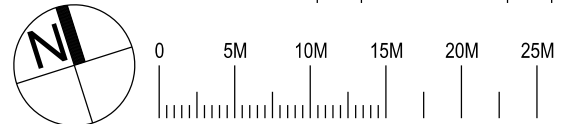
Drawing Title  
 Residential Site N - SSSA  
 Cross Ventilation Calculations

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	NA174 Rev. B



**Residential Site N  
DDA / LHA Calculations**

		Compliance
Total Units	27	
Adaptable Units + Livable Silver (Compliance with AS1428.1)	3 (10%)	10% (Complies)
Livable Homes Silver Standard	27 (100%)	50% (Note - Development in total complies)



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 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



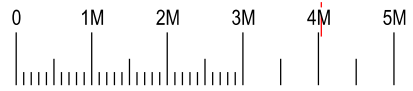
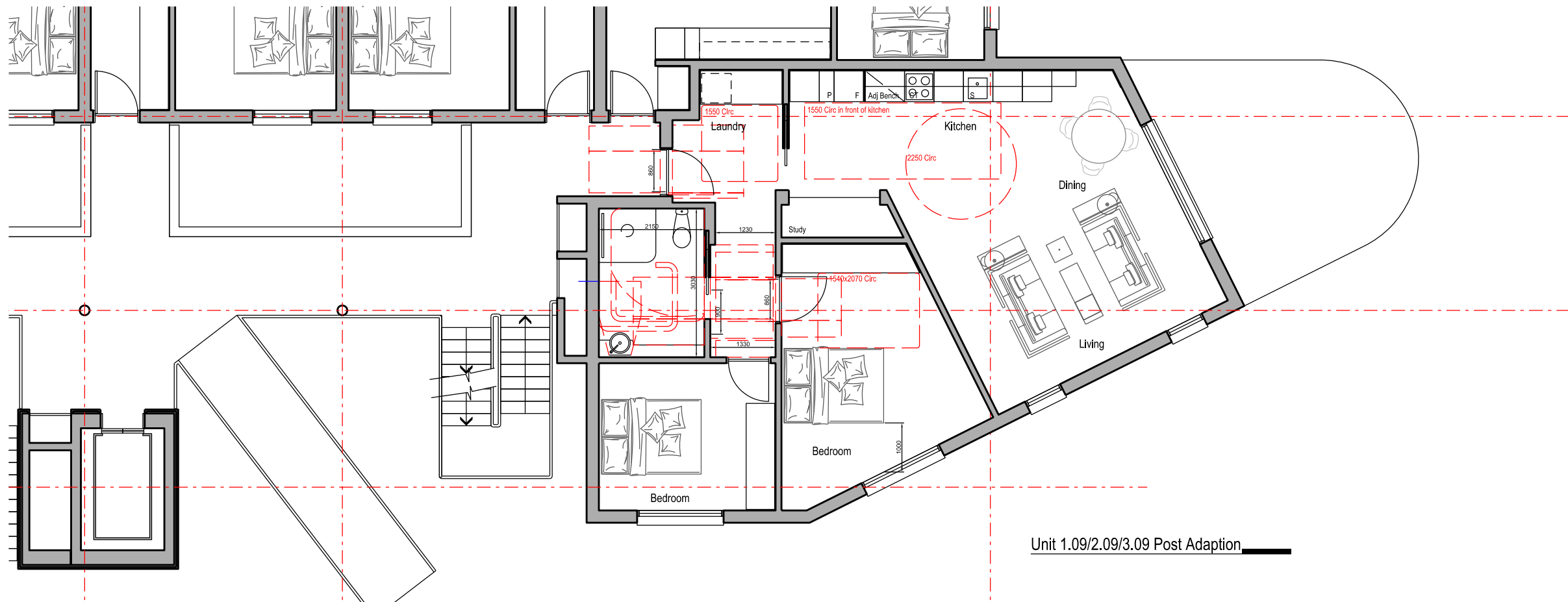
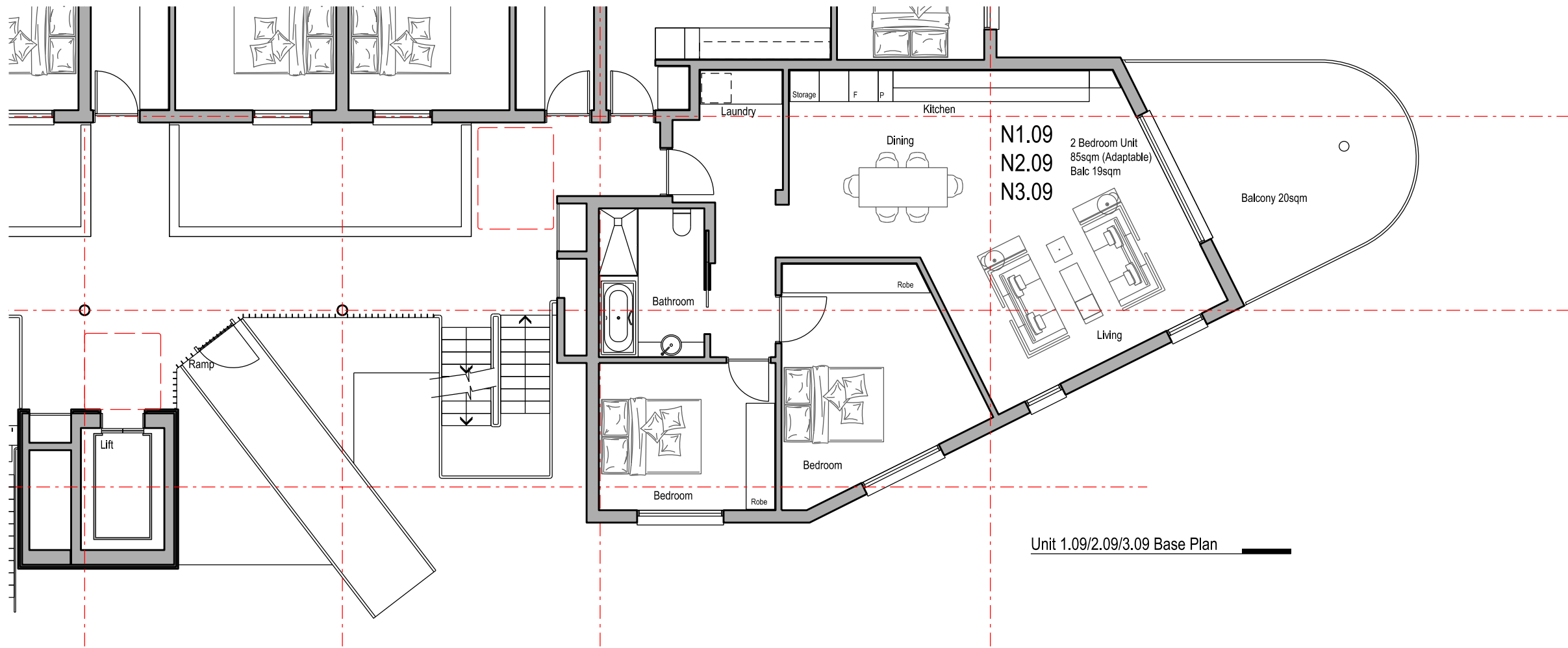
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 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site N - SSSA  
 Adaptable / Livable Homes

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:250@A1 / 1:500@A3
Dwg No.	NA176	Rev.	B



Nominated Architect: David Dove  
 BA(Arch) (Hons), AA(Dip)AppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 F. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 Adaptable Unit Plans - Unit 1.09/2.09/3.09

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	NA177 Rev. E

# Building M Specification

## Thermal Comfort Inclusions

### Glazing Doors / Windows

**Group A** awning + bifold + casement windows + hinged glazed doors

Typical: U-value: 5.40 (equal to or lower than) SHGC: 0.49 (±5%)

Units N1.01, N2.01, N3.01: U-value: 3.90 (equal to or lower than) SHGC: 0.32 (±5%)

**Group B** sliding doors/windows + fixed glazing + louvred windows

Typical: U-value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%)

Units N1.01, N2.01, N3.01 (Excl. Louvres): U-value: 3.90 (equal to or lower than) SHGC: 0.37 (±5%)

**Skylights** VEL-011-01 U-value 3.97 SHGC 0.27 fixed

### Window Frame Colour

Dark (SA > 0.85)

### Window Restrictors

Window restrictors to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

### Roof and Ceiling

150mm Concrete roof

Metal roof with foil/sarking R1.3

Plasterboard ceiling with R1.5 insulation (insulation only value) where balconies are above

Plasterboard ceiling with R3.0 insulation (insulation only value) to soffit where concrete roof is over,

and where metal roof is over

Plasterboard ceiling, no insulation where neighbouring units are above

External Colour : medium default

### Ceiling Penetrations

Sealed LED downlights at a maximum of one every 5m<sup>2</sup>.

### External Walls

Brick veneer, metal stud walls (thermal break R0.2) with R2.5 insulation (insulation only value)

Lightweight cladding, metal stud walls (thermal break R0.2) with R2.5 insulation (insulation only value)

Concrete columns within the external wall envelope R2.5 insulation

External Colour : Default Medium (0.50)

### Inter-tenancy Walls

Double stud walls to neighbours, R1.5 insulation both sides between dwellings

Double stud walls adjacent to hallways, R1.5 insulation (insulation value only)

Minimum 150mm concrete with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs.

### Walls within Dwellings

Plasterboard on studs no insulation

### Floors

Typical: Minimum 150mm Concrete with a minimum R1.2 subfloor insulation (insulation only value) required to units with

garage below, and where part open subfloor below

Unit N1.01: Upgrade to R1.5 under slab insulation

Concrete slab on ground, no insulation required

Minimum 150mm Concrete between levels, no insulation required

### Floor Coverings

Carpet to bedrooms and WIR and tiles elsewhere

### Water inclusions

#### Fixtures within units

Showerheads: Mid flow (>6L but d=7.5L/min)

Toilets: 4.0 star

Kitchen taps: 5.0 star

Bathroom vanity taps: 5.0 star

Fixtures within common areas : Taps: 5.0 star

#### Central rainwater storage

Tank size: 2,000L

Collecting from 300m<sup>2</sup>

Connected to outdoor tap for irrigation of common area landscaping, 1 car wash bay and private landscaping

### Energy Inclusions

#### Hot water system

Central electric heat pump air sourced with unit efficiency of 3.5 < COP d=4.0 and R0.6 (~25mm) insulation to ring main and supply risers

#### Lift motors

Gearless traction with VVVF motor with lift load capacity of e=1,001kg to d=1,500kg

#### Appliances within units

Induction cooktop & electric oven

Dishwashers: 4.0 star

Clothes dryers: 8.0 star

#### Heating and cooling within units

All units to have individual, single phase, reverse cycle air conditioning to living areas, and at least 1 bedroom

A minimum efficiency of EER 3.5 4.0 is required for cooling; and

A minimum efficiency of EER 3.5 4.0 is required for heating

#### Artificial lighting within units

Minimum of 80% of all light fittings within each room are to have dedicated LED fixtures installed

#### Ventilation within units

Bathroom: individual fan, ducted to roof or façade connected to light, timer off

Laundry: individual fan, ducted to roof or façade manual on / off switch

Kitchen range hood: Individual fan, ducted to roof or façade manual on / off switch

#### Artificial lighting to common areas

Lighting control system : Car park area Light emitting diodes (LEDs) with zoned switching and motion sensors

Lifts Light emitting diodes (LEDs) connected to lift call button

Garbage rooms Light emitting diodes (LEDs) with motion sensor

Plant / service rooms Light emitting diodes (LEDs) with manual on / manual off switch

Ground floor lobbies Light emitting diodes (LEDs) with zoned switching and motion sensors

Hallways Light emitting diodes (LEDs) with zoned switching and motion sensors

Communal areas - Light emitting diodes (LEDs) with manual on/timer off

#### Ventilation to common areas

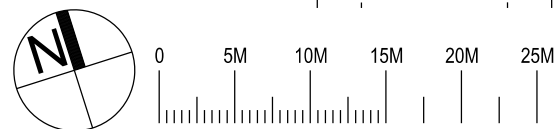
Garbage rooms Exhaust air only, running continuously

Plant / service rooms Supply and exhaust air, thermostatically controlled

Storage Supply air only, interlocked to light

Ground floor lobbies and hallways Naturally ventilated

Communal areas: air conditioning system, time clock



Nominated Architect: David Dove  
 BArch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

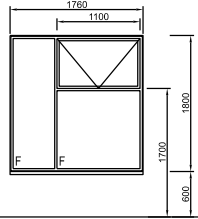
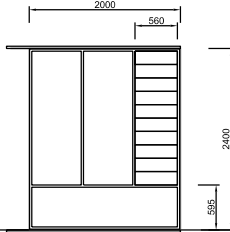
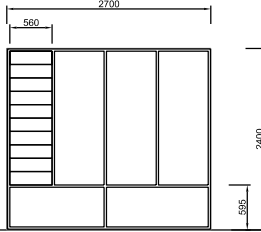
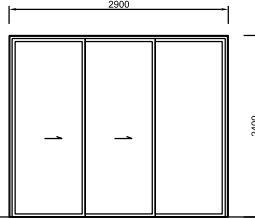
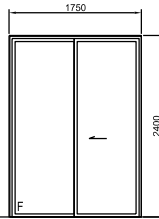
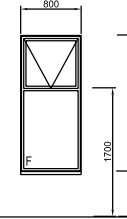


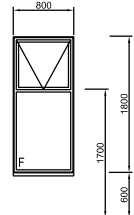
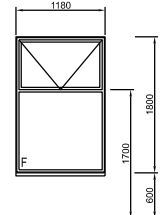
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site N - SEDA  
 Typical Specification

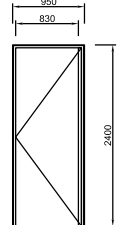
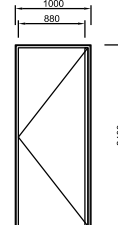
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Job No.	SYB01	Dwg No.	NA180 Rev. B

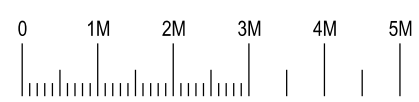
# Windows

FFL						
Window No	MW01	NW02	NW03	NW04	NW05	NW07
Type	Fixed & Awning	Fixed & Louvre	Fixed & Louvre	Double Sliding door	Sliding door	Fixed & Awning
Frame	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium
Glazing	Single	Single	Single	Single	Single	Single Frosted
Finish	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat
Locks	Yes	Yes	Yes	Yes	Yes	Yes
Quantity	24	6	3	27	3	6
Shading	-	West Facing Fixed Vertical Louvre	-	Balcony/Pergola	2M Balcony/Pergola	-

FFL				
Window No	NW07	NW08		
Type	Fixed & Awning	Fixed & Awning		
Frame	Improved Aluminium	Improved Aluminium		
Glazing	Single	Single		
Finish	Black Powdercoat	Black Powdercoat		
Locks	Yes	Yes		
Quantity	6	15		
Shading	South Facing	Internal Gallery		

# Unit Doors

FFL			
Door No	NDE1	NDE2	
Type	Unit Entry Door	Unit Entry Door Adaptable	
Frame	FR Steel Frame	FR Steel Frame	
Glazing	-	-	
Finish	White	White	
Locks	Entry Lockset & Deadbolt	Entry Lockset & Deadbolt	
Quantity	10 RH / 12 LH	10 RH / 12 LH	
Shading	Internal	Internal	
Door	40mm Solid Core Fire	40mm Solid Core Fire	



Nominated Architect: David Dove  
 BAArch (Hons), AsaDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



 Southern Cross Housing  
 BUILDING COMMUNITY FUTURES

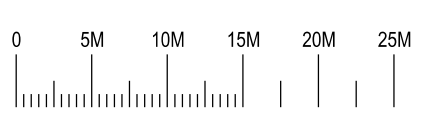
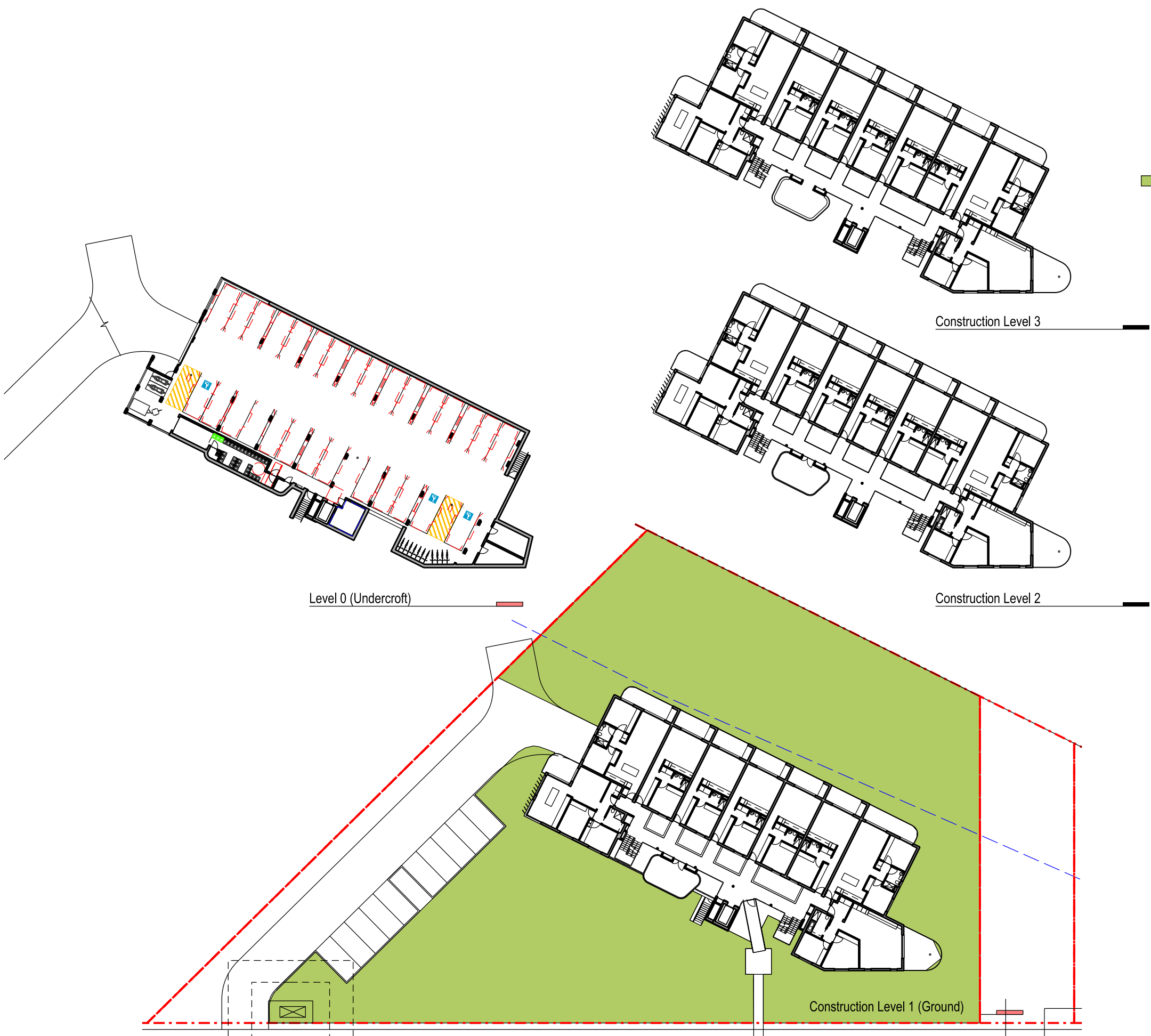
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site N - SSSA  
 Apartment Window / Door Schedule

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	NA181 Rev. B

**Residential Site N  
Communal Open Space Calculations**

Site Area	3999m <sup>2</sup>
Communal Space	2354m <sup>2</sup>
Percentage	58%
Compliance	>25%



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. B622  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 291/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 882  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au



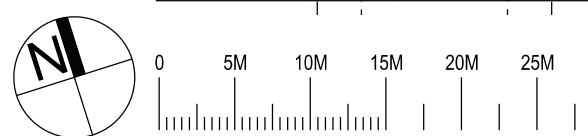
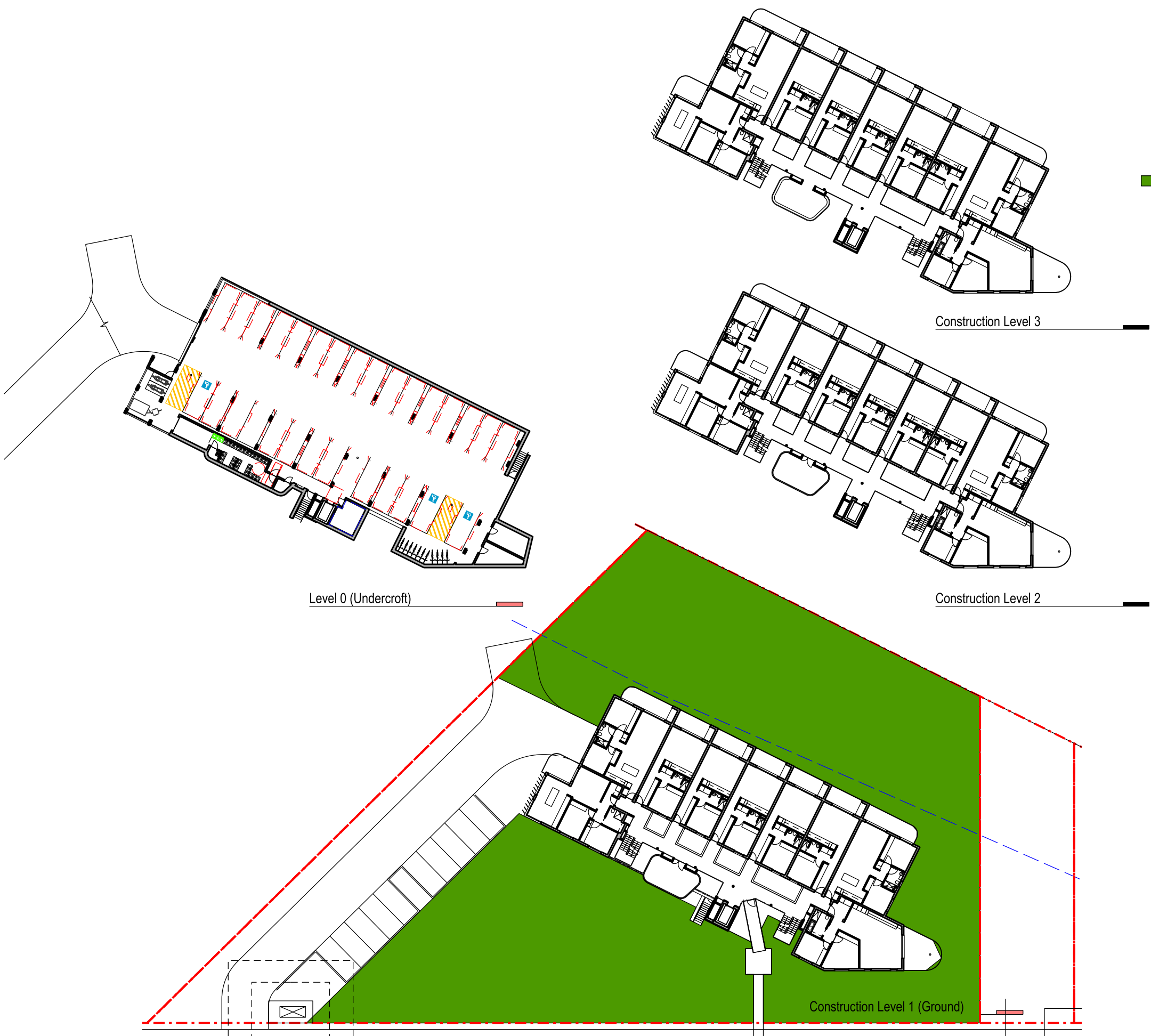
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site N - SSDA  
 Communal Open Space Area Calculation

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	NA185 Rev. B

**Residential Site N  
Deep Soil Planting Area Calculations**

Site Area	3999m <sup>2</sup>
Deep Soil Area	2254m <sup>2</sup>
Percentage	56%
Compliance	>7%



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 291/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

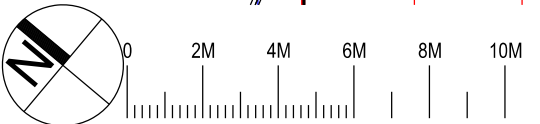
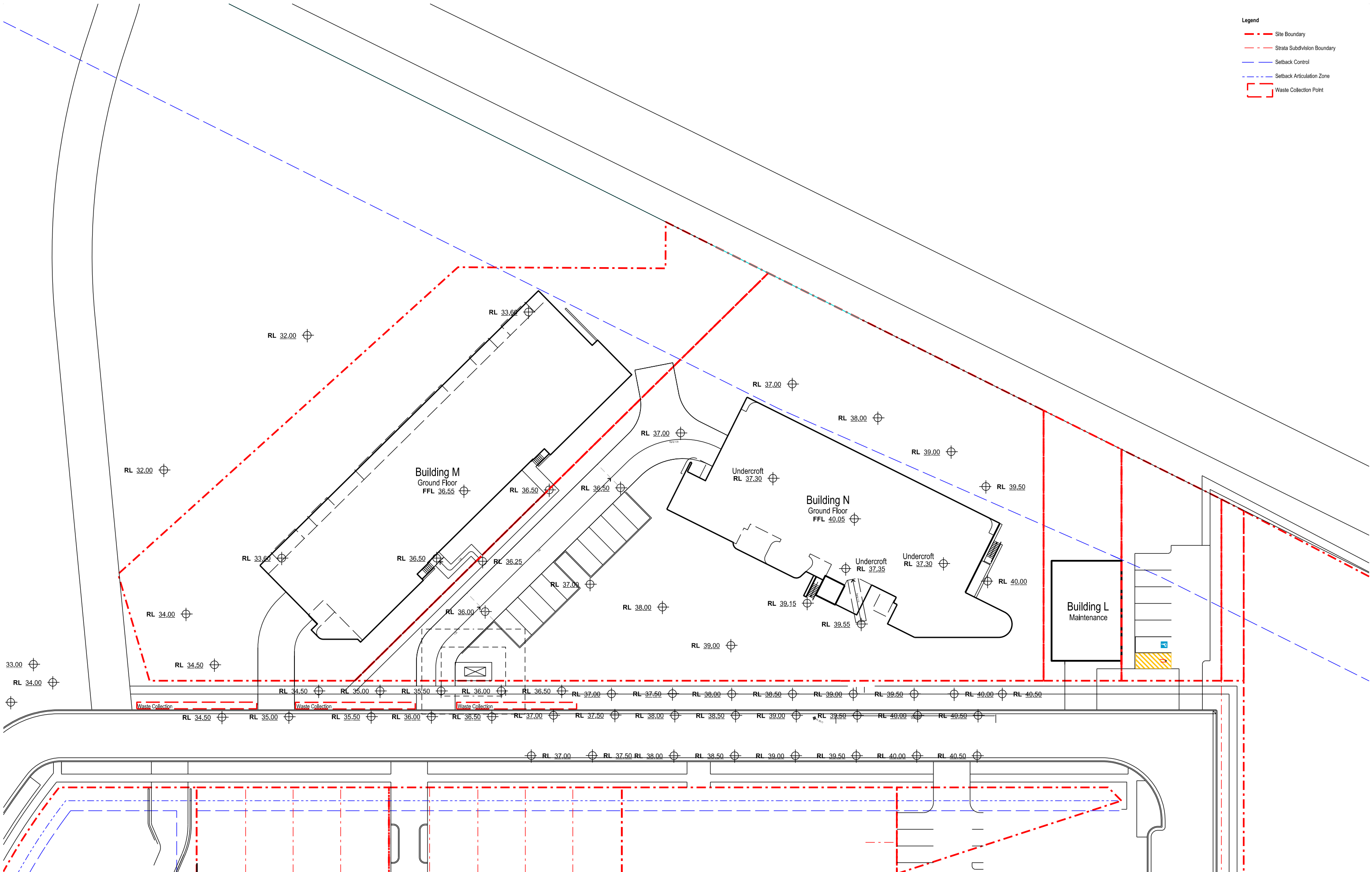


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site N - SSDA  
 Deep Soil Planting Area Calculation

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	NA186 Rev. B

- Legend**
- - - Site Boundary
  - . - . - Strata Subdivision Boundary
  - - - Setback Control
  - . - . - Setback Articulation Zone
  - Waste Collection Point



Nominated Architect: David Dove  
 BAArch (Hons), AAADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 6233 7100  
 F. www.eg.com.au

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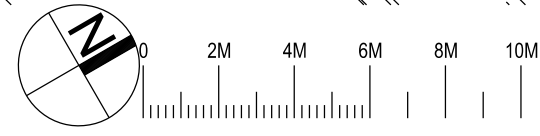
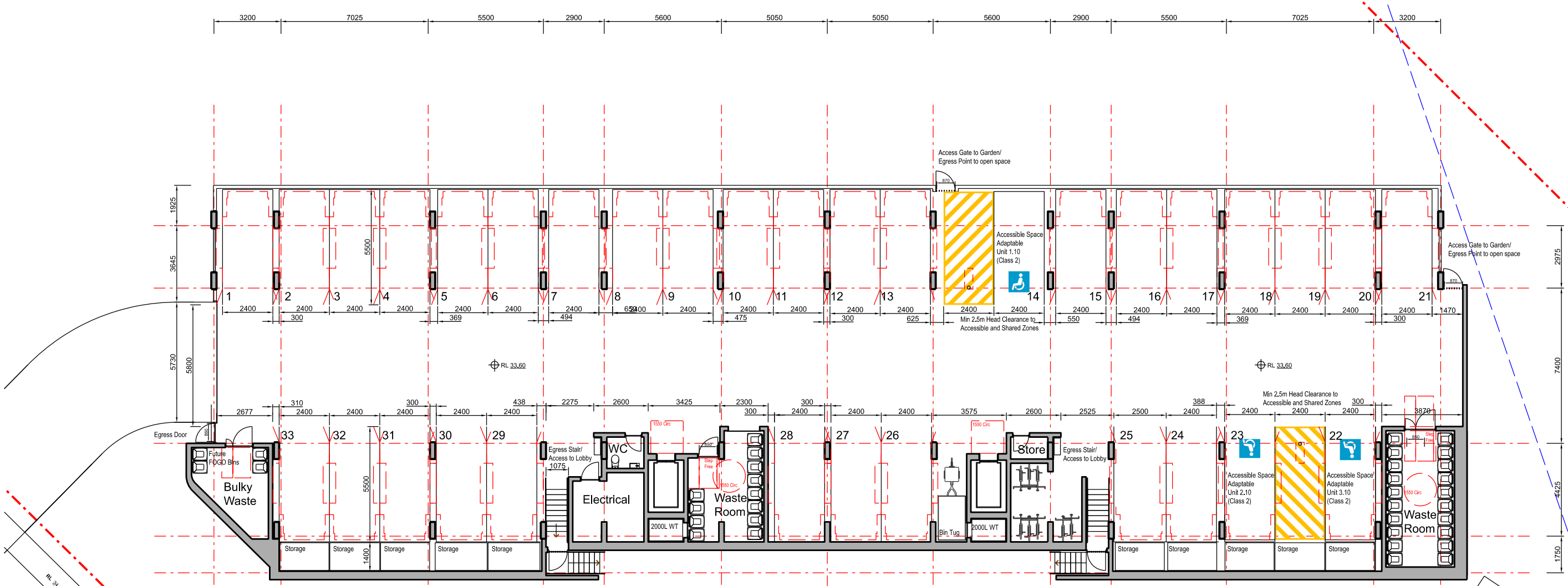


**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
**Building Site M&N - SSSA**  
**Site Plan**

Date		25th July 2025	
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	NA090
		Rev.	A

- Legend**
- - - Site Boundary
  - - - - - Strata Subdivision Boundary
  - - - - - Setback Control
  - [ ] Waste Collection Point
  - [ ] Car Space clearances to AS 2891.1



Nominated Architect: David Dove  
 Branch (Hons), AssocAp(S) (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au

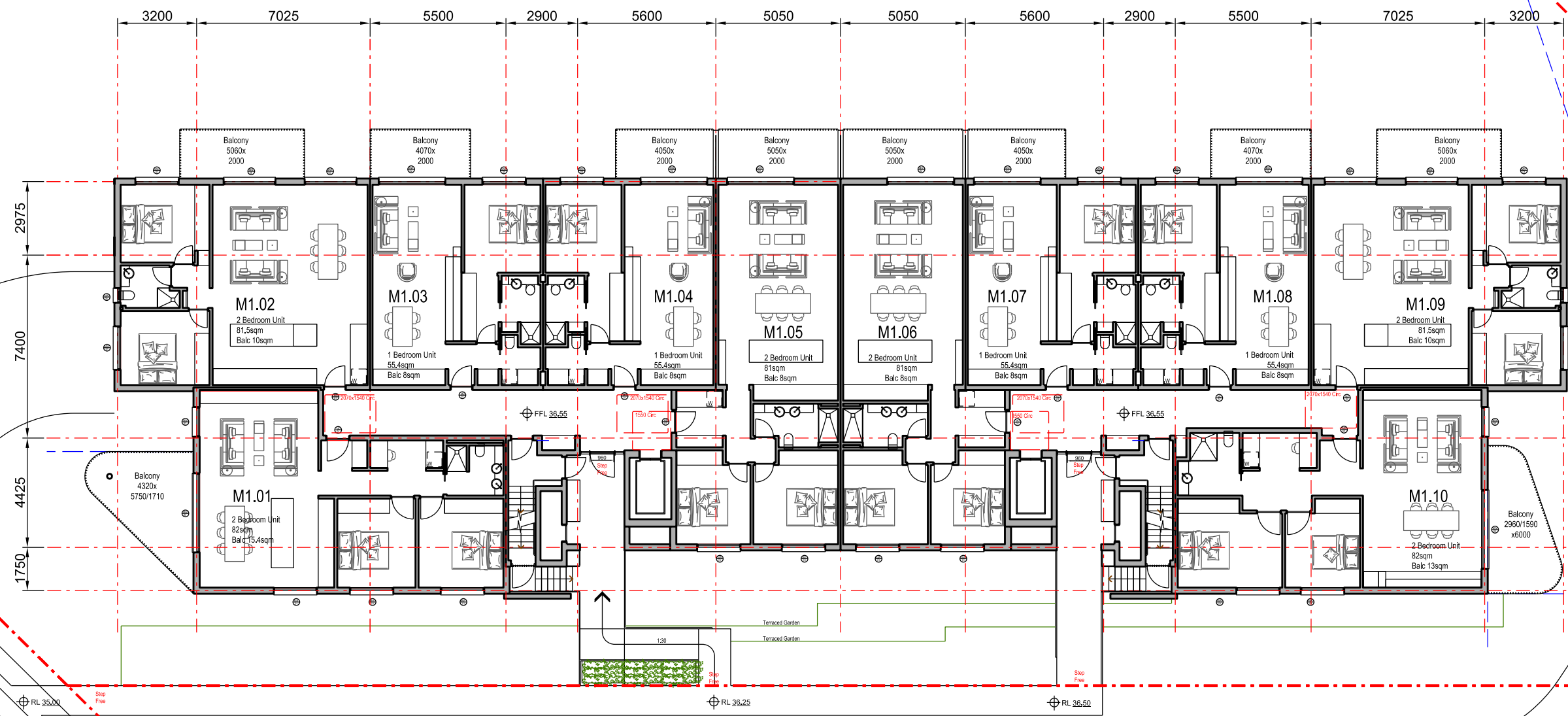


**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
**Building Site M - SSSA**  
**Level 0 (Undercroft) Floor Plan**

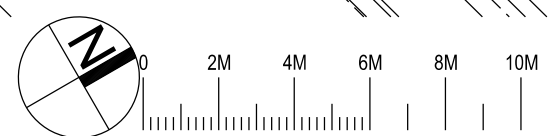
Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	MA100 Rev. H

- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - Waste Collection Point
  - Car Space clearances to AS 2891.1



Shared Driveway (Right of Access Easement to Building M)  
Shared Visitor Parking area

Turning Bay



Nominated Architect: David Dove  
 (Arch) (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



# The Yards

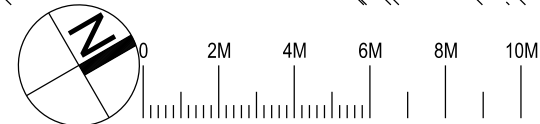
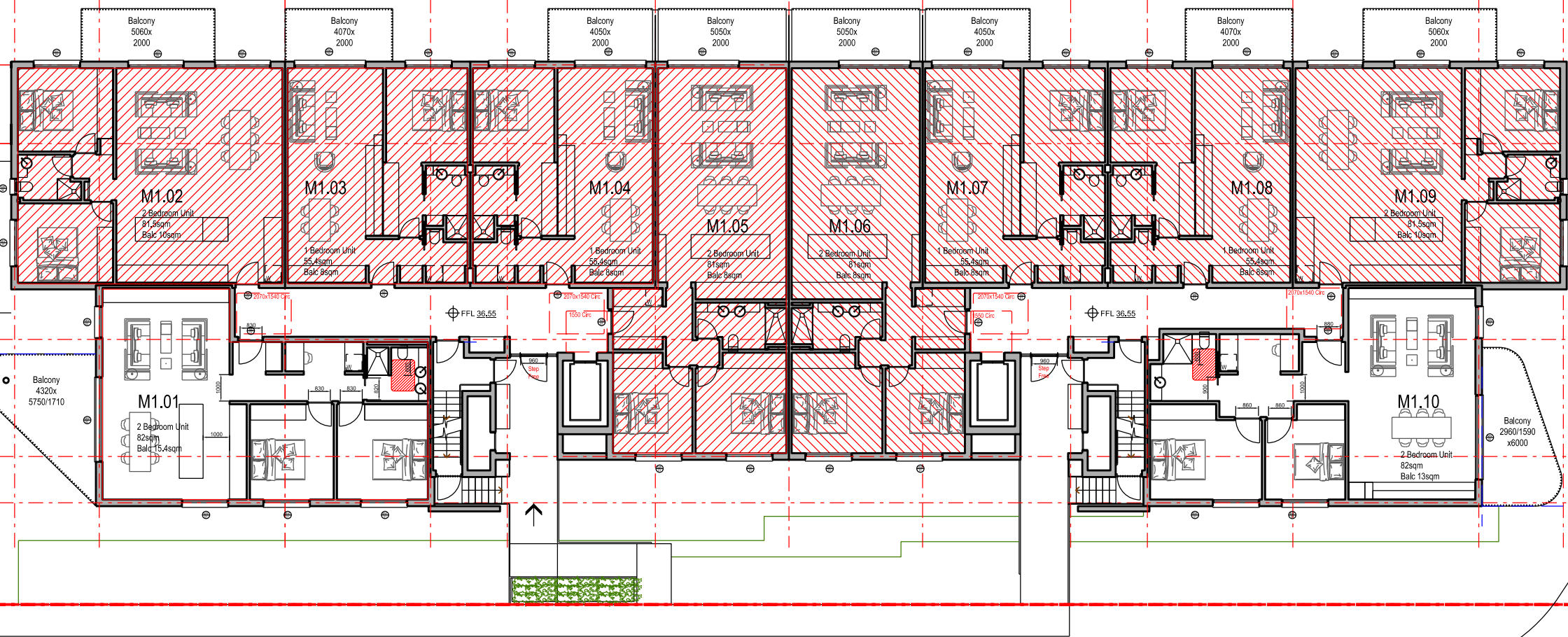
Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M - SSSA  
 Level 1 (Ground) Floor Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	MA110 Rev. H

**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
M1.01	Yes	No
M1.02	No	No
M1.03	No	No
M1.04	No	No
M1.05	No	No
M1.06	No	No
M1.07	No	No
M1.08	No	No
M1.09	No	No
m1.10	Yes	Yes
<b>Total</b>	<b>Total</b>	<b>Total</b>
10 Units	2 Units (20%)	1 Units (10%)



Nominated Architect: David Dove  
 Sarah (Home), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. B682  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au

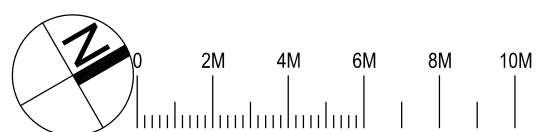
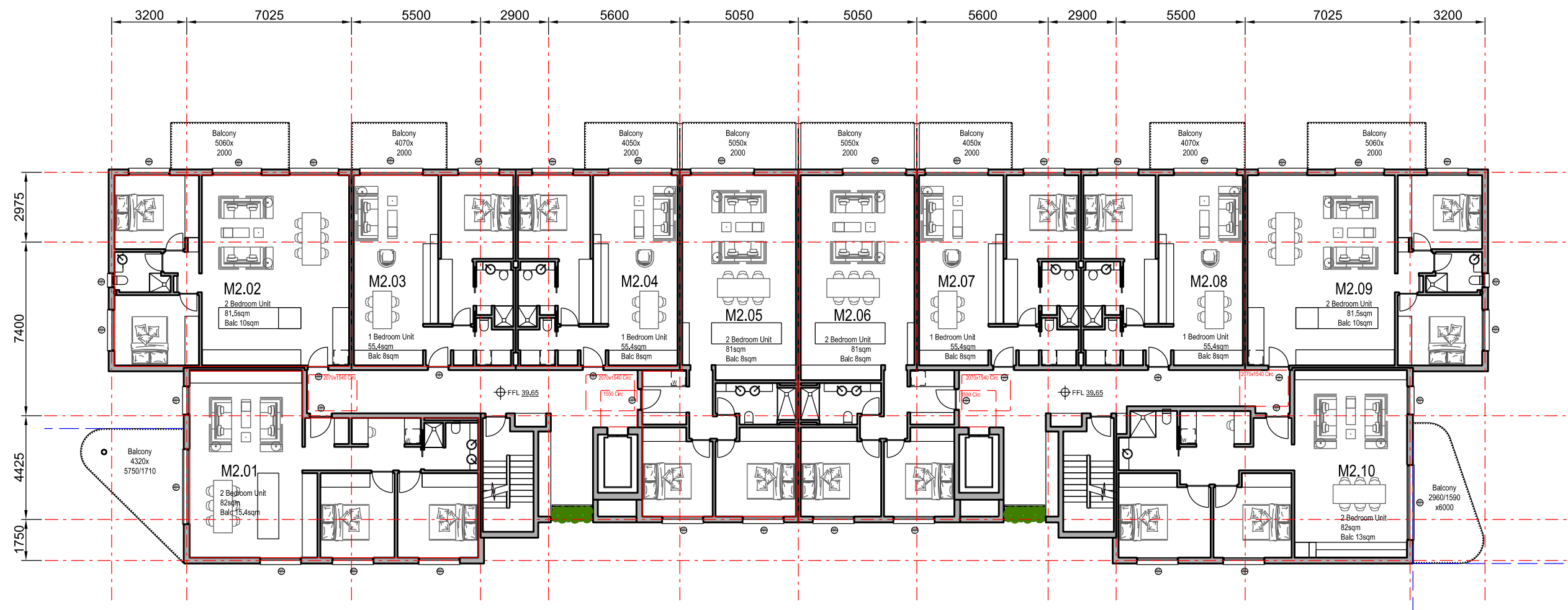


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M - SSSA  
 Level 1 Livable Housing Units

Date	25th July 2025
Drawn	DJD
Scale	1:200 @ A3
Job No.	SYB01
Dwg No.	MA111
Rev.	H

- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - Waste Collection Point
  - Car Space clearances to AS 2891.1



Nominated Architect: David Dove  
 BArch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
 DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9233 7100  
 W: www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

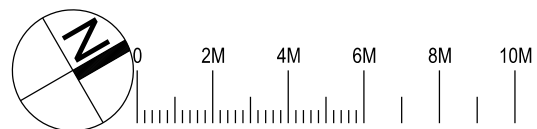
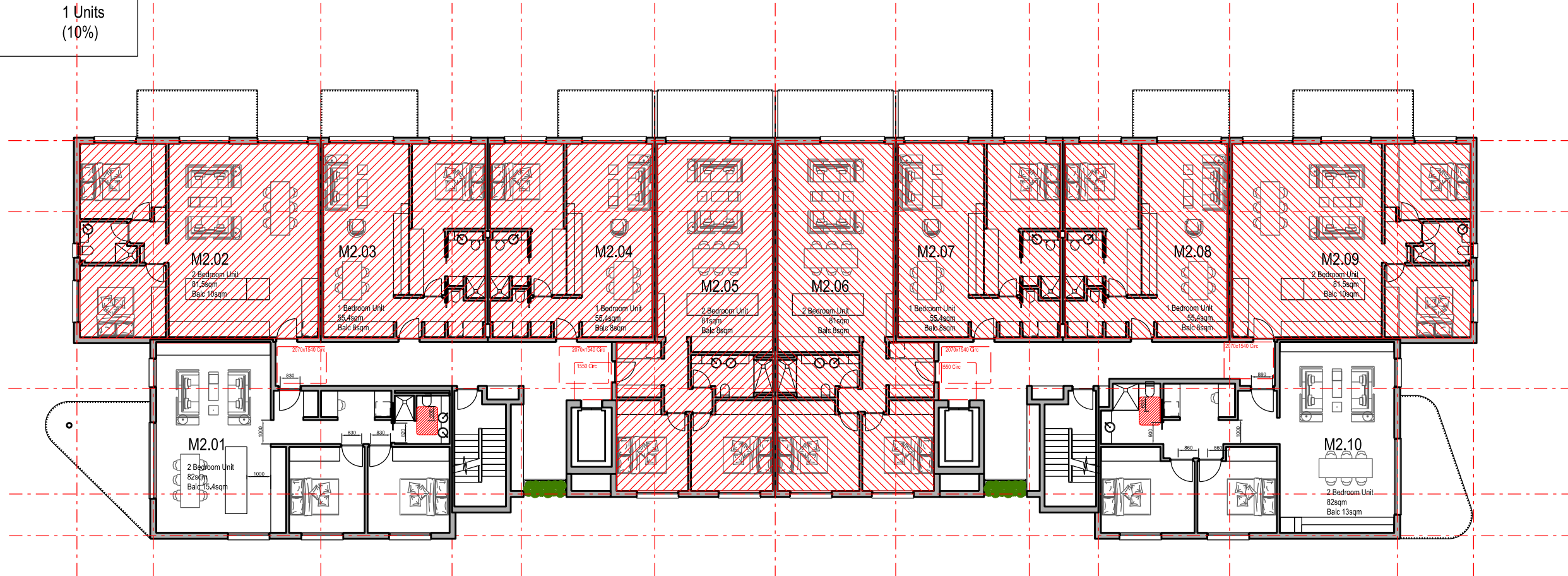
Drawing Title  
 Building Site M - SSSA  
 Level 2 Floor Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	MA120	Rev.	G

**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
M2.01	Yes	No
M2.02	No	No
M2.03	No	No
M2.04	No	No
M2.05	No	No
M2.06	No	No
M2.07	No	No
M2.08	No	No
M2.09	No	No
M2.10	Yes	Yes

Total	Total	Total
10 Units	2 Units (20%)	1 Units (10%)



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 BAArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au

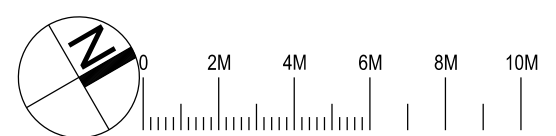
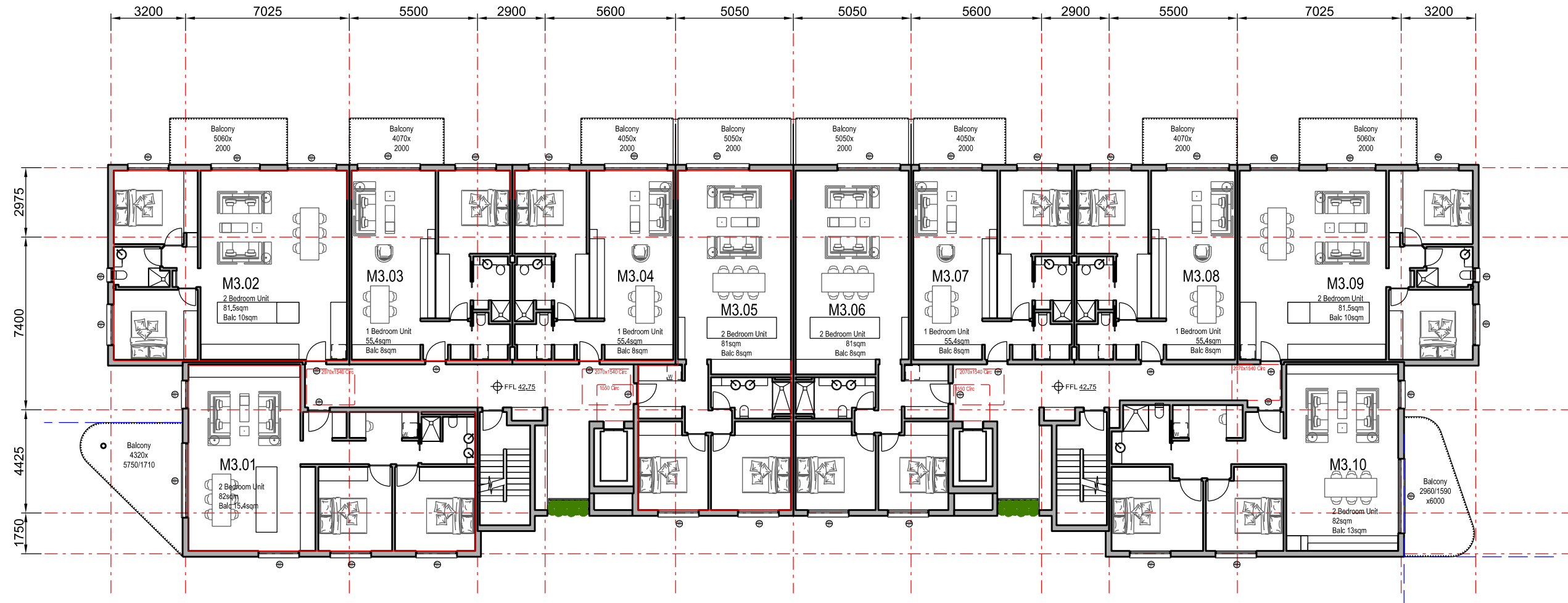


**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M - SSDA  
 Level 2 Livable Housing Units

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	MA121	Rev.	E

- Legend**
- - - Site Boundary
  - - - Strata Subdivision Boundary
  - - - Setback Control
  - Waste Collection Point
  - Car Space clearances to AS 2891.1



Nominated Architect: David Dove  
 BArch (Hons), Asst Dip (AppSci) (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC DEVELOPMENT**

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9233 7100  
 W: www.eg.com.au



**The Yards**  
**Moss Vale Road, Bomaderry**

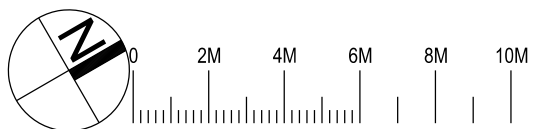
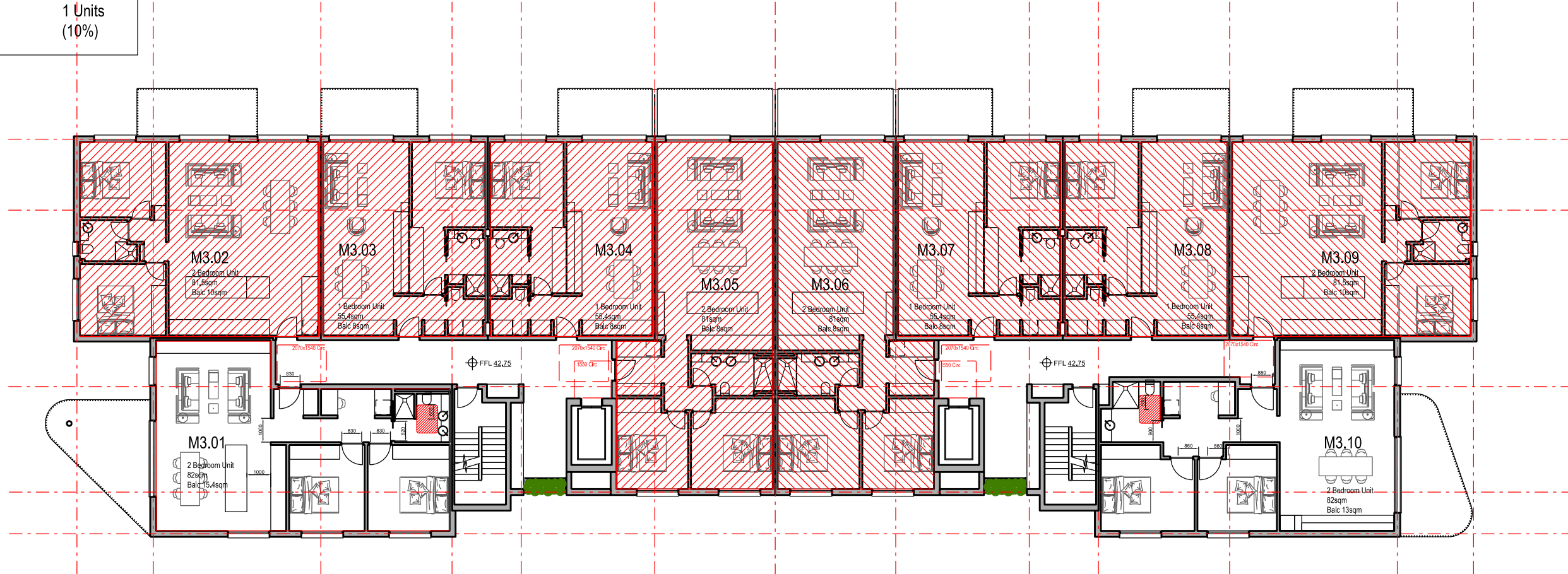
Drawing Title  
 Building Site M - SSSA  
 Level 3 (top) Floor Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	MA130	Rev.	G

**Livable Housing Design Silver**

Unit No	Achieves Silver	Adaptable DDA
M3.01	Yes	No
M3.02	No	No
M3.03	No	No
M3.04	No	No
M3.05	No	No
M3.06	No	No
M3.07	No	No
M3.08	No	No
M3.09	No	No
M3.10	Yes	Yes

Total	Total	Total
10 Units	2 Units (20%)	1 Units (10%)



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 BAArch (Hons), AssocAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
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 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



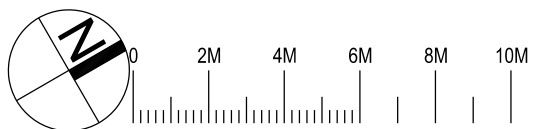
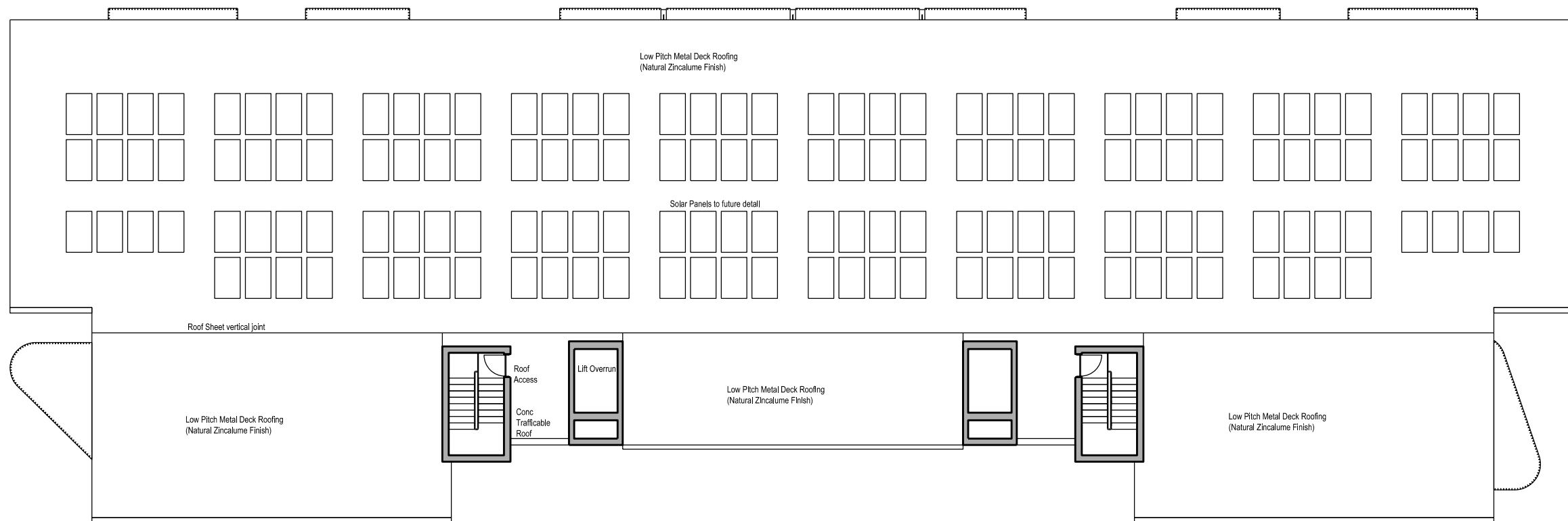
EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9233 7100  
 W: www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M - SSDA  
 Level 3 Livable Housing Units

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	MA131	Rev.	E



Nominated Architect: David Dove  
 BArch (Hons), AsaDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



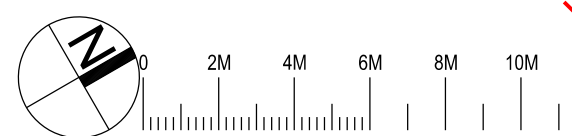
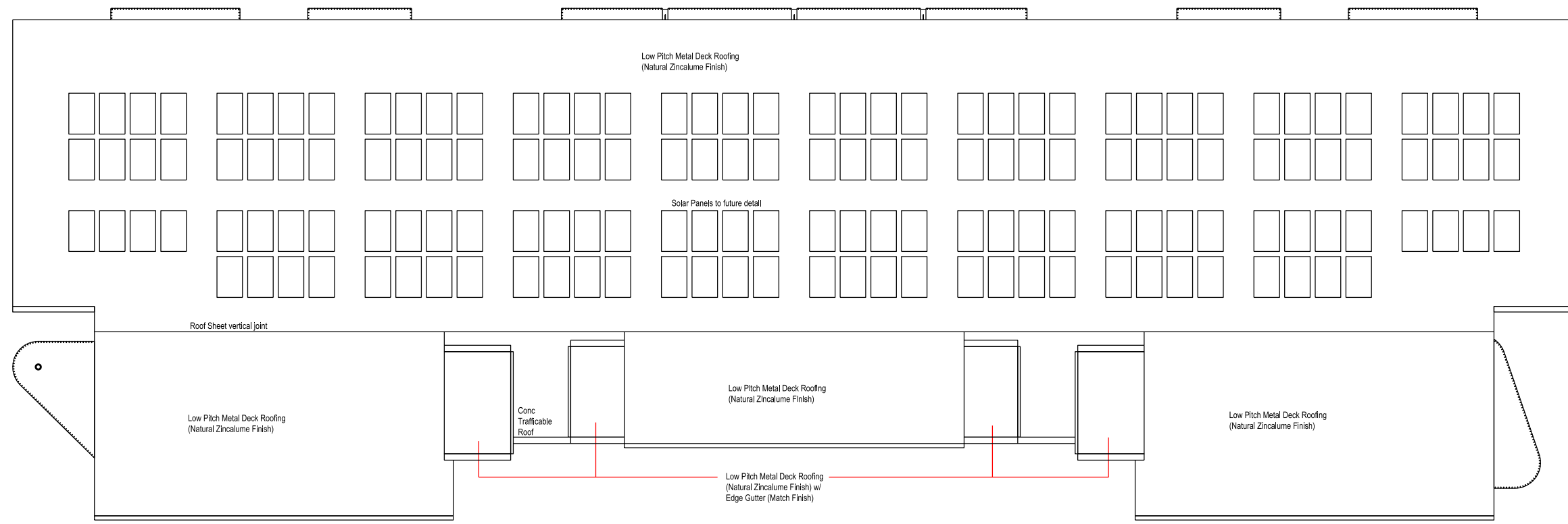
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 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M  
 Roof Access (Level 4) Plan

Date	25th July 2025		
Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	MA140 Rev. D



Nominated Architect: David Dove  
 BArch (Hons), AsaDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



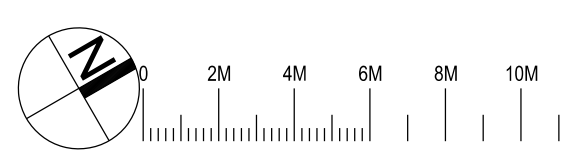
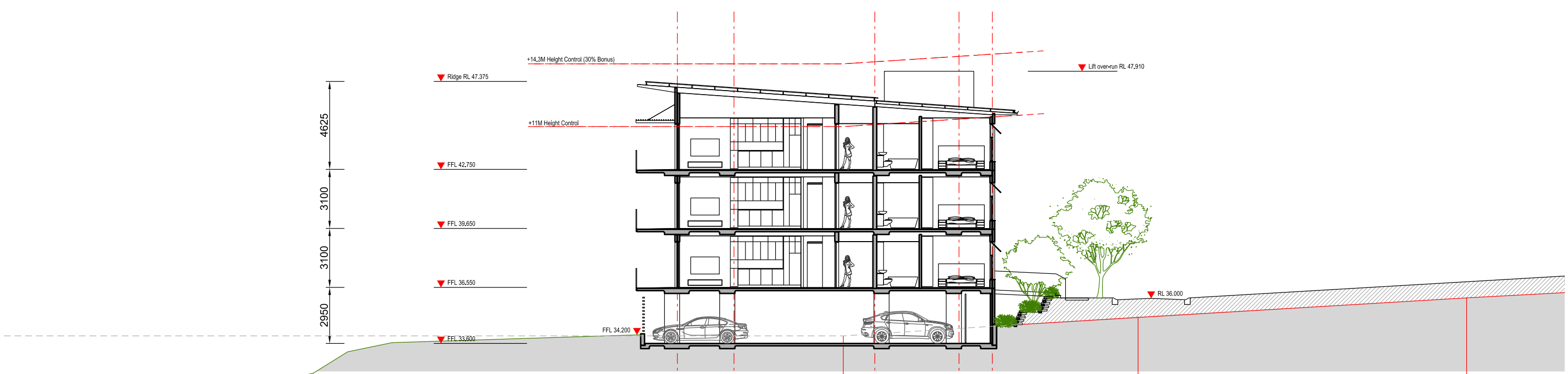
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 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
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**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M  
 Roof (Level 5) Plan

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	MA145	Rev.	B



Nominated Architect: David Dove  
 BArch (Hons), Asst Dip (AppSci) (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

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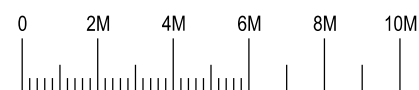
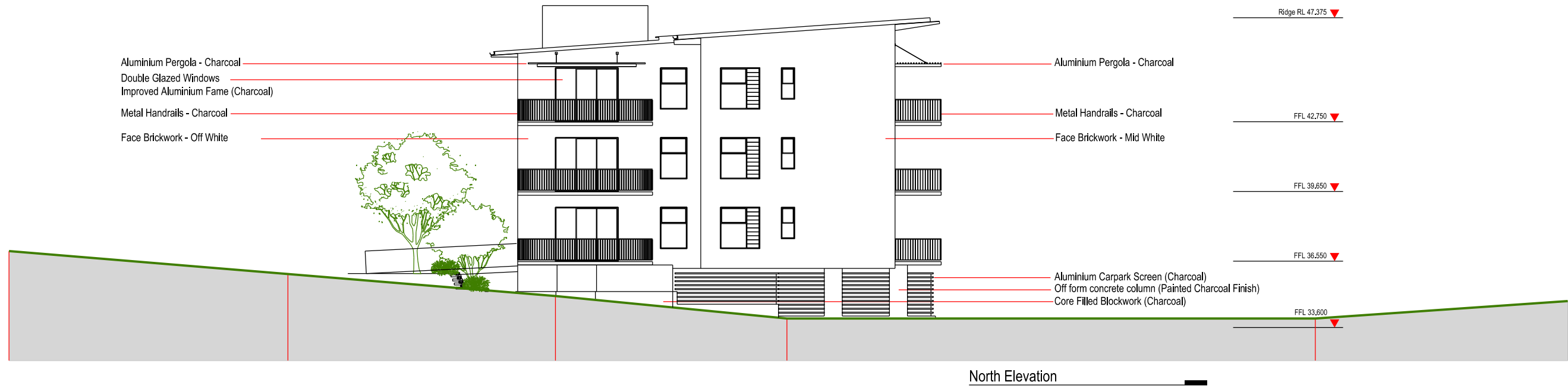
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 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



**The Yards**  
Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M - SSSDA  
 Indicative Section

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	MA150	Rev.	C



Nominated Architect: David Dove  
 SAArch (Hons), AsaDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

**SPARC**  
 DEVELOPMENT

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 Ph: (02) 9230 7100  
 W: www.eg.com.au



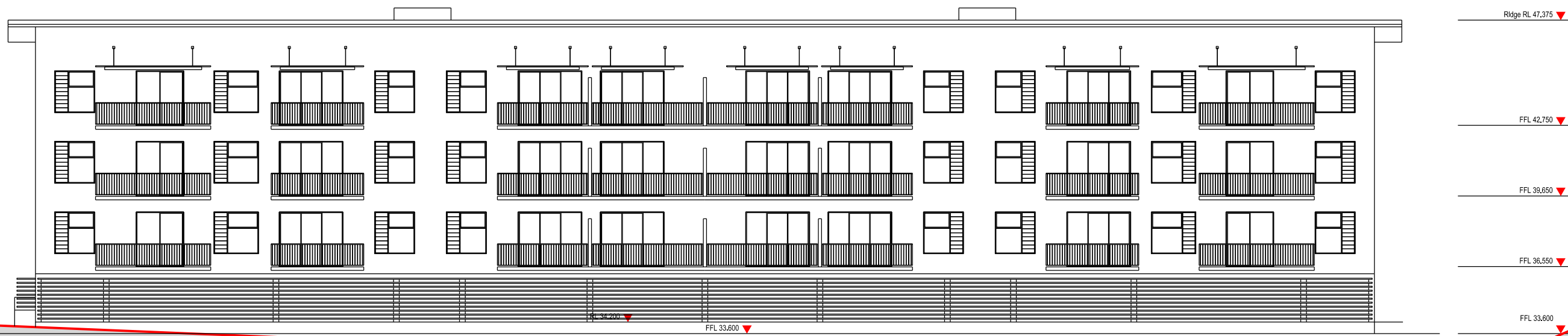
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M - SSSA  
 North / South Elevations

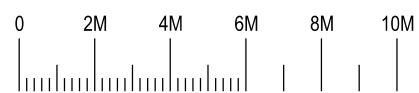
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Drawn	DJD	Scale	1:200 @ A3
Job No.	SYB01	Dwg No.	MA160 Rev. C



East Elevation



West Elevation



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9230 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Building Site M - SSSA  
 East / West Elevations

Drawn	DJD	Date	25th July 2025
Job No.	SYB01	Scale	1:200 @ A3
Dwg No.	MA161	Rev.	C



Construction Level 2



Construction Level 3







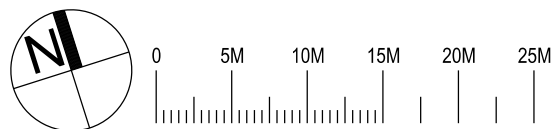
Level 0 (Undercroft)



Construction Level 1 (Ground)

**Residential Site M  
Floor Space Area Calculations**

	Level 3 (Top)	729m <sup>2</sup>
	Level 2 (Mid)	729m <sup>2</sup>
	Level 1 (Ground)	729m <sup>2</sup>
	Level 0 (Undercroft)	0m <sup>2</sup>
	<b>Total</b>	<b>2187m<sup>2</sup></b>



Nominated Architect: David Dove  
 BArch (Hons), AAADipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au



 **Southern Cross  
Housing**  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site M - SSSA  
 Floor Space Area Calculations

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	MA170 Rev. B



Construction Level 2



Construction Level 3



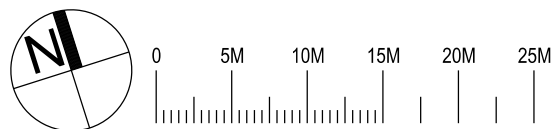
Level 0 (Undercroft)



Construction Level 1 (Ground)

**Residential Site M**  
**Nett Saleable / Lettable Area Calculations**

Unit	NIA	Balcony
3.01	82m2	15.4m2
3.02	81.5m2	10m2
3.03	55.4m2	8m2
3.04	55.4m2	8m2
3.05	81m2	8m2
3.06	81m2	8m2
3.07	55.4m2	8m2
3.08	55.4m2	8m2
3.09	81.5m2	10m2
3.10	82m2	15.4m2
2.01	82m2	15.4m2
2.02	81.5m2	10m2
2.03	55.4m2	8m2
2.04	55.4m2	8m2
2.05	81m2	8m2
2.06	81m2	8m2
2.07	55.4m2	8m2
2.08	55.4m2	8m2
2.09	81.5m2	10m2
2.10	82m2	15.4m2
1.01	82m2	15.4m2
1.02	81.5m2	10m2
1.03	55.4m2	8m2
1.04	55.4m2	8m2
1.05	81m2	8m2
1.06	81m2	8m2
1.07	55.4m2	8m2
1.08	55.4m2	8m2
1.09	81.5m2	10m2
1.10	82m2	15.4m2
<b>Total</b>	<b>2131.8m2</b>	



Nominated Architect: David Dove  
 BAArch (Hons), AArch (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Phillip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au



**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
 Residential Site M - SSSA  
 NSA / NLA Calculations

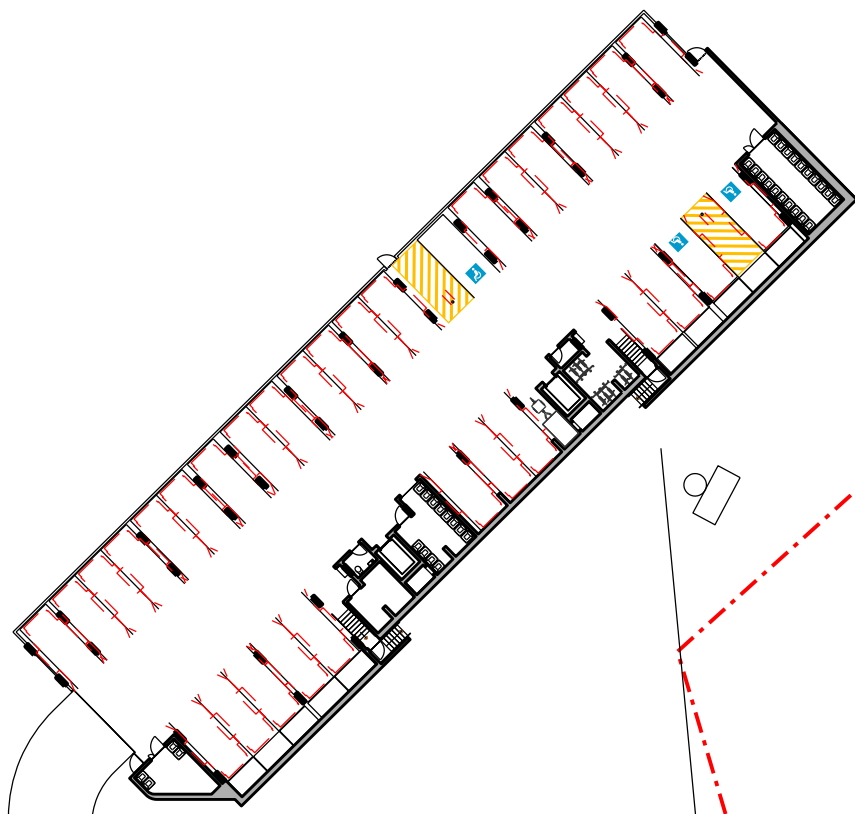
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Job No.	SYB01	Dwg No.	MA171 Rev. B



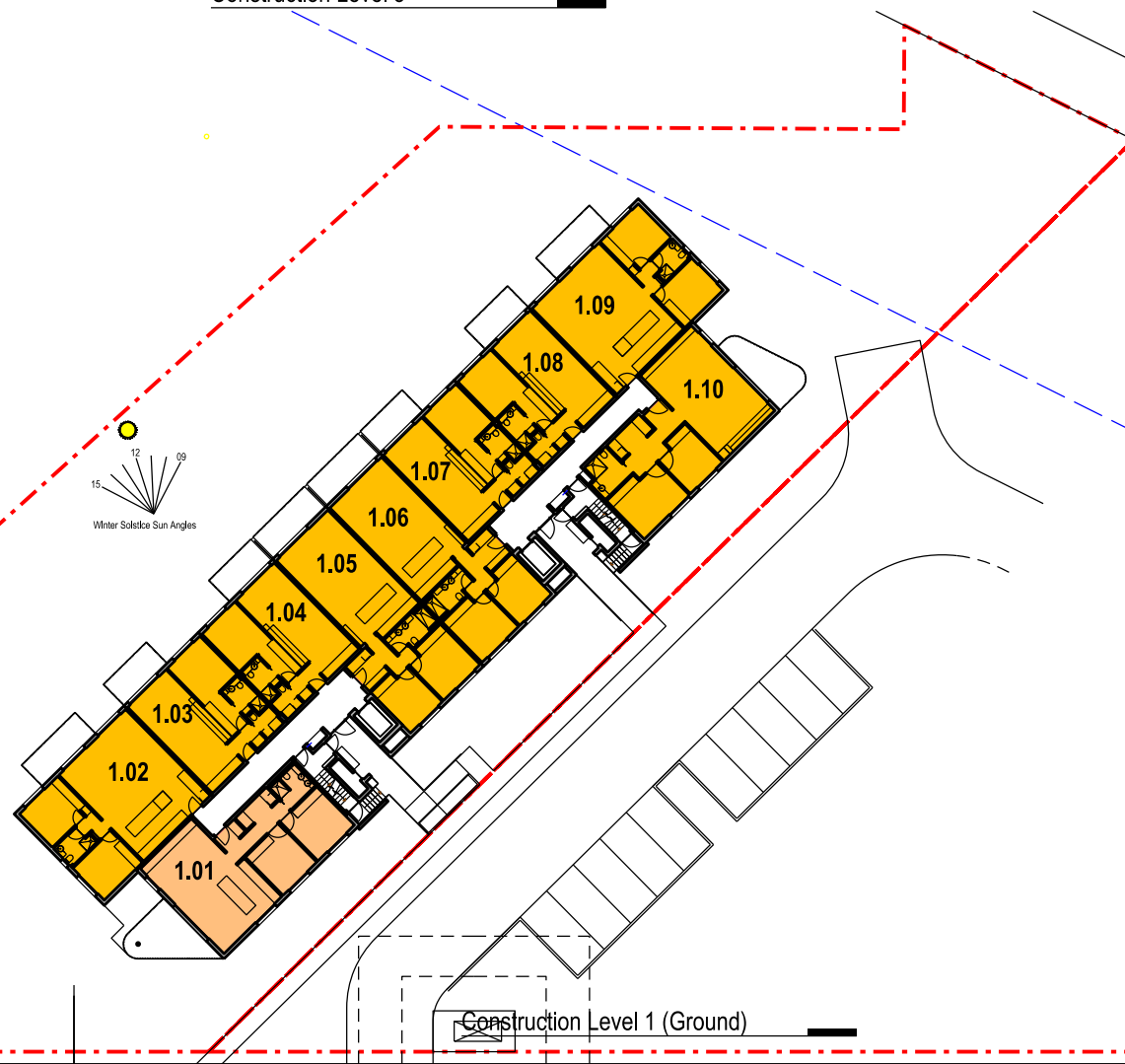
Construction Level 2



Construction Level 3



Level 0 (Undercroft)

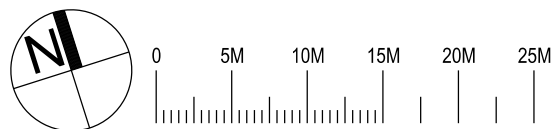


Construction Level 1 (Ground)

**Residential Site M  
Solar Access Calculations**

Total Units	30
Units receiving more than 3 Hrs	27 (90%)
Units receiving 2-3 Hrs	0
Units receiving less than 2 Hrs	3 (10%)
Units receiving no mid winter sun	0

Compliance
>70% (Complies)
<15% (Complies)



Nominated Architect: David Dove  
 BAArch (Hons), AAACipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



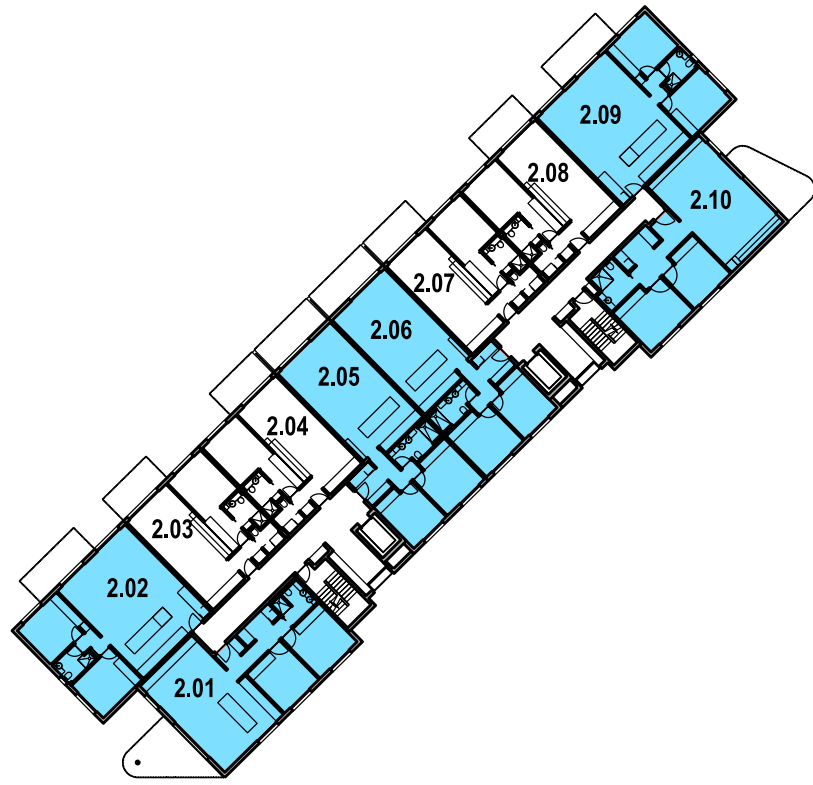
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 Level 21  
 Governor Philip Tower  
 11 Farrer Place  
 Sydney, NSW  
 2000  
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 F. www.eg.com.au



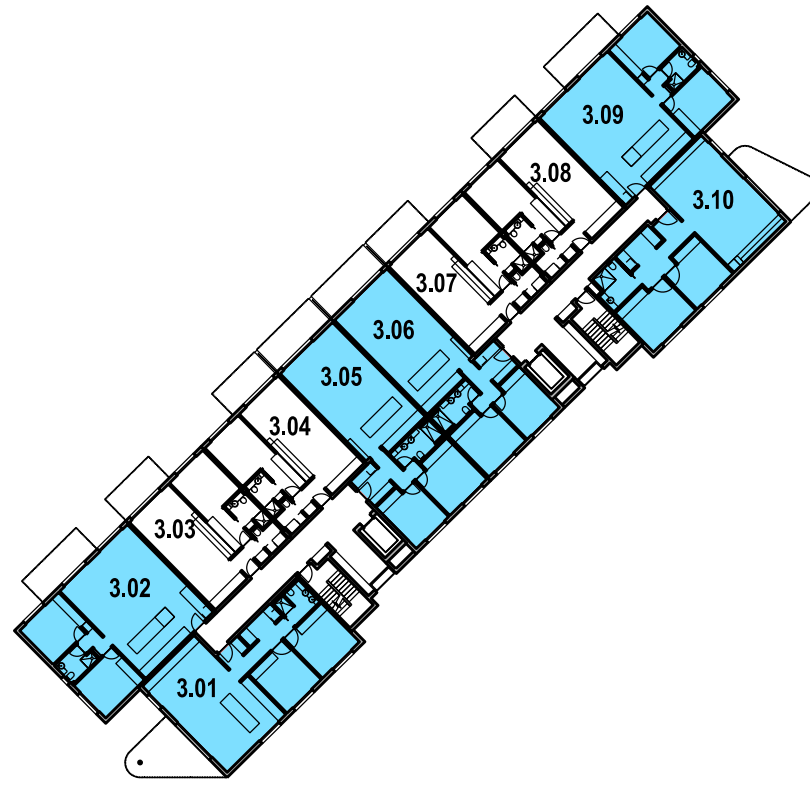
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site M - SSDA  
 Solar Access Calculations

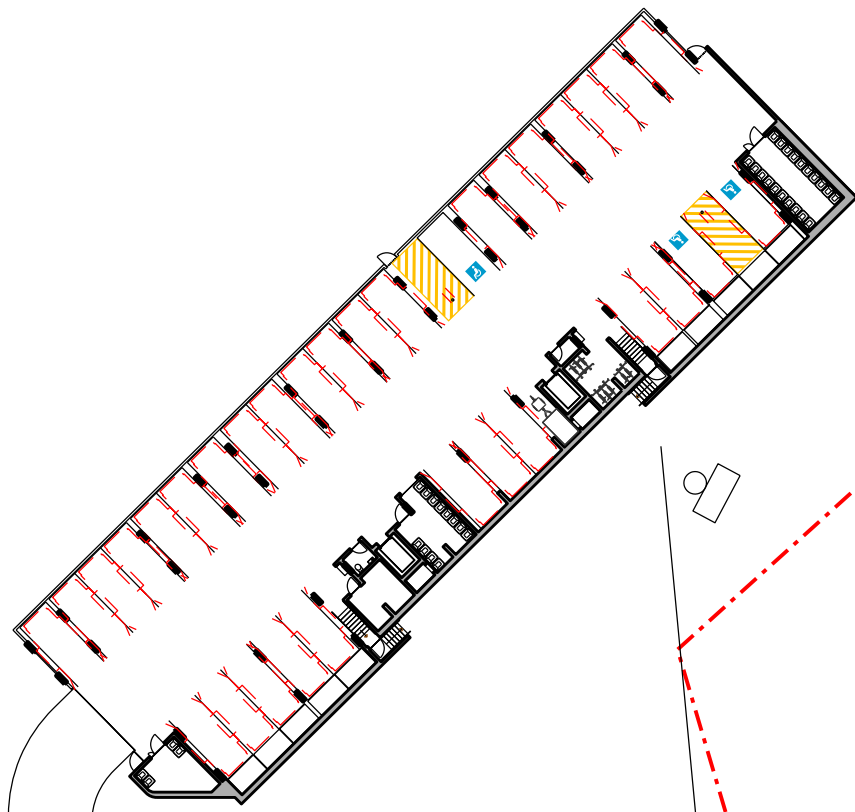
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Job No.	SYB01	Dwg No.	MA173 Rev. B



Construction Level 2



Construction Level 3



Level 0 (Undercroft)

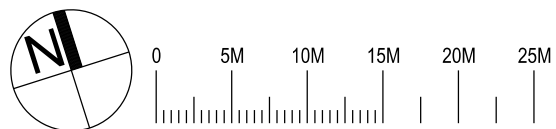


Construction Level 1 (Ground)

**Residential Site M  
Cross Ventilation Calculations**

Total Units	30
Dual Orientation Units	18 (60%)
Single Orientation Units	12 (40%)

Compliance  
>60% (Complies)



Nominated Architect: David Dove  
 BAArch (Hons), AArch (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au



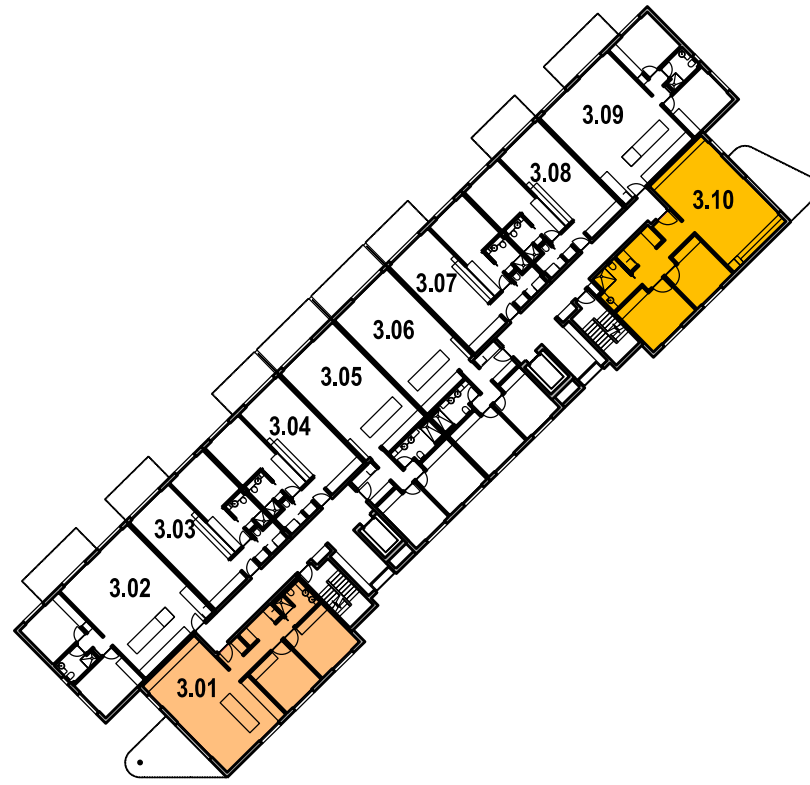
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site M - SSSA  
 Cross Ventilation Calculations

Date	25th July 2025
Drawn	DJD
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Job No.	SYB01
Dwg No.	MA174
Rev.	B



Construction Level 2



Construction Level 3



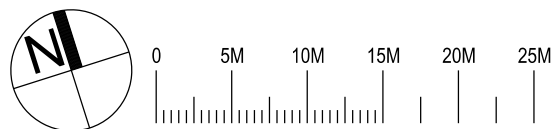
Level 0 (Undercroft)



Construction Level 1 (Ground)

**Residential Site M  
DDA / LHA Calculations**

		Compliance
Total Units	30	
Adaptable Units + Livable Silver (Compliance with AS1428.1)	3 (10%)	10% (Complies)
Livable Homes Silver Standard	6 (20%)	50% (Note - Development in total complies)



Nominated Architect: David Dove  
 BAArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/11/04 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



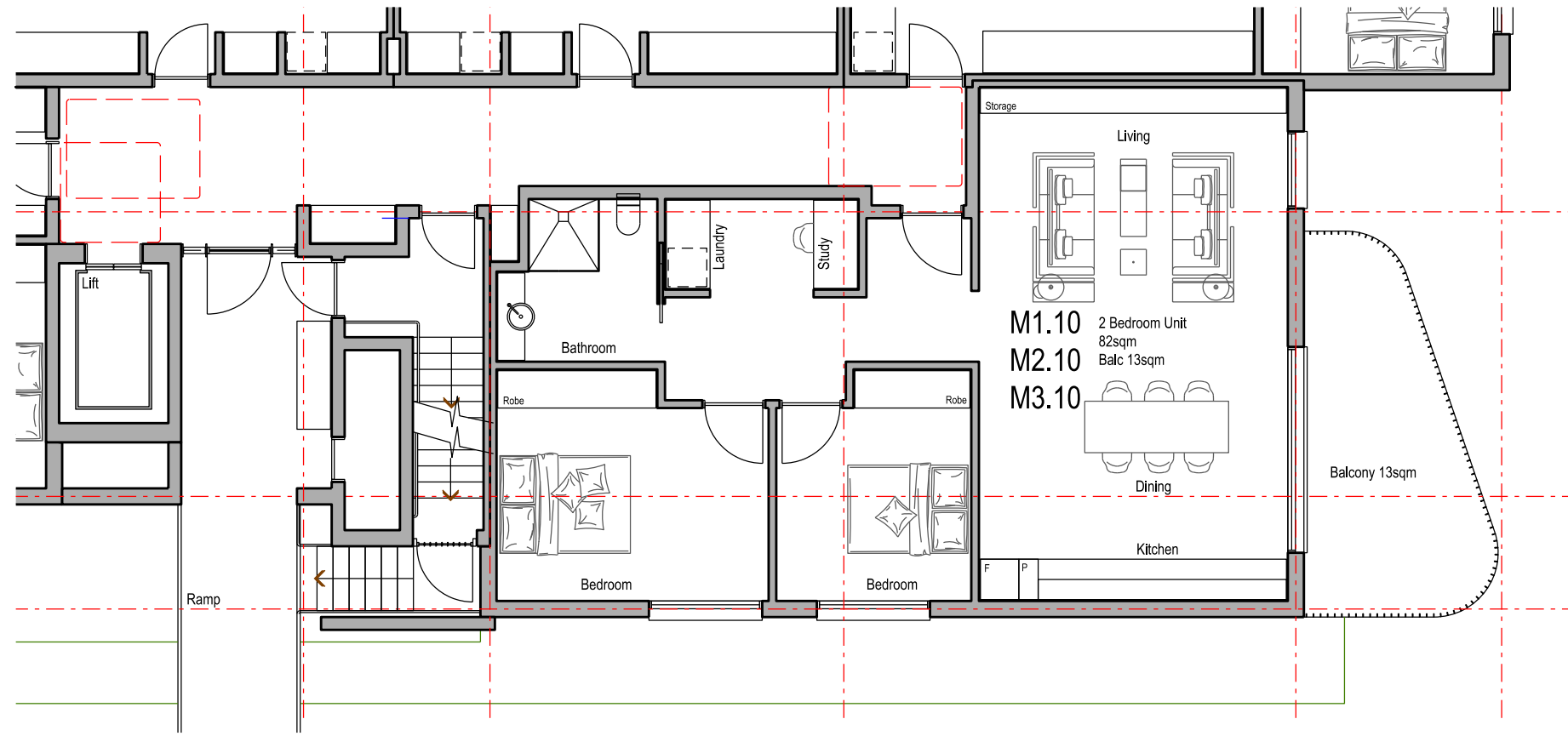
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 2000  
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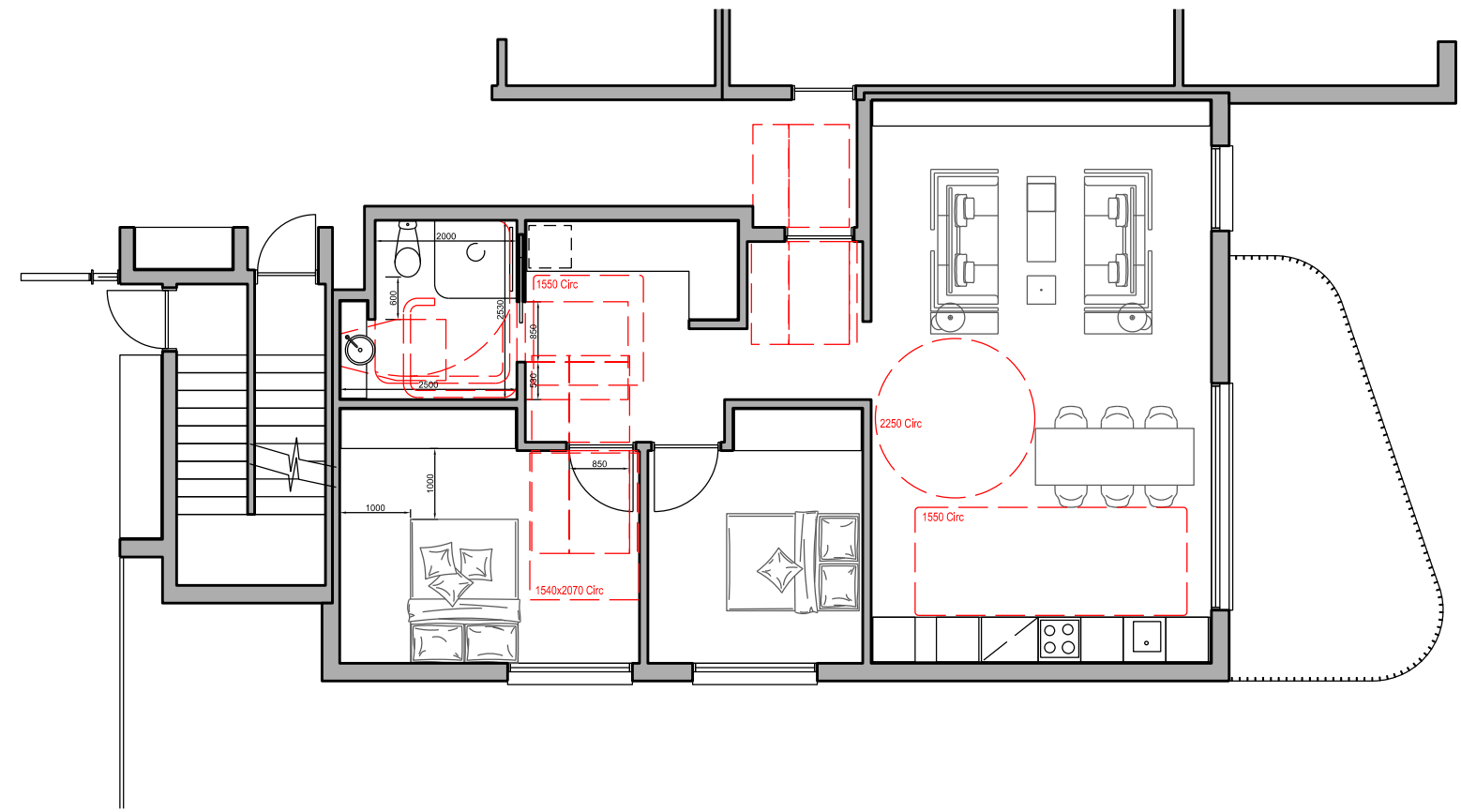
**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site M - SSSA  
 Adaptable / Livable Homes

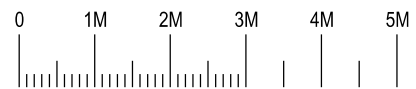
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Job No.	SYB01	Dwg No.	MA176 Rev. B



Unit 1.10/2.10/3.10 Base Plan



Unit 1.10/2.10/3.10 Post Adaption



Nominated Architect: David Dove  
 BArch (Hons), AsaDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) 19913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au



**The Yards**  
**Moss Vale Road, Bomaderry**

Drawing Title  
 Building Site M - SSSA  
 Adaptable Unit Plans - Unit 1.10/2.10/3.10

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	MA177 Rev. E

# Building M Specification

## Thermal Comfort Inclusions

### Glazing Doors / Windows

**Group A** awning + bifold + casement windows + hinged glazed doors

Typical: U-value: 5.40 (equal to or lower than) SHGC: 0.49 (±5%)

Units M1.01, M2.02, M2.03, M2.04, M2.07, M2.08, M2.09: U-value: 3.90 (equal to or lower than) SHGC: 0.32 (±5%)

**Group B** sliding doors/windows + fixed glazing + louvred windows

Typical: U-value: 5.40 (equal to or lower than) SHGC: 0.58 (±5%)

Units M1.01, M2.02, M2.03, M2.04, M2.07, M2.08, M2.09 (Excl. Louvres): U-value: 3.90 (equal to or lower than) SHGC: 0.37 (±5%)

**Skylights** VEL-011-01 U-value 3.97 SHGC 0.27 fixed

### Window Frame Colour

Dark (SA > 0.85)

### Window Restrictors

Window restrictors to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

### Roof and Ceiling

150mm Concrete roof

Metal roof with foil/sarking R1.3

Plasterboard ceiling with R1.5 insulation (insulation only value) where balconies are above

Plasterboard ceiling with R3.0 insulation (insulation only value) to soffit where concrete roof is over, and where metal roof is over

Plasterboard ceiling, no insulation where neighbouring units are above

External Colour : medium default

### Ceiling Penetrations

Sealed LED downlights at a maximum of one every 5m<sup>2</sup>.

### External Walls

Brick veneer, metal stud walls (thermal break R0.2) with R2.5 insulation (insulation only value)

Lightweight cladding, metal stud walls (thermal break R0.2) with R2.5 insulation (insulation only value)

Concrete columns within the external wall envelope R2.5 insulation

External Colour : Default Medium (0.50)

### Inter-tenancy Walls

Double stud walls to neighbours, R1.5 insulation both sides between dwellings

Double stud walls adjacent to hallways, R1.5 insulation (insulation value only)

Minimum 150mm concrete with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs.

### Walls within Dwellings

Plasterboard on studs no insulation

### Floors

Typical: Minimum 150mm Concrete with a minimum R1.2 subfloor insulation (insulation only value) required to units with garage below, and where part open subfloor below

Unit M1.01: Upgrade to R1.5 under slab insulation

Concrete slab on ground, no insulation required

Minimum 150mm Concrete between levels, no insulation required

### Floor Coverings

Carpet to bedrooms and WIR and tiles elsewhere

### Water inclusions

#### Fixtures within units

Showerheads: Mid flow (>6L but d=7.5L/min)

Toilets: 4.0 star

Kitchen taps: 5.0 star

Bathroom vanity taps: 5.0 star

Fixtures within common areas : Taps: 5.0 star

### Central rainwater storage

Tank size: 2,000L

Collecting from 300m<sup>2</sup>

Connected to outdoor tap for irrigation of common area landscaping, 1 car wash bay and private landscaping

### Energy Inclusions

#### Hot water system

Central electric heat pump air sourced with unit efficiency of 3.5 < COP d=4.0 and R0.6 (~25mm) insulation to ring main and supply risers

#### Lift motors

Gearless traction with VVVF motor with lift load capacity of e=1,001kg to d=1,500kg

#### Appliances within units

Induction cooktop & electric oven

Dishwashers: 4.0 star

Clothes dryers: 8.0 star

#### Heating and cooling within units

All units to have individual, single phase, reverse cycle air conditioning to living areas, and at least 1 bedroom

A minimum efficiency of EER 3.5 4.0 is required for cooling; and

A minimum efficiency of EER 3.5 4.0 is required for heating

#### Artificial lighting within units

Minimum of 80% of all light fittings within each room are to have dedicated LED fixtures installed

#### Ventilation within units

Bathroom: individual fan, ducted to roof or façade connected to light, timer off

Laundry: individual fan, ducted to roof or façade manual on / off switch

Kitchen range hood: Individual fan, ducted to roof or façade manual on / off switch

#### Artificial lighting to common areas

Lighting control system : Car park area Light emitting diodes (LEDs) with zoned switching and motion sensors

Lifts Light emitting diodes (LEDs) connected to lift call button

Garbage rooms Light emitting diodes (LEDs) with motion sensor

Plant / service rooms Light emitting diodes (LEDs) with manual on / manual off switch

Ground floor lobbies Light emitting diodes (LEDs) with zoned switching and motion sensors

Hallways Light emitting diodes (LEDs) with zoned switching and motion sensors

Communal areas - Light emitting diodes (LEDs) with manual on/timer off

#### Ventilation to common areas

Garbage rooms Exhaust air only, running continuously

Plant / service rooms Supply and exhaust air, thermostatically controlled

Storage Supply air only, interlocked to light

Ground floor lobbies and hallways Naturally ventilated



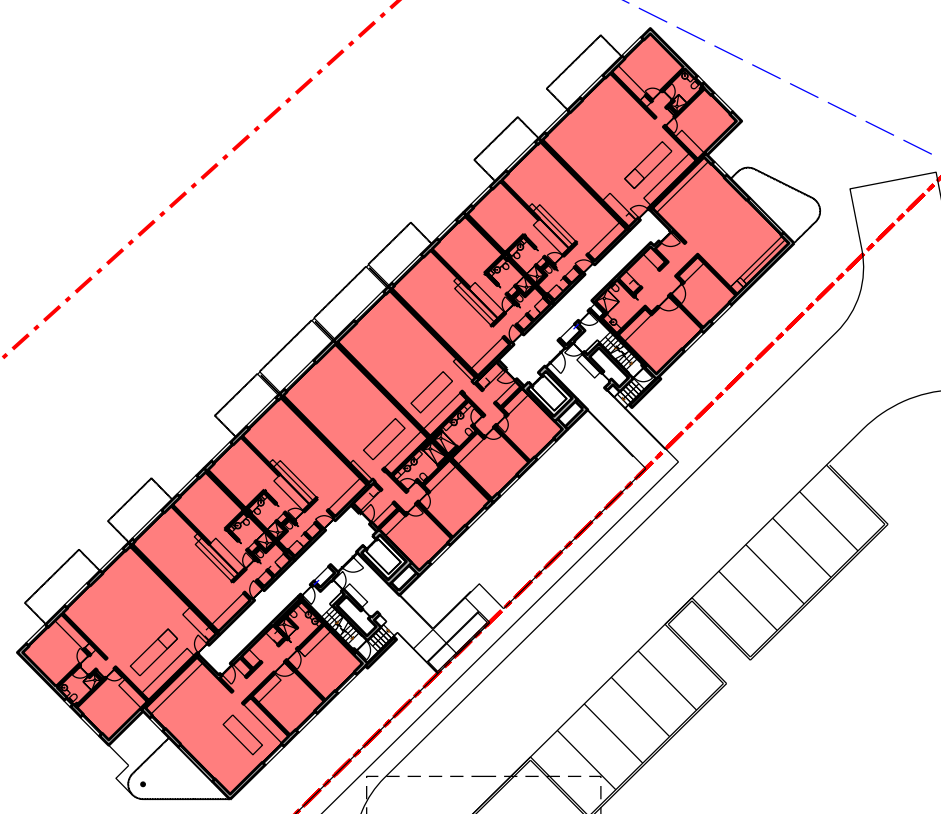
Construction Level 2



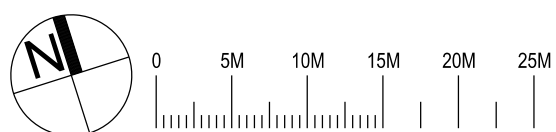
Construction Level 3



Level 0 (Undercroft)



Construction Level 1 (Ground)



Nominated Architect: David Dove  
 Sketch (Home), AssCip(Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 2/114 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 W. www.eg.com.au

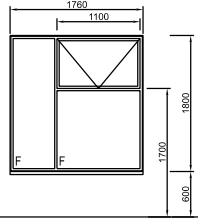
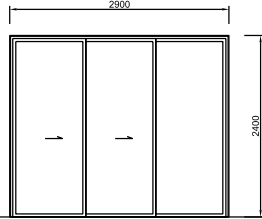
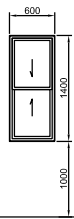
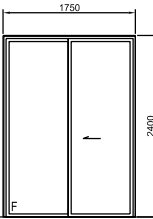
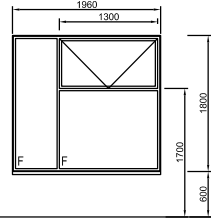


**The Yards**  
 Moss Vale Road, Bomaderry

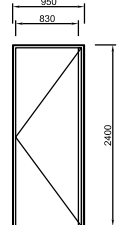
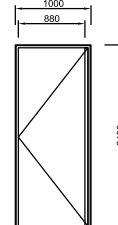
Drawing Title  
 Residential Site M - SSSA  
 Typical Specification

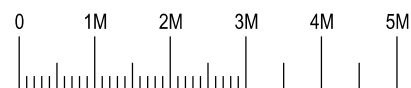
Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	MA180 Rev. B

# Windows

FFL						
Window No	MW01	MW02	MW03	MW04	MW05	MW06
Type	Fixed & Awning	Double Sliding door	Fixed &Awning	Double Hung	Sliding door	Fixed & Awning
Frame	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium	Improved Aluminium
Glazing	Single	Single	Single	Single Frosted	Single	Single
Finish	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat	Black Powdercoat
Locks	Yes	Yes	Yes	Yes	Yes	Yes
Quantity	48	24	6	6	6	6
Shading	-	2M Balcony/Pergola	-	-	2M Balcony/Pergola	-

# Unit Doors

FFL			
Door No	MDE1	MDE2	
Type	Unit Entry Door	Unit Entry Door Adaptable	
Frame	FR Steel Frame	FR Steel Frame	
Glazing	-	-	
Finish	White	White	
Locks	Entry Lockset & Deadbolt	Entry Lockset & Deadbolt	
Quantity	10 RH / 12 LH	10 RH / 12 LH	
Shading	Internal	Internal	
Door	40mm Solid Core Fire	40mm Solid Core Fire	



Nominated Architect: David Dove  
 BAArch (Hons), Asst Dip App Sci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 18913  
 Licensed Building Contractor (NSW) 253780C  
 2/114 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



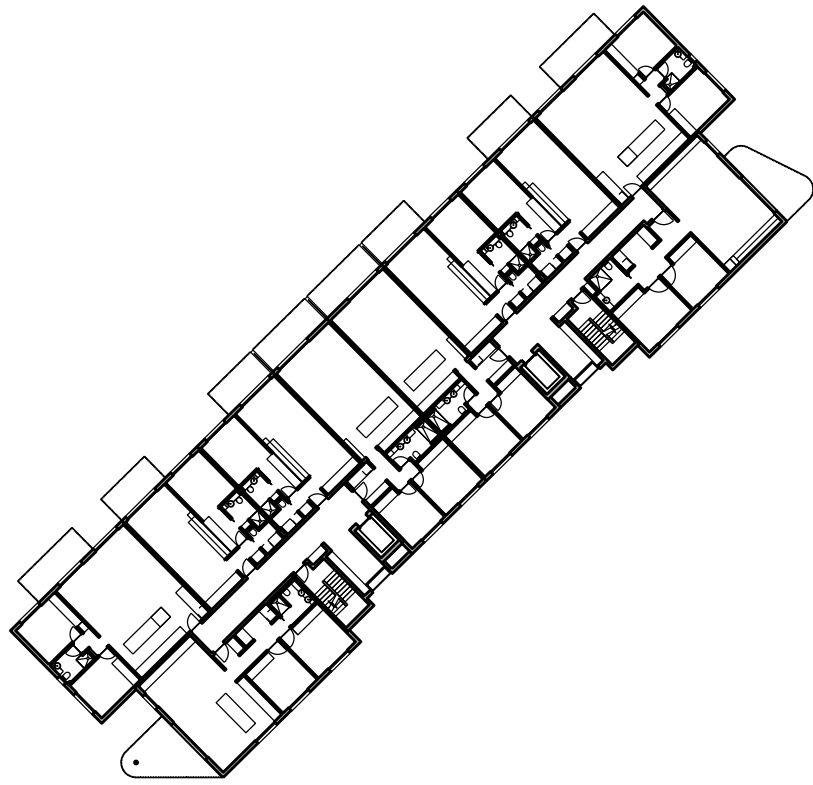
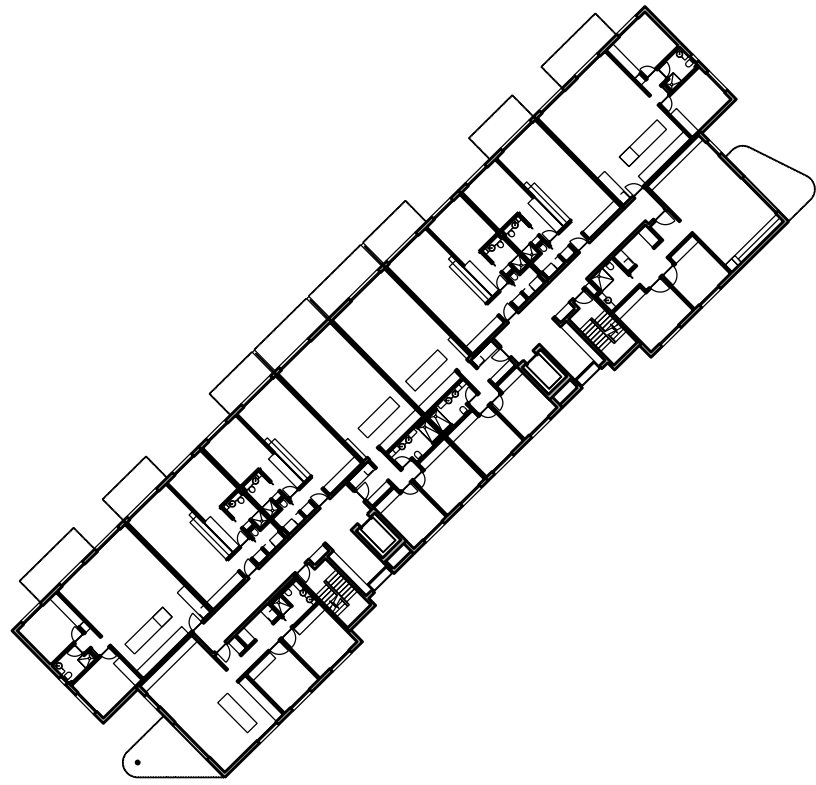
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 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 0230 7100  
 W. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

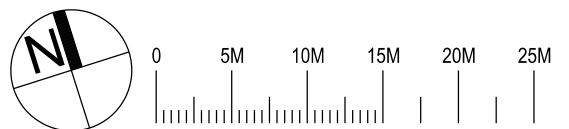
Drawing Title  
 Building Site M - SSSA  
 Apartment Window / Door Schedule

Date	25th July 2025		
Drawn	DJD	Scale	1:100 @ A3
Job No.	SYB01	Dwg No.	MA181 Rev. B



**Residential Site M  
Communal Open Space Calculations**

Site Area	2988m <sup>2</sup>
Communal Space	1907m <sup>2</sup>
Percentage	63%
Compliance	>25%



Nominated Architect: David Dove  
 BArch (Hons), AArch (NSW) No. 8922  
 Registered Architect (NSW) No. 8922  
 Registered Architect (Vic) No. 10913  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com



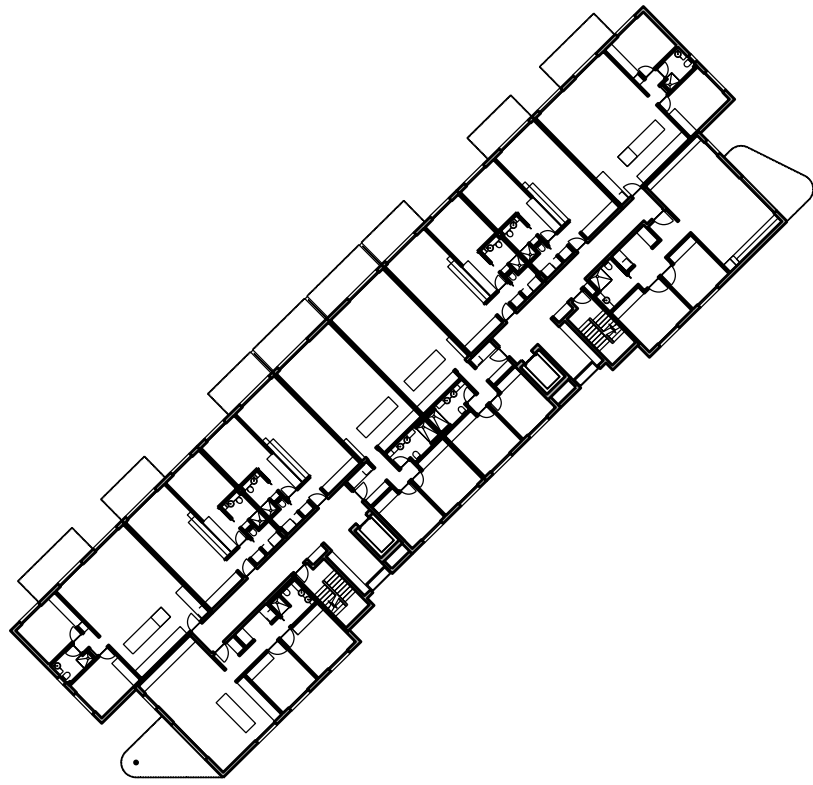
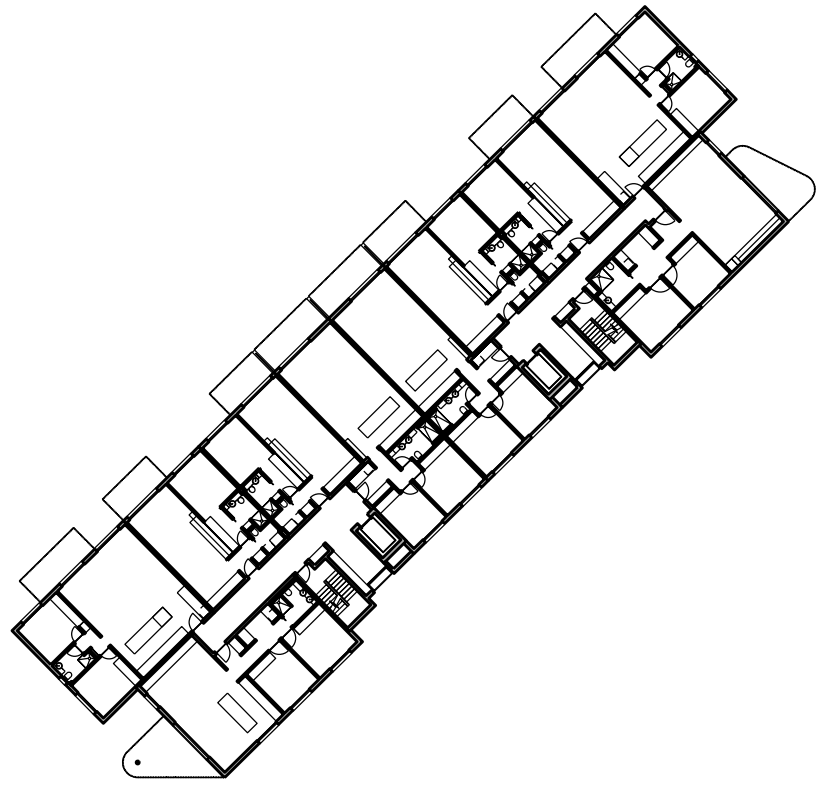
EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au



**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site M - SSSA  
 Communal Open Space Area Calculation

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	MA185 Rev. B



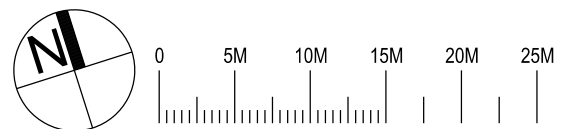
**Residential Site M  
Deep Soil Planting Area Calculations**

Site Area	2988m <sup>2</sup>
Deep Soil Planting	1599m <sup>2</sup>
Percentage	53%
Compliance	>7%



Level 0 (Undercroft)

Construction Level 1 (Ground)



Nominated Architect: David Dove  
 BArch (Hons), AssDipAppSci (Arch), Cert IV (Building)  
 Registered Architect (NSW) No. 8982  
 Registered Architect (Vic) No. 19113  
 Licensed Building Contractor (NSW) 253780C  
 29/104 Elizabeth Bay Road  
 Elizabeth Bay, NSW, 2011  
 M. 0410 025 892  
 E. david.dove@sparcdevelopment.com

EG Funds Management  
 Level 21  
 Governor Philip Tower  
 11 Finner Place  
 Sydney, NSW  
 2000  
 P. (02) 9233 7100  
 F. www.eg.com.au

Southern Cross Housing  
 BUILDING COMMUNITY FUTURES

**The Yards**  
 Moss Vale Road, Bomaderry

Drawing Title  
 Residential Site M - SSDA  
 Deep Soil Planting Area Calculation

Date	25th July 2025		
Drawn	DJD	Scale	1:250@A1 / 1:500@A3
Job No.	SYB01	Dwg No.	MA186 Rev. B