

## **STATEMENT OF HERITAGE IMPACT**

65 Hotham Road Gymea  
369-381 President Avenue, Kirrawee

Issue D - May 2021

Macquarie Health Corporation



---

**65 HOTHAM ROAD, GYMEA**

---

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	Final	30.06.2020	GB
B	Amended Draft for Review	23/04/2021	MH
C	Amended Draft for Review	29/04/2021	MH
D	Issued for Submission	07/05/2021	MH

---

GBA Heritage Pty Ltd  
Level 1, 71 York Street  
Sydney NSW 2000, Australia  
T: (61) 2 9299 8600  
F: (61) 2 9299 8711  
E: [gba@gbaheritage.com](mailto:gba@gbaheritage.com)  
W: [www.gbaheritage.com](http://www.gbaheritage.com)  
ABN: 56 073 802 730  
ACN: 073 802 730

Nominated Architect: Graham Leslie Brooks - NSW Architects Registration 3836

# CONTENTS

<b>1.0</b>	<b>INTRODUCTION</b>	<b>5</b>
1.1	REPORT OVERVIEW	5
1.2	REPORT OBJECTIVES	6
1.3	METHODOLOGY AND STRUCTURE	6
1.4	SITE IDENTIFICATION	6
1.5	HERITAGE MANAGEMENT FRAMEWORK	6
1.6	REPORT LIMITATIONS	6
1.7	AUTHORSHIP	7
1.8	COPYRIGHT	7
<b>2.0</b>	<b>HISTORICAL SUMMARY</b>	<b>8</b>
2.1	BRIEF HISTORY OF THE LOCALITY	8
2.2	EARLY OWNERSHIP OF THE SITE	8
2.3	TILDESLEY OWNERSHIP (1912-1927)	9
2.4	TURNER (1928-1946)	11
2.5	KING & MCINTYRE (1946-1971)	12
2.6	PRESIDENT PRIVATE HOSPITAL DEVELOPMENT	13
2.7	RECENT BACKGROUND	14
<b>3.0</b>	<b>SITE DESCRIPTION</b>	<b>15</b>
3.1	SUBURBAN CONTEXT	15
3.2	DESCRIPTION OF THE BUILDING EXTERIOR	15
3.3	DESCRIPTION OF THE BUILDING INTERIOR	20
3.4	CONDITION AND INTEGRITY	20
<b>4.0</b>	<b>ASSESSMENT OF CULTURAL SIGNIFICANCE</b>	<b>22</b>
4.1	INTRODUCTION	22
4.2	COMPARATIVE ANALYSIS	22
4.3	ANALYSIS OF CULTURAL SIGNIFICANCE	23
4.4	STATEMENT OF SIGNIFICANCE	25
4.5	GRADING OF SIGNIFICANCE	26
4.6	CURTILAGE ANALYSIS	27
4.7	ARCHAEOLOGICAL POTENTIAL	27
<b>5.0</b>	<b>HOSPITAL OPERATIONAL REQUIREMENTS</b>	<b>28</b>
5.1	DESIGN PARAMETERS	28
5.2	CURRENT DEFICIENCIES	28
5.3	OPTIONS EXPLORED	29
5.4	UNSUITABILITY OF HOTHAM HOUSE FOR ADAPTION	29
5.5	RETENTION OPTIONS	30
<b>6.0</b>	<b>DESCRIPTION OF THE PROPOSAL</b>	<b>35</b>

<b>7.0</b>	<b>ASSESSMENT OF HERITAGE IMPACT</b>	<b>38</b>
7.1	INTRODUCTION	38
7.2	OVERVIEW OF THE POTENTIAL HERITAGE IMPACTS	38
7.3	CONSIDERATION OF THE HERITAGE NSW GUIDELINES	38
7.4	HERITAGE OBJECTIVES OF THE SUTHERLAND SHIRE LEP 2015	39
7.5	HERITAGE GUIDELINES OF THE SUTHERLAND SHIRE DCP 2015	39
7.6	RECOMMENDED MITIGATION MEASURES	40
<b>8.0</b>	<b>CONCLUSIONS AND RECOMMENDATIONS</b>	<b>41</b>
8.1	CONCLUSIONS	41
8.2	RECOMMENDATIONS	41
<b>9.0</b>	<b>BIBLIOGRAPHY</b>	<b>42</b>



# 1.0

## INTRODUCTION

### 1.1 REPORT OVERVIEW

This report has been prepared to be included as part of the Environmental Impact Statement (EIS) for State Significant Development (SSD) application number SSD 10320, significant alterations and additions to President Private Hospital, 369-381 President Avenue, Kirrawee, which includes property of 65 Hotham Road, GyMEA.

The report evaluates the proposed demolition of the existing building 'Hotham House' for the redevelopment of President Private Hospital, increasing to 3 storeys in some locations on the site with 4 basement car park levels. This upgrades the hospital's capacity to include 110 surgical and rehabilitation suites, a new mental health division including 72 suites, an outpatient clinic and ancillary facilities, with upgraded access, designed by Imagescape Design Studios.

The Secretary's Environmental Assessment Requirements (SEARs) for this project (SSD-10320) note the following in relation to European heritage:

#### 7. Heritage

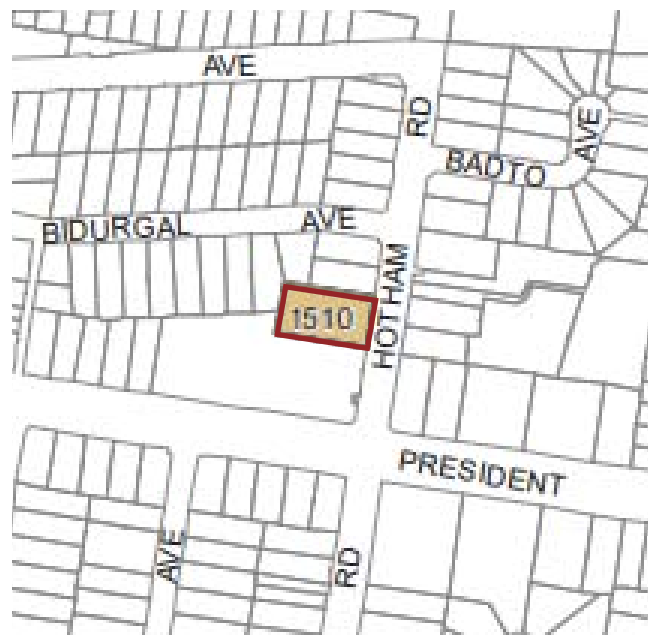
- *Provide a statement of significance and an assessment of the impact on the heritage significance of any heritage items, including draft heritage items, on the site in accordance with the guidelines in the NSW Heritage Manual.*

This report identifies the biggest practical issues regarding potential retention of Hotham house as the dramatic change of level across the site would complicate hospital operations across large floor plates, and the need for a new entry to the Hospital to be created from Hotham Road.

This report concludes that the demolition of Hotham House will cause only a moderate aesthetic impact to the environmental heritage of Sutherland Shire. Mitigation measures should be undertaken as conditions of the development consent, as described in section 7.6. The proposal will have an acceptable impact relative to the high levels of public benefit the upgraded President Private hospital



**Figure 1.1**  
Location map showing 65 Hotham Rd outlined in red, with the President Private Hospital grounds shown dashed.  
Source: Near Maps 07/01/2020



**Figure 1.2**  
Extract from the LEP Heritage Map 6A showing the subject site marked outlined in red.  
Source: Extract of Sutherland Shire Local Environment Plan 2015, Heritage Map 006A.

## 1.2 REPORT OBJECTIVES

The main objective of this Statement of Heritage Impact is to analyse the overall heritage impact of the proposed development in relation to the Environmental Planning Instruments (EPIs) specified in the Director General Requirements (DGRs) and the guidelines endorsed by the NSW Heritage Council.

## 1.3 METHODOLOGY AND STRUCTURE

This Statement of Heritage Impact has been prepared in accordance with guidelines outlined in the *Australia ICOMOS Charter for Places of Cultural Significance, 2013*, known as *The Burra Charter*, and the Heritage NSW (in the NSW Department of Premier and Cabinet) publication, *NSW Heritage Manual*.

*The Burra Charter* provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The terminology used, particularly the words *place*, *cultural significance*, *fabric*, and *conservation*, is as defined in Article 1 of *The Burra Charter*. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW.

## 1.4 SITE IDENTIFICATION

The subject site includes 61 & 65 Hotham Road, Gymea, located on the western side of Hotham Road, 369-381 President Avenue, Kirrawee, on the north-west corner of President Avenue and Hotham Road intersection, and numbers 2 & 4 Bidurgal Avenue, Kirrawee. It is described by NSW Land Registry Services (LRS) as Lot 23, DP 26995, Lot 24A, DP 26995 and Lot 1, DP 841502 and Lots 53 & 54 DP 29493 (respectively).

The subject site contains Heritage listed Hotham House (Number 65 Hotham Road) which currently vacant as its previous use as rehabilitation clinic connected to President Private Hospital was found to be unsuitable.

## 1.5 HERITAGE MANAGEMENT FRAMEWORK

The subject site at 65 Hotham Road, Gymea, is listed as a heritage item in Schedule 5 of the *Sutherland Shire Local Environmental Plan (LEP) 2015*, as an item of local heritage significance.

It is not located within a Conservation Area, nor is it in the vicinity of other listed heritage items in the wider locality; they are separated from the subject site by significant distance and have no direct visual connection to the site.

As such, the property is subject to the heritage provisions of the *Sutherland Shire LEP 2015* and the *Sutherland Shire Development Control Plan (DCP) 2015* under the *Environmental Planning and Assessment Act 1979*. Sutherland Shire Council must take into consideration the potential impact of any proposed development on the heritage significance of the heritage items.

The SEARs for this application require that all relevant statutory provisions, policies and guidelines be addressed. Pertaining to heritage, this includes *Sutherland Shire LEP 2015*, *Sutherland Shire DCP 2015*.

Whilst the subject site is listed as an item within Schedule 5, of *Sutherland Shire Local Environmental Plan (LEP) 2015*, the site is **not** listed on the NSW State Heritage Register (SHR), nor is it in the vicinity of any SHR items.

## 1.6 REPORT LIMITATIONS

While this report is limited to the analysis of European cultural heritage values, GBA Heritage recognises that for over forty thousand years or more Aboriginal people occupied the land that was later to be claimed as a European settlement.

Recommendations have been made on the basis of documentary evidence viewed and inspection of the existing fabric.

Archaeological assessment of the subject site is outside the scope of this report.

This report only addresses the relevant heritage planning provisions and does not address general planning or environmental management considerations.

## **1.7 AUTHORSHIP**

This report has been prepared by Mariah Hart, Heritage Consultant, of GBA Heritage and has been reviewed by the Director, Graham Brooks. Unless otherwise noted, all of the photographs and drawings in this report are by GBA Heritage.

## **1.8 COPYRIGHT**

Copyright of this report remains with GBA Heritage.



# 2.0

## HISTORICAL SUMMARY

This history should be read in conjunction with the Heritage Assessment completed by Architectural Projects Pty Ltd, March 2019.

### 2.1 BRIEF HISTORY OF THE LOCALITY

Sutherland Shire was home to the Dharawal speaking people, for thousands of years, comprised of a number of smaller clans. Freshwater creeks flowing from the high ground to the Georges River to the north and Port Hacking to the south, the area was well-wooded and provided ample food supply, sustaining a rich indigenous culture. The disruption of the Dharawal peoples began in 1770 when the Endeavour landed at Kurnell.

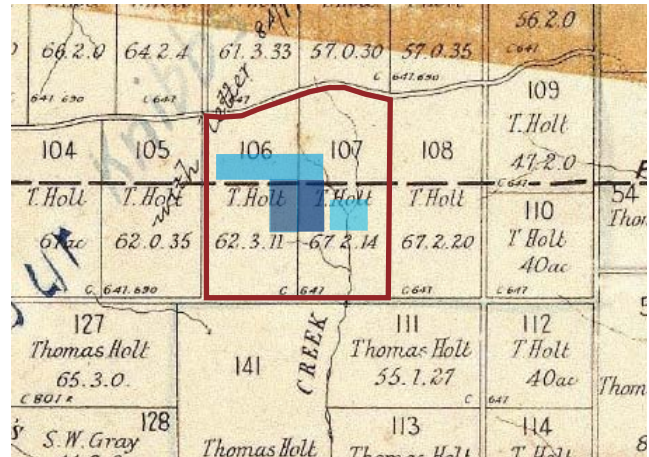
The subject site is located at the border of Gymea and Kirrawee. Gymea was named in 1855 after the Aboriginal name for the tall-stalked lilies (*Doryanthes excelsa*) growing in the area. The Railway line from Hurstville to Sutherland opened in 1885; however, regular trains did not run until 1886. Kirrawee was initially known as Bladesville and was part of Sutherland, named after early residents; however, it changed to Kirrawee in 1931 with the Railway Station's opening.<sup>1</sup> Gymea railway station did not open until 1939.

In 1906, Sutherland Shire was declared, with a population of approximately 1,500 consisting of commercial fisherman, fruit, vegetable, and poultry farmers.<sup>2</sup>

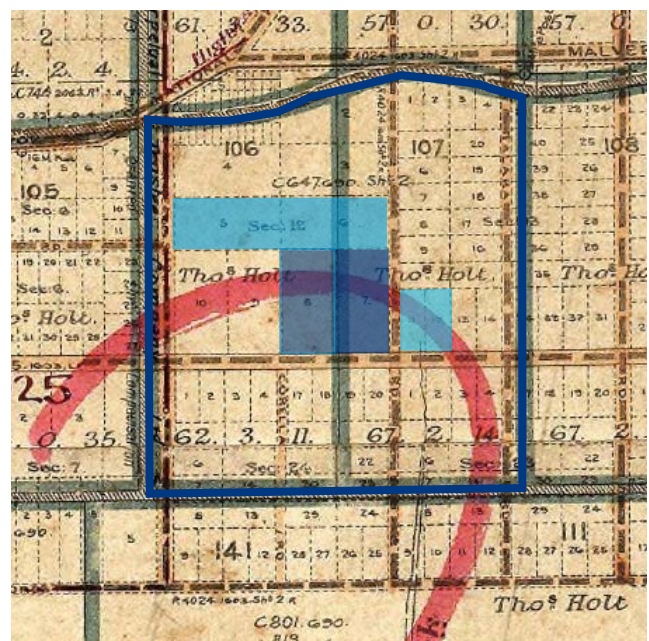
Substantial development of the area did commence until after WW2.

### 2.2 EARLY OWNERSHIP OF THE SITE

The subject site was initially located within Thomas Holt 1862 crown grants portions 106 & 107, see figure 2.1. Thomas Holt was a wool merchant, real estate speculator, financier, magistrate and politician, who in the early 1860s secured large portions of land between the Georges and the Hacking Rivers. He attempted



**Figure 2.1**  
Outline in red of Lots 106 & 107, 1862, Crown grants to Thomas Holt, which were subdivided as part of the Holt-Sutherland estate. Shaded blue sections indicate approximate location of the Tyldesley Land.  
Source: HLRV, Historical Parish Maps, 1880, Parish of Sutherland



**Figure 2.2**  
Dark Blue outline indicates portions 106 & 107 of Crown Lands Granted to Thomas Holt, 1862.  
Dark Blue shading = Lot 7 Section 12 of DP 801, the first acquired by Isabella Tildesley (leased in 1912, purchased 1915)  
Medium Blue = Subsequent land acquired by the Tildesleys (1915).  
Light Blue = Additional land purchased (1920).  
Source: HLRV, Historical Parish Maps, Edition year: 1913, Sheet 2, Edition 4, Parish of Sutherland

<sup>1</sup> Lawrence, Joan, *A Pictorial History of Sutherland Shire*, 1997, Kingsclear Books, Crows Nest, pg.2-3  
<sup>2</sup> Ibid, pg.84

to raise sheep and then cattle on the land, both attempts failing tragically due to dingoes, snakes, and land being unsuitably wet for sheep. However, profit was made from timber ventures with high yields. His accumulated holdings surmounting to approximately 12,000 acres and two waterways which was known as the Holt-Sutherland Estate.<sup>3</sup>

The 1882 second subdivision of the Holt-Sutherland estate, shown in figure 2.3, describes the estate as 5-acre suburban blocks. Interestingly, on the 1882 advertisement for Holt-Sutherland Estate, the subject Lot 7, is shown as already sold, however, the 1915, Vol.2597 Fol.159 for Lot 7, purchase indicates that this was the first free-hold purchase of the subject land.

## 2.3 TILDESLEY OWNERSHIP (1912-1927)

The Tildesley's initially leased the 5-acre Lot 7, Section 12 of Holt-Sutherland estate in 1912, (all Land was aquired in Isabella Tildesley name) the land was cleared and Hotham House, then known as Ron-Al-Bert was constructed Circa 1912. The Billiard room was added to the southern side of the house around 1915, at which time Lot 8, was also acquired. Followed shortly there after further leases occurred including 2 acre, 3 rods and 12.5 perches each for Lots 11 and Lot 12, Sec. 12 DP 1660. By 1915, Isabella also owned land in Hurstville, Manly, Heathcote, Katoomba, Gunnamatta, Cronulla & Wallsend. Around 1920 Lots 5 & 6 Section 12 (10-acres) were acquired. It is revealed within the 1927 court case, that Albert used Isabella's accounts and his own to misappropriated funds from the Starr-Bowkett Society, and these funds were used to purchase the Land.

Mick Derrey's account of Hotham Poultry Farm<sup>4</sup> includes a description of land clearing and details of the house, dam and shed construction, as well as glimpses of the Tildesley family, written in retrospect as viewed from a young boy excluded from any association with the high society Tildesleys. Mick Derreys account also where reference to the "Ballroom" and Ballots for Starr-Bowkett society is identified within Architectural Projects Pty Ltd. (AP) Heritage Assessment and the referenced Pauline Curbys submission<sup>5</sup>. GBA research of primary sources has identified the southern addition as a "Billiard room" during Tildesley time, as described by Tildesley during his court case.<sup>6</sup> It is only later refer to as a Ballroom in the advertisement for the Farm's sale, referring to it as "ballroom or billiard room"<sup>7</sup>.

3 Ibid., pg 19

4 Derrey, Mick, *J.H. Tildesley's Hotham Poultry Farm*, Sutherland Shire Historical Society Quarterly Bulletin, issue 50, 1984, november, p 60

5 Curby, Pauline, Submission to Council on behalf Sutherland Shire Historical Society regarding DA 18/0788; 63-65 Hotham Road, 7 August 2018

6 THE STARR-BOWKETT SENSATION (1927, August 14). Truth (Sydney, NSW : 1894 - 1954), p. 14. Retrieved April 1, 2021, from <http://nla.gov.au/nla.news-article168685212>

7 The Daily Telegraph, *Real Estate Auctions*, 16th June 1928, nla.news-

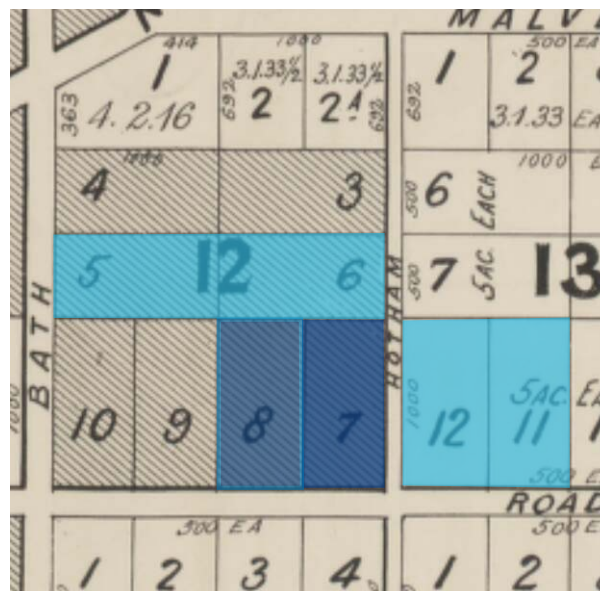
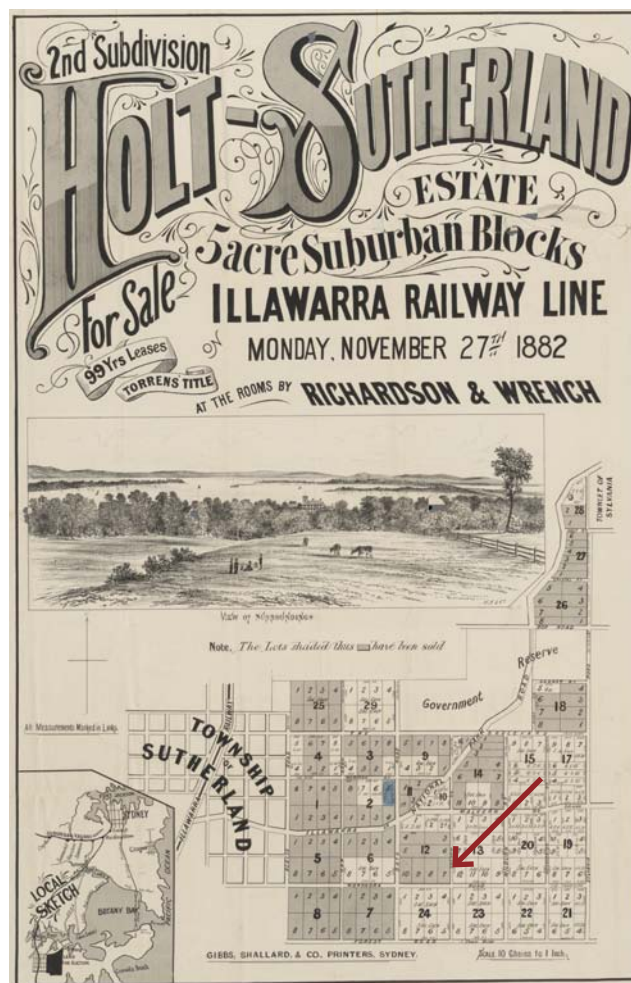


Figure 2.3 & 2.4 (zoomed in extract)

1882 advertisement for the 5 acre Suburban blocks, the subject Lots here appear to have already been leased (shown shaded). Zoomed in extract, shows lots owned by the Tildesleys, as shading as per description of figure 2.2.

Source: Richardson & Wrench & Gibbs, Shallard & Co. (1882). 2nd subdivision Holt-Sutherland estate, 5 acre suburban blocks, Illawarra railway line Retrieved March 30, 2021, from <http://nla.gov.au/nla.obj-230502741>



However, a surprise party was held at the home for Miss Corrie Starr, Mrs Tildesley Sister,<sup>8</sup> and probably other family celebrations.

Mr Tildesley was the secretary for The Starr-Bowkett Building Society, Balmain and Rozelle branch, from at least 1905. The Starr-Bowkett society ran by selling shares with a monthly subscription fee (paid relative to the number of shares held) after which shareholders would go into a draw, with the chance to win an interest-free loan for a period of four years. The society was described as a benevolent society; however, its benefit to its members was questioned as early as 1902.<sup>9</sup> Evidence has been found to indicate that the Ballots for the Balmain and Rozelle Starr-Bowkett Society were held at St Paul's Hall, Rozelle, in newspaper articles dating from 1908<sup>10</sup> and February 1925<sup>11</sup> (prior to the fire). Questioning the AP Heritage Assessment that indicates these ballots were held in the "Ballroom" (secondary sources referenced). Additionally it would have been hard for the society's poor shareholders to travel from the Rozelle-Balmain area to as far a Gympie for the monthly ballot draws.

The 1925 article "A Mammoth Poultry Farm"<sup>12</sup> referred to within Architectural Projects Pty Ltd, Heritage Assessment review, is quoted as evidence to the previous Farms' scale, innovation and success. Albert Tildesley's description of the farms' success, "money invested from the commencement has been returned with good interest" is very clearly proven false by his sentencing the very next year due to misappropriation of funds; much of which was shown to have been spent on the Farm. Although it does appear that Hotham Poultry Farm was one of the largest in the Sutherland Area at the time, this appears to be largely due to Mr Tildesley's criminal activities and does not represent the success of Poultry Farming in the area during Tildesleys ownership.

Note figure 2.6 an advertisement for Hotham Farm in 1923, which claims it is larger than all others for Poultry Farms, prompts "send for publication descriptive of farm", explaining the comprehensive and repetitive nature of later articles describing the Farm; even by those who never visited.<sup>13</sup> Note that the ad below Hotham is referring to itself as a "Mammoth Poultry Farm" also.

article246778710.3\_p24

- 8 Surprise Party, St George Call (Kogarah, NSW : 1904 - 1957), Friday 30 March 1923, page 8, nla.news-article163240559.3
- 9 The advance Australia. Vol 06, No 10 (15th Oct 1902) Page 19 <http://nla.gov.au/nla.obj-804196452>
- 10 STARR-BOWKETT SOCIETIES. 1908, October 25. Sunday Times, p. 2. <http://nla.gov.au/nla.news-article126738774>
- 11 STARR-BOWKETT 1925, February 7. The Daily Telegraph, p. 13. <http://nla.gov.au/nla.news-article245274922>
- 12 A mammoth poultry farm, Group Settlement Chronicle and Margaret-Augusta Mail (Busselton, WA : 1923 - 1930), Tuesday 26 January
- 13 Mammoth Poultry Farm Margaret Augusta Mail, 26th January 1926, p2, nla.news-article232729630.3\_

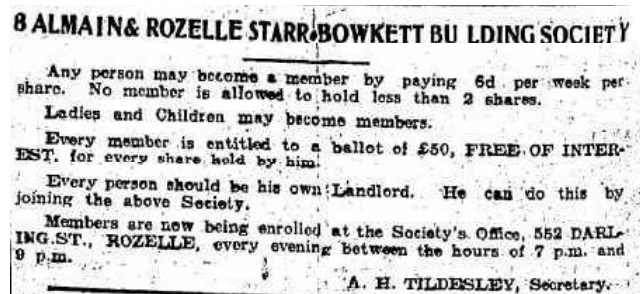


Figure 2.5

Starr-Bowkett advertisement, by A.H Tildesley, 1905

Source: BALMAIN & ROZELLE STARR-BOWKETT BUILDING SOCIETY (1905, December 23). Balmain Observer and Western Suburbs Advertiser (NSW : 1884 - 1907), p. 6. Retrieved April 6, 2021, from <http://nla.gov.au/nla.news-article132450290>

**A FACT.**

**HOTHAM POULTRY FARM, SUTHERLAND.**  
Is one of the Largest and best  
Equipped Farms in New South Wales.

**BOOKING ORDERS NOW for**  
Day-old Chicks for delivery up to October next.  
**WHITE LEGHORNS:** Under 50, 1/3 each; 50  
and over, 1/ each.  
**BLACK ORPINGTONS:** 1/6 each.  
All Chicks Guaranteed Hatched  
from eggs produced on farm.

**EGGS:—WHITE LEGHORNS:** 50/ per 120.  
**BLACK ORPINGTONS:** 55/ per 120. No  
replacements. **SETTINGS** from 7/6. Special  
Settings, 11/1/ each.

**WE HAVE A STOCK OF 5000:**  
3000 Birds Mated for Breeding.  
**WHITE LEGHORN or BLACK ORPINGTON**  
**COCKERELS** from 11/11/6 each. **PUL-**  
**LETS** from 11/11/6 each; **COCKS**, 11/1  
each; **HENS**, 15/ each.

**"NOT FOR A DAY, BUT FOR ALL TIME,"**  
is HOTHAM'S Slogan.  
**LET HOTHAM HELP YOU.**  
An inspection of our flock is a show in itself.  
Farm open for inspection any day but Sunday.  
Send for publication descriptive of farm.

**HOTHAM POULTRY FARM,**  
President Avenue,  
Telephone, Kog. 628. **SUTHERLAND.**

**Absolutely the best.**  
**ELLIS' DAY-OLD CHICKS.**

**OUR 20,000-EGG HATCHING PLANT** is in  
full commission, and despatches of day-old  
chickens are made each Tuesday.  
The season will close definitely on October 9.  
**WHITE LEGHORN CHICKS**, dozen or 1000,  
1/ each; **BLACK ORPINGTON**, 1/6. Orders  
booked and delivered in rotation.  
**STUD EGGS.**—Incubator Lots: **WHITE LEG-**  
**HORNS**, 25/ for 60, 50/ for 120 Eggs. **BLACK**  
**ORPINGTONS**, 30/ for 60, 60/ for 120 Eggs.  
Liberal Fertility Guarantee.  
Send for our Unique Illustrated Catalogue  
and Price List.

**SAMUEL ELLIS,**  
**MAMMOTH POULTRY FARM,**  
**BAY STREET, BOTANY.**  
Phone, Mascot 140.

Figure 2.6

Expansive advertisement for Hotham farm (much larger than others for poultry), note "send for publication descriptive of farm", also note add below for "Samuel Ellis Mammoth Poultry Farm".

Source: Advertising 1923, August 18. The Daily Telegraph, p. 4. nla.news-article246071149.3



**Figure 2.7**

Circa. 1930, Image of Hotham Farm. Note original corrugated iron roof. The House, garden path and approximate driveway location are all that remain.

Source: *The Leader*, 18.09.2018, <https://www.theleader.com.au/story/5577743/should-this-house-be-demolished/>.

Circa 1930 image of the farm during Fredrick Thomas Turner ownership, provided by Larry Humphrey, r352\_84\_2696\_1072\_w1200\_h678\_fmax

Regarding Mr Tildesley innovation within the Poultry industry, stated within Architectural Projects Pty Ltd, Heritage Assessment review, no reference to this is given outside of his position as president of the NSW Poultry Farmers association. A.H Tildesley was president of NSW Poultry Farmers Association from its formation in November 1925 (after the fire that led to his downfall). Mr Tildesley set up the Association as a co-operative society, establishing shareholders, with a minimum buy in of £50<sup>14</sup>. By January 1927, Mr Tildesley was requested to “resign immediately” from his position as secretary and treasurer; an explanation for this reaction is not provided, though indicates accusations towards Tildesley in regards to “mistakes” and “talks of a compulsory pool”.<sup>15</sup>

Articles from September and August 1927 discusses the forgery case that resulted in Albert Tildesley being sentenced to 3 years of hard labour, leaving his family Bankrupt and the House and Farm sold. A government official was due to examine the Books on the 8th of June 1925, at which point Tildesley took the books home with him, and a fire broke out, started by a ‘kerosene heater on in his office’, and that the society’s papers ‘were destroyed’. The fire also “extended to other rooms, including the **billiard room**”<sup>16</sup> Some remittances were found proving Tildesley forging loans under names of unknowing residents in his

handwriting.<sup>17</sup> These articles describe a huge sum of £39,000 misappropriated by Ex-Secretary of Balmain and Rozelle Starr-Bowkett Society, Tildesley; and as being used to acquire the poultry farm<sup>18</sup>, with more funds being appropriated as the Farm grew in size.

The Farm was transferred to William Palmer, as an official assignee in April 1928, this transfer appears to be linked to the Co-operative Starr-Bowkett Limited, presumably as part of fund recuperations.

## 2.4 TURNER (1928-1946)

Mr Fredrick Thomas Turner made an offer on the property in 1928; the offer was all but accepted in October, and Turner was allowed to relocate to the property paying weekly tenant fee’s until the purchase could be finalised. The transfer papers are not dated but was finalised by May of 1929.<sup>19</sup> A newspaper article states the purchase price of £4,500, the highest at the time for an unstocked farm. By this time, the Farm had been reduced to 10 acres (not an uncommon poultry farm size), being Lots 7 & 8, Section 12 of DP 801.

Turner was the 1930 Poultry Farmers Union president for Miranda, and by 1931 Turner also become the Poultry Farmers Union President for Merrylands; the article referenced by Architectural Projects Pty Ltd<sup>20</sup>

14 POULTRY FARMERS. 1926, June 4. *The Propeller*, p. 8. <http://nla.gov.au/nla.news-article236996776>

15 POULTRY NOTES 1927, January 22. *The Labor Daily*, p. 9. <http://nla.gov.au/nla.news-article239928087>

16 THE STARR-BOWKETT SENSATION (1927, August 14). *Truth* (Sydney, NSW : 1894 - 1954), p. 14. Retrieved April 1, 2021, from <http://nla.gov.au/nla.news-article168685212>

17 *Truth*, Sunday 25 September 1927, Pg24, <http://nla.gov.au/nla.news-article168686302>

18 *Ibid*

19 Vol 3075 Fol 119, Vol 4296 Fol 59

20 *New President*, 1931, November 28. *The Farmer and Settler*, Sydney, NSW, p. 8. [nla.news-article117355654.3](http://nla.gov.au/nla.news-article117355654.3)



does not indicate president for NSW as suggested. Turner does comment in some articles in *Farmer and Settler*, discussing falsities in chicken farming and how to make general improvements in the health and success of one's Farm.<sup>21</sup>

No reference is given to evidence Architectural Projects Pty Ltd, Heritage Assessment assertion that the "Ballroom" was used to hold Church parish dances and balls.

In 1931 advertisement for the Farm only indicate Chickens, though by 1935, Turner had introduced Ducks to Hotham Farm; this list of Ducks breeds in the advertisements does not include the White Campbell breed until 1939.

Architectural Projects Pty Ltd, Heritage Assessment, provides an article written in 1947, indicating that T.F. Turner as being the origin of the White Campbell Duck breed.<sup>22</sup> However, this claim is undermined by an article that pre-dates F.T. Turners association with White Campbells and originates the breed's development to Captain F.S. Pardoe of Melbourne in 1928.<sup>23</sup>

April 1938, a small portion of the rear of the properties were transferred to the Railways for the new railway line extension.

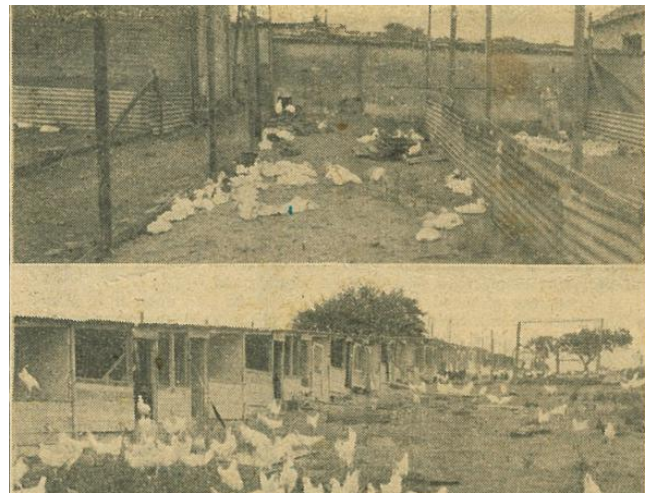
In 1941, a substantial sell-off of stock occurred at Hotham farm, indicating that it was due to the ill-health of F.T. Turner dubbed "well-known duck breeder", the sale included 1440 Ducks and 450 Chickens, as well as a vast array of farming equipment.<sup>24</sup>

## 2.5 KING & MCINTYRE (1946-1971)

Joseph Horace King, a "refrigeration engineer", and Annie Elizabeth McIntyre (Widow), purchased Hotham Farm as joint tenants in 1946<sup>25</sup>. Joseph and his wife Chinita residing at the property.

1947 article describes Kings previous ventures from Tobacco, to Goldmining in New Guinea, to escaping the Japanese and trekking across New Guinea to safety. He explains that little knowledge exists for the unique requirements of raising ducks and then describes some of the techniques he has employed regarding the successful raising of the ducks.<sup>26</sup>

In 1955 an easement for drainage was introduced, controlling the flow of the previously dammed creek across the southern side of the lots.



**Figure 2.8**  
Image of Hotham farm 1947, of "Weaning pens", Top White Campbell Ducks, bottom White Leghorn and Australorp Chickens.  
Source: *Duck farming for profit*, Poultry Vol.30- No.50, 13th December 1947



**Figure 2.9**  
1930 aerial of Hotham farm, approximate area of the farm outlined in red (Lots 7 & 8, Section 12, DP 801).  
Source: Sutherland Shire Council, 1930 Aerial, <https://maps.ssc.nsw.gov.au/ShireMaps/>



**Figure 2.10**  
1943 aerial of Hotham farm, approximate area of the farm outlined in red, dashed line indicating approx area reclaimed for Railway line (Lots 7 & 8, Section 12, DP 801).  
Source: SixMaps 1943, <https://maps.six.nsw.gov.au/>

21 Autumn Chicks, *The Farmer and Settler*, 5th March 1932, p11  
[nla.news-article117359525.4](https://nla.news-article117359525.4)

22 1947 05 09 Profitable White Campbell Ducks 1947, May 9. *The Farmer and Settler* Sydney, NSW, p. 16. [nla.news-article117340854.4](https://nla.news-article117340854.4)

23 WHITE CAMPBELL DUCKS 1936, November 28. *The Australasian* Melbourne, Vic, p. 42. [nla.news-article141782297.4](https://nla.news-article141782297.4)

24 1941 02 28, Advertising 1941, February 28. *The Land*, p. 13. [nla.news-article104233603.4](https://nla.news-article104233603.4)

25 Vol 4949 Fol 245

26 *Poultry*, Vol 30 No 50, December 13, 1947, p1



Within a period of 5 years after WW2, the population of the Shire doubled, it was around this time that most of the Shire was rezoned, from rural to residential, that led to the closing of many farms in the area.

In 1956 the land passed to solely Joseph Horace King, after Annie McIntyre's passing.<sup>27</sup> By the end of the same year, much of the farmland had been subdivided (DP 26995) and lots were being sold. The Aerial from 1965 shows the fast suburban development of the land on which the Farm had stood; the remaining house, garden and tennis court appear to no longer contain any evidence of Poultry farming.

Architectural Projects Pty Ltd, Heritage Assessment, describes Kings further development process:

*In 1966, King applied to Council to erect a service station on the corner of President Avenue and Hotham Road. The application was refused.*

*In 1969, King approached Council with another scheme, this time for a Convalescent Hospital on Lots 24 and 24A DP 26995. Council gave approval in principle to this scheme... Also in 1969, Council issued King with an order to demolish the dilapidated brick and iron shed located south west of Hotham House.*

## 2.6 PRESIDENT PRIVATE HOSPITAL DEVELOPMENT

In 1971, Lots 24-26 of DP 26999 were purchased from Joseph King, by John Tracy Hardiman agent for President Private Hospital, and the application was sort for its initial construction.

A year later, in 1972 Joseph King passed away, leaving the remaining remnants of the property to his Widow Chinita King, John Harvey, and Willian Reginald King as joint tenants. President Pty, purchased much of these remaining blocks, with Lot 24A containing Hotham House, remaining in Chinita Kings' ownership.

Construction started for the Hospital in 1973; with multiple extensions being added shortly thereafter in 1977, 1978, 1979, and 1981.

Sutherland Shire Council first recognised the subject house in an inventory sheet prepared by Perumal Murphy Wu, Heritage Consultants, in 1992. The statement of heritage significance for the house contained in the 1992 inventory sheet concluded:

*A good example of a large, individually designed, Inter-War brick house. Essentially unaltered. Local Significance.*

The LEP heritage schedule developed by Council arising from the 1992 Heritage Study did not include the house or its garden.



**Figure 2.11**

1956 aerial of Hotham farm, note sheds to the northern side of the property have already been demolished, ready for development.

Source: Historical Imagery Viewer, 02/07/1956 - 240\_31\_071



**Figure 2.12**

1965 aerial of Hotham farm itself no longer exists, with only the house and land remaining. Red outline showing previous extent of Hotham Farm.

Source: Historical Imagery Viewer, 15/11/1965 - 1416\_03\_091



**Figure 2.13**

1978 aerial of red outline showing previous extent of Hotham Farm. Note reduced yard around Hotham house, and newly built Hospital.

Source: Historical Imagery Viewer, 14/05/1978 - 2714\_24\_134.jp2

Macquarie Health purchased Hotham House in 1994, with the first application for its re-use as Physiotherapy and sport medicine being refused (1995). Subsequently approval for a Sport medicine clinic was obtained in 1996; later applications approved the carpark at the rear of the House; Architectural Projects Pty Ltd, Heritage Assessment, includes plans of these developments.

In 2009, approval for demolition of Hotham House was granted by Sutherland Shire Council, via Complying Development Certificate.

Hotham house was again raised for possible Heritage listing in 2013, Architectural Projects Pty Ltd, Heritage Assessment, describes these events:

*The first version of the current plan, Sutherland Shire Local Environmental Plan 2015 was exhibited in March-April 2013. It did not contain any reference to 65 Hotham Road, Gymea. A submission was received requesting the heritage listing of the property. Officers did not support the inclusion of the building because it was not supported by sufficient information regarding the significance of the item. However, Council resolved to include the building within the draft plan.*

*Version 2 of the LEP included 65 Hotham Road Gymea as a draft heritage item, and was exhibited in August 2013. An Independent Review completed in August 2014 did not support the inclusion of 65 Hotham Road, Gymea as a heritage item, stating (in part): "It is not sufficient grounds for listing... that the owner of the property, or a member of the public, has requested it.... The properties at ... 65 Hotham Road, Kirrawee should not be listed as heritage items, unless an expert report nominates the criteria that would justify the listing." The plan was gazetted without 65 Hotham Road on 23 June 2015.*

## 2.7 RECENT BACKGROUND

In 2018 - 2019 public interest was stirred when Macquarie Health Corporation announced plans for the comprehensive redevelopment of their aging facility on the corner of Hotham and President Avenue (DA 18/0788). Council placed an Interim Heritage Order over the property and commissioned Architectural Projects Pty Ltd, Heritage Consultants to prepare a Heritage Assessment of the property. Architectural Projects Pty Ltd reported to Council on 19 March 2019. They recommended that the property be heritage listed.

Macquarie Health Corporation subsequently commissioned GBA Heritage to undertake a detailed, independent Peer Review of the Architectural Projects Pty Ltd Heritage Assessment. The aim of the Peer Review was to ensure that Council had as comprehensive an understanding of the place as possible before it came to any conclusions. The GBA Peer Review found a number of weaknesses in the Heritage Assessment.

This Peer Review has concluded that the Heritage Assessment has NOT identified any of the required "special", "strong" or "important" attributes that would otherwise justify the inclusion of this house on the LEP. The critical flaw in the logic of this Heritage Assessment is that there is no remaining tangible evidence of the former poultry farm, which is identified as the main reason why this house might otherwise be significant.

Nevertheless, Council proceeded to enter the "Hotham House - house and garden" at 65 Hotham Road, Gymea on Schedule 5 of Sutherland Shire LEP 2015, item No. 1510.



# 3.0

## SITE DESCRIPTION

### 3.1 SUBURBAN CONTEXT

Hotham House is located west of GyMEA railway stations and the neighbouring shopping precinct. The House is located on a slight rise, on the western side of Hotham Road, off President Ave being a main arterial road running east to west from Old Princess Highway, and joining the Kingsway to Cronulla. Prior to President Private Hospital's construction in 1973, the House could be viewed from President Avenue.

The House, built in the federation bungalow style in Circa 1913, originally built on a 5-acre block, described as a "suburban block" additional blocks were accumulated to form Hotham Poultry Farm. In the Boom period after world war two, the Farm like much of the surrounding district was subdivided to form the Suburban neighbourhood that now predominates GyMEA.

The majority of the surrounding dwelling date from the late 1950s early 1960s; however, there has been some recent higher density residential redevelopment closer to President Avenue.

### 3.2 DESCRIPTION OF THE BUILDING EXTERIOR

The subject site on which Hotham House now stands has an area of 1625sqm, only 8% of the original 5 acre holding, or 2% of the 20 acres that the Farm included at its prime. Hotham House now forms part of the larger President Private Hospital site.

The single storey house sits 16m back from Hotham Road, the circular path and lawn leading to the House, and the driveway to the houses northern side, being the only historical context that remain.

The original House would have presented as a typical symmetrical 4 room configuration, with wrap around verandah and centralised entry feature; the large southern room's addition unbalancing the configuration.



**Figure 3.1**  
View looking towards Hotham house from President Avenue at the Hotham Road intersection.



**Figure 3.2**  
The current driveway into the hospital from Hotham Road has cut through the former platform of the tennis court. The existing hospital buildings and operational facilities completely dominate the close quarters setting of the house from every aspect except the immediate front garden.



**Figure 3.3**  
View from the Southern side of Hotham house, looking along the pedestrian pathway, showing large setback to Hotham House.

The original House features tuck-point face-brick with polychromatic brickwork features to the window and door segmental arches and sills, sitting on a common-brick course base. The southern addition does not feature polychromatic brick detailing. Only one brick chimney remains externally, of the three visible from early records. The central sweeping entry stairs appear cast in situ with rendered brickwork stringers.

The roof is a medium pitched hip, with bell-cast verandah and exposed eaves. A gablet feature highlights the entry and a large gable to the southern addition dominates, with battened, shingle and ventilator features. The original corrugated iron roof was replaced several decades ago with a profiled metal sheeting to replicate tiles, marketed as “Decromatic”.

The verandah features half-height brick piers with double timber posts with simple art nouveau timber detailing. Centred within with balustrades is an infill rough-cast panel to half-height, later topped with slatted timber handrails. This rough-cast panel is continued below the windows on the southern addition.

The front door is features sidelights and transom windows over, with fine leadlight. The street-facing windows also feature matching leadlighting in 3 vertically proportioned casement with transom window configuration. This window configuration is continued to the southern addition; however, the leadlighting changes to a simple geometric form. The windows to the northern and rear elevation are mixed configurations and do not feature and lead-lighting.

The rear lean-to appears to comprise of a number of additions, all of utilitarian character; these additions all occurred pre-1925. The lean-to is adjoined by a covered walkway that currently links Hotham House to the Hospital by a series of steep ramps added around the time it was converted to a sports medicine clinic.

Other minor alterations have occurred to enable improved accessibility since the conversion of the House to a sports medicine clinic, including; a ramp and handrail leading from the front verandah into the double doors of the southern Billard room and a balustrade on the northern side of the verandah, connecting to the added covered walkway.



**Figure 3.4**

View from edge of subject site looking north, showing stree context  
Source: Google Streetview Dec 2020



**Figure 3.5**

Eastern side of Street from Hotham House  
Source: Google Streetview Dec 2020



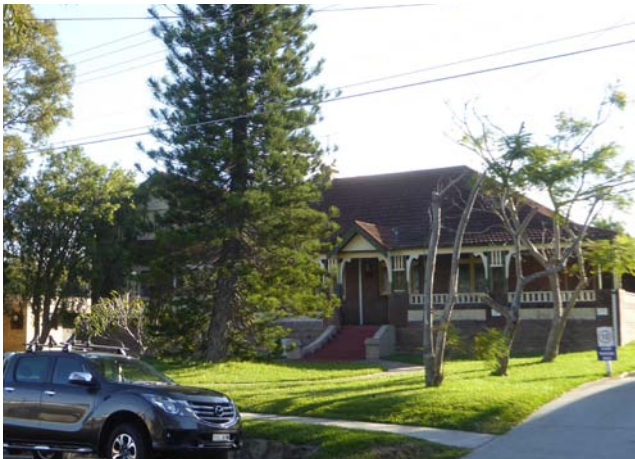
**Figure 3.6**

As noted from the contemporary aerial photo, all of the extensive land occupied by various aspects of the former poultry farm, was subdivided in the 1950s and developed for suburban houses.





**Figure 3.7**  
House as viewed from Hotham Road, showing steep fall from house to road.



**Figure 3.8**  
The house faces Hotham Road and is set back a considerable distance from President Avenue. The tall Cook Pine was apparently planted in the 1970s; it does not appear on earlier aerial photos.



**Figure 3.9**  
The house is a reasonably mainstream Federation Bungalow, originally built as a four room dwelling with verandah around three sides. The large side gable is located over a large room that replaced the southern side verandah of the house several years after it was first built.



**Figure 3.10**  
There is a skillion-roofed, single storey wing stretching across the back of the house, containing a number of services rooms. This wing has undergone extensive internal and external alterations. The covered walkway across the back of the building provides a form of accessible access for patients from the adjacent hospital accommodation.



**Figure 3.11**  
Steep access ramps to the rear lean-to of the building.



**Figure 3.12**  
Original centred featured access to the front of the house.





**Figure 3.13**

As the house is used as a rehabilitation facility for the hospital, a ramp had been constructed to link the house back to the nearby ward block. Unfortunately the slope of the ramp and its current construction make it difficult to function efficiently for movement by elderly patients.



**Figure 3.14**

Double doors from front verandah into southern billard room, showing steep ramp required for accessibility.



**Figure 3.15**

Front Door, polychromatic brickwork, and leadlight features with large step up from front verandah to the main floor level.



**Figure 3.16**

Northern Verandah with added balustrade connecting to covered walkway to the Hospital.



**Figure 3.17**

View from Northern verandah to the side driveway that is the only separation of the original house from the adjacent 1950s style houses. Note



**Figure 3.18**

There is extensive evidence of alterations and in-fill additions along the rear wall lean-to. This evidence includes changes in brick type, changes in window sill brick selection, differing heights of window sills and different floor levels.





**Figure 3.19**

The whole of the roof has been re-sheeted with profiled metal roofing to give the appearance of terra-cotta roof tiles. This possibly dates from the 1970s or 1980s when the product was widely marketed under the name "Decromastic".



**Figure 3.20**

Front of the later Southern 'ballroom' addition, showing original verandah bricks used, and join line to the southern addition.



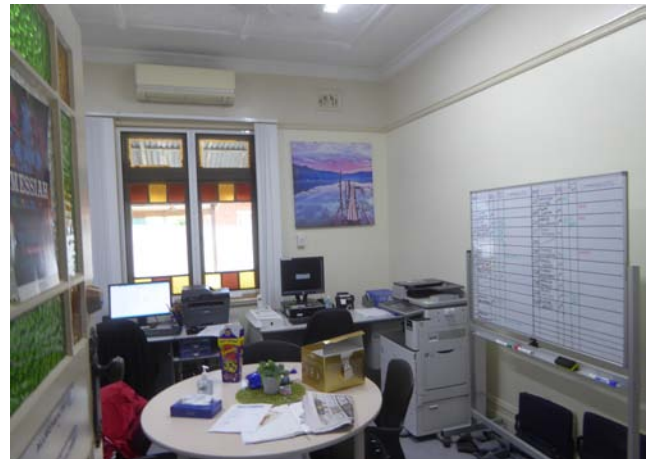
**Figure 3.21**

Southern side of billard room addition, showing brick variation and movement.



**Figure 3.22**

One of the internal rooms with right hand door leading to the entry corridor from the front verandah. Note there is no fanlight over the door into the side room.



**Figure 3.23**

Internally, the main rooms have retained their original layout and most of their timber joinery. There are no fireplaces in the two northern rooms, suggesting that they may have been removed and ceilings to these rooms, possibly replaced at about the same time (different pattern of decorative fibrous plaster).



**Figure 3.24**

Decorative fibrous plaster sheet ceilings are in good condition but may not be original.

### 3.3 DESCRIPTION OF THE BUILDING INTERIOR

The main four rooms of the House maintain their original layout and most of the timber joinery. There is some evidence of modification over time, including a door with alternate joinery and lacking transom window over. These four rooms contain decorative fibrous plaster sheet ceilings that are in good condition, albeit with added fluorescent lighting, smoke detectors etc. Likely early finishes include cornices, decorative plaster air vents, picture rails and high skirtings. The flooring throughout is covered in linoleum, and the condition is unknown.

Back to back fireplaces exists on the southern side of the original dwelling, with likely original finishes. Another fireplace is located in the southern billiard room, with early photos showing an additional chimney which appears to have been located at the rear of the dwelling near the kitchen (likely from a kitchen arbour).

The rear lean-to, although early, contains little evidence of this internally, with predominantly new ceilings and cornices, kitchen and bathroom fit-outs. Decorative plaster air vents remain and painted brickwork walls in some sections.

The southern billiard room features large picture windows to the east and south side, exposed brickwork walls, simple battened ceiling, with little decorative features suitable to a “ballroom”. It is now used as the main rehabilitation facility for the Hospital. The billiard room currently contains a ramp to join the House’s main level; it appears that the billiard room was built over the original verandah, with the floor level being halfway in between the two-floor heights.

### 3.4 CONDITION AND INTEGRITY

Notes on the condition of the dwelling are contained within the Figure descriptions; please refer to these for further details.

The following is extracted from the NSW Planning and Environment, Planning Services, Gateway Determination report, May 2019:

*The House and garden have a high integrity since they are substantially intact, other than the rear skillion wing.*

The integrity of the original four main rooms and billiard room indeed appears early; however, there is an overlay of modern fixtures and floor coverings. The rear lean-to has been altered and modified over time.



**Figure 3.25**

Photo looking through to the rehabilitation room. Note the corner fire breast and Art Nouveau style fire surround. The door way through to the rehabilitation room was originally a double door out to the side verandah.



**Figure 3.26**

Internal view of the so-called “ballroom” with facebrick internal walls and undecorated ceilings. The room is also referred to as a billiard room in the 1928 auction sale advertising.



**Figure 3.27**

The ceiling in the so called “ballroom” simply comprises a series of parallel battens, presenting a poor quality architectural outcome for what has been claimed in the report to be an important room for social events.

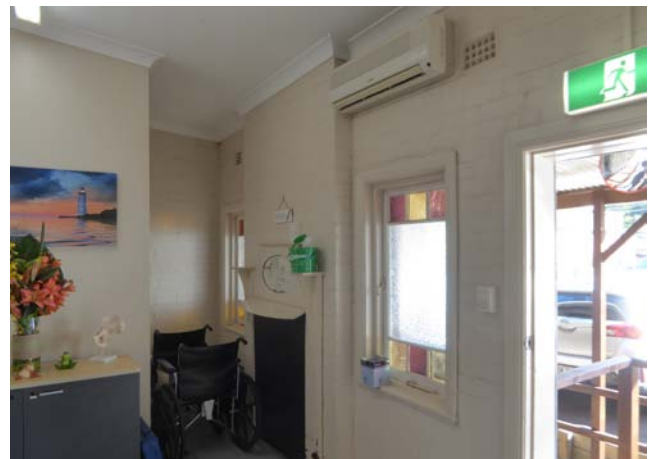


There has been significant movement and settlement in the brickwork, practically in the southern billiard room, which appears to have occurred pre-1950s. There also appears to be efflorescent build up on the brickwork under the verandah, and some vegetation growth, and mortar wear. The timber work, including posts, handrails and decking, if retained would all be required to be assessed for structural adequacy. The rear lean-to southern side, shows an excessive build-up of what appears to be mould, which seems to be due to gutter leak, in addition to the porous common-brickwork.

The structural inspection report prepared by MEngineers, dated the 25th of July 2019, indicates additional structural issues; in the sub-floor structure and drainage issues, structural timber members deflecting, roof leaking/sheeting rust. The report concludes that significant repairs and maintenance are required to remedy the current issues, with further investigation necessary to determine all the necessary works to remediate any structural issues.



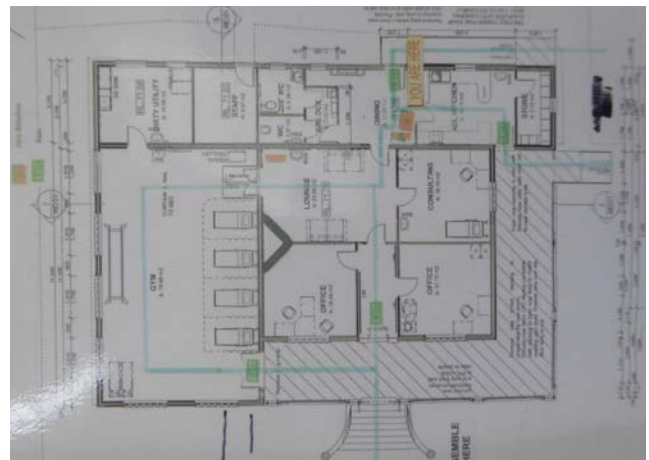
**Figure 3.29**  
The kitchen facilities in one of the rooms in the rear addition.



**Figure 3.30**  
One of the rooms in the rear addition contains a decorative fire surround, but no fireplace or chimney, suggesting it has been relocated from elsewhere in the house. The actual room has been subdivided to provide a toilet enclosure.



**Figure 3.28**  
Internally, there is a ramp between the main floor level of the house and the level of the so-called “ballroom” that appears to have been erected on top of the original verandah foundations, and half way between the verandah height, and the main floor height.



**Figure 3.31**  
The current layout of the house can be appreciated from this emergency services diagram.

# 4.0

## ASSESSMENT OF CULTURAL SIGNIFICANCE

### 4.1 INTRODUCTION

Heritage, or “cultural” value, is a term used to describe an item’s value or importance to our current society and is defined as follows in *The Australia ICOMOS Burra Charter*, 2013, published by Australia ICOMOS (Article 1.0):

*Cultural significance* means **aesthetic, historic, scientific or social or spiritual value** for past, present or future generations.<sup>1</sup>

This section establishes the criteria which are used to understand significance and identifies the reasons for the cultural value of the site and its components.

Significance may be contained within, and demonstrated by, the fabric of an item; its setting and relationship with other items; historical records that allow us to understand it in terms of its contemporary context, and in the response that the item stimulates in those who value it.<sup>2</sup> The assessment of significance is not static. Significance may increase as more is learnt about the past and as items become rare, endangered or illustrate aspects that achieve a new recognition of importance.

Determining the cultural value is at the basis of all planning for places of historic value. A clear determination of significance permits informed decisions for future planning that will ensure that the expressions of significance are retained and conserved, enhanced or at least minimally impacted upon. A clear understanding of the nature and degree of significance will determine the parameters for, and flexibility of, any future development.

A historical analysis and understanding of the physical evidence provides the context for assessing the significance. These are presented in the preceding sections. An assessment of significance is made by applying standard evaluation criteria to the facts of the item’s development and associations.

<sup>1</sup> *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance*, 2013, p.2

<sup>2</sup> ie “social”, or community, value

### 4.2 COMPARATIVE ANALYSIS

Assessment of the subject site has included comparison with, but was not limited to, the following Sutherland Shire buildings constructed in the same period, many included within Architectural Projects, Heritage Assessment Review, March 2019.

The Federation bungalow *Hotham House* was built between Circa 1913, with the southern billiard room added Circa. 1915.

The following Statements of Significance, for comparison, have been sourced from the NSW State Heritage Inventory:

#### **Botany View - House**

94 Acacia Avenue, Kirrawee, NSW 2232

Local Listing: Item No. 2401

Database number:2440189

*The site, which incorporated a former orchard, provides evidence of small scale farms and homesteads in the Sutherland Shire. Evidences the early development of the Holt-Sutherland Leasehold land. The place has an identified association with Gilmore, an orchardist, and significant person in the Sutherland Shire. The building is a good example of the Federation Vernacular style. The building is a rare example of an important typology in the area, the homestead. The building demonstrates principal characteristics of late Nineteenth Century residential development in the Sutherland Shire.*

The house was built at a similar time and in a similar style to the original Hotham House (minus southern billiard room), however Hotham House was constructed of brick with somewhat finer finishes. The site was a former orchard of a large scale.

#### **House**

16 Bellingara Road, Miranda, NSW 2228

Local Listing: Item No. 3707

Database number:2440207

*Good example of a symmetrical Federation design, derived from the traditional Georgian*

*form. Only surviving example of a substantial early house in this locality, originally built on the Holt-Sutherland Estate. Local significance.*

This house is of a similar scale and detail to Hotham House, and is believed to have been built for an orchardist.

#### **Walton**

104 Toronto Parade, Sutherland, NSW 2232

Local Listing: Item No. 3646

Database number:2440245

*Evidences the original subdivision of the City View Estate, 1912, spurred by the extension of the Illawarra railway.*

*The building is a fine example of the Federation style in Sutherland. The building has a high level of integrity. The building demonstrates principal characteristics of Federation Bungalows in the Sutherland Shire.*

This house is of a similar style and detail to Hotham House, however, located within the township subdivision.

#### **House**

88-90 Toronto Parade, Sutherland, NSW 2232

Local Listing: Item No. 3642

Database number:2440241

*Evidences Coopers subdivision of 1913. The building is a fine example of the Federation Bungalow style in Sutherland.*

*The building is a rare example of the Federation style in the area. The building has a high level of integrity. The building demonstrates principal characteristics of Federation bungalows in the Sutherland Shire.*

This house is of a similar style with finer detailing and finishes than Hotham House, also located within the township subdivision.

#### **Castlewood**

89 Woollooware Road South, Woollooware, NSW 2230

Local Listing: Item No. 4112

Database number:2440277

*Evidences the original subdivision of the Castlewood Estate, 1912, spurred by tramline to Cronulla in 1911. The tower evidences the provision of coastal defence installations by government agencies in the Sutherland Shire. The place has an identified association with Thomas Daley, a significant person in the Sutherland Shire and Sydney Metropolitan area. The place has an identified association with Dr William Sproule, a significant person in the Sutherland Shire. The building is a fine example of the Federation Bungalow style. The tower on the building is a rare example of a Federation style feature in the area. The building has a high level of integrity. The building demonstrates principal characteristics of Federation Bungalow.*

This house is of a similar style, built in the same year and with finer detailing than Hotham House. Castlewood is located in a prominent location and was involved in ocean surveillance during WWII.

Hotham House is a similar age, detail, and aesthetic significance to some of the above-listed properties; however, some are of higher quality finishes and detailing. Although having similar examples of federation bungalows in the locality does not negate the aesthetic significance of Hotham House, it does mean that if Hotham House is demolished, there will still be examples of quality dwellings from this time period within the Sutherland Shire locality.

### **4.3 ANALYSIS OF CULTURAL SIGNIFICANCE**

The following commentary discusses how each of the criteria established by the Heritage NSW (in the NSW Department of Premier and Cabinet) relate to the subject site. Included within this is the extracted Criteria from the *NSW Planning and Environment, Planning Services, Gateway Determination report*, May 2019; in addition to GBA Heritage comments, shown in red for clarification.

**Criterion (a) – An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)**

*Gateway Determination comments: The 1912 house and site have historic significance at a local level for their ability to evidence an early poultry farm in the Southland Shire and the early leasehold rural development and occupation of the Holt Sutherland Estate. The report asserts that the Hotham Farm at the subject site represents the most successful primary industry in the district and is a landmark business of local and state importance. In addition, the report considers that the house was an important social centre the local people in an isolates area. For instance, the ballroom was used to host parties and Parish dances and balls.*

The House, circular path and driveway location are all that remain of the Circa.1913 development of home and poultry farm that occupied 20-acres of land, making it one of the largest poultry farms in the Sutherland area for a short period of time. As discussed in Section 2.0 of this report, the scale of the farm was the result of criminal activity and does not represent successful poultry farming within Sutherland. The remaining House holds no evidence of the previous farm, or the previous leasehold suburban development. The

evidence provided regarding the social aspect of the “Ballroom” has been thoroughly questioned for its accuracy within Section 2.0 of this report.

**Criterion (b) - An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)**

*Gateway Determination comments: The house has historic associational significance through association with the Hotham Farm and its owners. Authur Tildesley built the house and established Hotham Farm in 1912, which was at one time the largest poultry farm in the state. Tildesley was well known locally and was found guilty of stealing funds from a building society in a court case which attracted interest in the press. The subsequent owners, Frederick Turner and the Joseph King, made significant advances in the poultry farming industry.*

The House, like all, can be associated with its early owners; Albert Tildesley may have drawn much attention to himself via self-advertisements and criminal activities, which funded the establishment of the House and Farm. This does not make him a person of importance in the cultural or natural history of NSW or Sutherland Shire. Frederick Turner and Joseph King were both admirable men, involved in minor advancements in their selected professions. This does not make them persons of importance in the cultural or natural history of NSW or Sutherland.

**Criterion (c) - An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)**

*Gateway Determination comments: The house and garden have local aesthetic significance as a fine and substantial example of a late Federation period house constructed in the Federation Bungalow style in a garden setting to which the circular path contributes.*

Hotham House is a pleasant example of late federation bungalow style which may be considered aesthetically pleasing.

**Criterion (d) - An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons**

*Gateway Determination comments: The house has local significance because of its former uses and rarity.*

The House has some association with previous Poultry Farming community of Sutherland. However, as discussed previously, other Social community links have not been adequately proven.

**Criterion (e) - An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)**

Not relevant to the subject house and garden.

**Criterion (f) - An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)**

*Gateway Determination comments: The house has local rarity significance because few original rural homesteads survive in the locality and since the ballroom is a rare element for this type of residence and for the wider LGA.*

The House is relatively rare federation home within GyMEA, although as shown in the comparisons in section 4.2 not rare within Sutherland Shire itself.

**Criterion (g) - An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places; or cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments)**

*Gateway Determination comments: The house and garden setting have local representative significance for being a fine example of a substantial and intact federation bungalow.*

Hotham House integrity may be better defined as relatively intact, as shown in Section 3.0 of this report.



## 4.4 STATEMENT OF SIGNIFICANCE

The Statement of Significance for the property contained in the Sutherland Shire Council Heritage Data Form, is as follows:

*The house and site at 65 Hotham Road have historic significance at a local level for their ability to evidence an early poultry farm in the Sutherland Shire. It is significant for its associations with the early development of poultry farming. The site evidences the early leasehold rural development, and occupation of the 5 acre lots on the Holt Sutherland estate between Sutherland and Sylvania. The house was built as the homestead to Hotham Farm, where under Tildesley, Turner and King, significant advances were made in poultry breeding and raising.*

*The house provides a link to the time when poultry farming was the main primary industry in Sutherland Shire. Hotham Farm represents the most successful primary industry in the district, - a landmark business of local and state importance. Hotham House is a reminder of the importance and the relative prosperity of some poultry farmers at this time.*

*The house and its setting reflect the growing affluence of the area during the boom years, the first phase of suburbanisation post 1911. The dwelling, and particularly the ballroom, has historic significance at a local level for its ability to illustrate a way of life, and an aspect of social life in Sutherland at the beginning of WWI. Hotham House was an important social centre for local people in an isolated area. Originally built to host Starr Bowkett Society events and parties (Tildesley Period), the ballroom later accommodated Parish Dances and Balls. (Turner period)*

*The house provides evidence of both the social and economic life of the time prior to the construction of the Sutherland/Cronulla railway branch line.*

*The house has important historic associational significance through the associations with Hotham Farm, and with Arthur Tildesley, and later owners Frederick Turner and Joe King. Tildesley built the house and ballroom and established Hotham Farm, which was at one time the largest poultry farm in the state. Tildesley was well known locally before and after his incarceration. His court case attracted great interest in the press. Subsequent owners Turner and King made significant advances in poultry farming during their time at Hotham House and farm.*

*The house and garden at 65 Hotham Road have aesthetic significance at a local level as a fine and substantial local example of a late Federation period house constructed in the Federation Bungalow style, in a garden setting. The Norfolk Island Pine and circular path contribute to the setting.*

*The house has social significance at a local level, and is remembered well by many older residents, because of its former uses, and rarity. Some community groups have shown interest in the building and site. The history of the building has been recorded in historical society publications. The building was proposed for heritage listing prior to the demolition proposal.*

*The house has rarity significance at a local level. Few original rural homesteads survive in the local government area. The ballroom is a rare element on this type of residence and in the LGA.*

*The house and garden setting have representative significance at a local level as a fine example of substantial and intact federation bungalow.*

This Statement makes many sweeping exaggerated claims with no primary evidence as proof. The exaggerations are discussed briefly below; however, please refer to Section 4.3 & 2.0 for further details.

Hotham Farm was constructed after Poultry Farming was well established within Sutherland Shire, and therefore does not evidence “early poultry farm in the Sutherland Shire”.

Evidence to this “early development of poultry farming” is at best weak. Tildesley employed high-level modern equipment at the Farm, and constructed the poultry sheds out of brick and concrete, which was uncommon; however, his contribution to the Poultry Industry, evidenced through his establishment of NSW Poultry Farmers Association, appears to have been more associated with his accounting skills, than his knowledge in the Poultry industry. As discussed further in section 2.4 of this report, Turner was president of only local poultry associations, not State as claimed, as his development of the White Campell Duck breed is also disproved. The article referenced to Kings development in the industry more accurately describes a man struggling to find any information on Duck rearing, and describing the few things he found helpful. These are all minor contributions, can hardly be defined as being of historical significance.

Hotham House provides an association to when poultry farming was a primary industry in Sutherland Shire. However, it should not be exemplified as a successful example due to Tildesley fraudulent sinking of an incomprehensible amount of funds into Hotham Farm during his ownership.

The House and its setting reflect Albert Tildesleys fraudulent accounting activities. Only the secondary source of Mick Derrey provides evidence to Hotham House's claim of being utilised as a Ballroom and hosting Starr-Bowkett ballots and events otherwise indicated (via primary source) to have occurred at St Paul's Hall, Rozelle. The Rozelle-Balmain branch of the Starr-Bowkett building society was run for at least 10 years prior to the construction of the 'Ballroom', it is also unlikely that members could afford or had the means to travel from the inner-west to Gymea in the 1920's. No evidence of the 'Ballroom' being utilised for 'Parish Dances and Balls' has been provided or found. Therefore, claims that it represent the social and economic life of the time and completely unjustified.

The House has associational significance to the Farm which once surrounded it. However, it is a far stretch to say that a House's association with its previous owners makes it significant; when one was a fraudulent Accountant and the others humble poultry farmers.

Hotham House's aesthetic significance, as a federation bungalow, with the circular path and lawn providing an agreeable streetscape setting. The Cook pine, incorrectly described as a Norfolk island pine, though pleasant, does not exhibit any heritage value and should not be included in its listing, dating post-1970. The lack of any remaining early planting questions the use of the term 'garden setting'.

The fact that 'The building was proposed for heritage listing prior to the demolition proposal', however, found not to meet the necessary criteria, does not justify its significance.

The House is better defined as a substantial and relatively intact federation bungalow.

#### **Revised Statement of Significance:**

Hotham House is a fine and relatively intact example of a federation bungalow, which holds aesthetic significance at a local level. Its front circular pathway and lawn contributing to its streetscape setting. It has associations with the previous Hotham Farm, one of the larger poultry farms located within Sutherland Shire.

## **4.5 GRADING OF SIGNIFICANCE**

65 Hotham Road, Gymea, has been carefully assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Relative age
- Original design quality
- Degree of intactness and general condition
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

Grading reflects the contribution the element makes to the overall significance of the item (or the degree to which the significance of the item would be diminished if the component were removed or altered).

### **EXCEPTIONAL SIGNIFICANCE**

Includes rare or outstanding building fabric that displays a high degree of intactness or can be interpreted relatively easily.

### **HIGH SIGNIFICANCE**

Includes the original extant fabric and spaces of particular historic and aesthetic value. Includes extant fabric from the early phases of construction.

### **MODERATE SIGNIFICANCE**

Includes building fabric and relationships which were originally of higher significance but have been compromised by later, less significant modifications.

### **LITTLE SIGNIFICANCE**

Includes most of the fabric associated with recent alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the site's significance.

### **INTRUSIVE**

Recent fabric, which adversely affects the significance of the site.

Grading has been established as a valuable tool, to assist in developing appropriate conservation measures for the treatment of the building and its various elements. In general, good conservation practice encourages the focussing on change, or upgrading of, an historical building/site to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

GRADING OF SIGNIFICANCE	SITE ELEMENTS
EXCEPTIONAL	There are no elements of the subject site considered to be of Exceptional significance
HIGH	There are no elements of the subject site considered to be of High significance
MODERATE	<ul style="list-style-type: none"> <li>- Original Federation bungalow with wrap-around verandah</li> <li>Inclusive of: polychromatic brickwork, Internal timber joinery, leadlight fenestrations, fireplace surrounds and baskets, decorative fibrous plaster sheet ceilings.</li> <li>- Southern Billiard room addition, inclusive of: leadlight fenestrations and the remaining fireplace elements.</li> <li>- Circular path and sweeping entry stairs</li> </ul>
LITTLE	<ul style="list-style-type: none"> <li>- Rear lean-to, although early has reduced integrity and condition.</li> <li>- Cook pine, complimentary to the House setting, however not Heritage.</li> </ul>
INTRUSIVE	Fixtures required to allow for upgrades for use as a medical facility, including fluorescent lighting, ramps, linoleum flooring, rails etc.

## 4.6 CURTILAGE ANALYSIS

The Heritage NSW (in the NSW Department of Premier and Cabinet) publication *Heritage Curtilages*<sup>3</sup> defines “heritage curtilage” as the area of land surrounding an item or area of heritage significance which is essential for retaining and interpreting its heritage significance. Heritage curtilage can be classified as one of four types:

- Lot Boundary Heritage Curtilage
- Reduced Heritage Curtilage
- Expanded Heritage Curtilage
- Composite Heritage Curtilage

Hotham House is defined by a rather reduced curtilage, inclusive of the front lawn and circular pathway leading to the House. A slight viewing angle can be achieved from Hotham road; however, this view is obscured by substantial vegetation to the south and neighbouring properties and their gardens to the north. The northern driveway area has been included as it allows a view to the northern elevation.



**Figure 4.1**  
Current aerial of Hotham house, showing Heritage curtilage shaded in yellow.

Source: *Nearmap\_20201207*, overlay by GBA Heritage

## 4.7 ARCHAEOLOGICAL POTENTIAL

Architectural Projects Heritage Assessment describes the removal of the poultry farm, dismantled for re-use of the materials (page 13); it is therefore, unlikely that any significant remains of these earlier farm structures remain below ground.

Although Archaeological Assessment is outside the scope of this report, it should be noted that the Archaeological Management Provisions of the *NSW Heritage Act* apply to any relics which are essentially located below ground level. If, at any time, unexpected archaeological remains are uncovered or disturbed, work must stop immediately and the NSW Heritage Council must be notified.

<sup>3</sup> Warwick Mayne-Wilson, *Heritage Curtilages*, NSW Heritage Office and the Department of Urban Affairs and Planning, NSW, 1996

# 5.0

## HOSPITAL OPERATIONAL REQUIREMENTS

### 5.1 DESIGN PARAMETERS

The following Design Parameters for the proposed hospital redevelopment have been provided by Healthcare Studio:

- Hospitals require the easy movement of patients, staff and visitors throughout the buildings, from vehicles including ambulances, patient transport and private cars and externally to public transport.
- To achieve this, access must be level and where changes in grade are required lifts used rather than stairs or ramps as the primary means of grade changes. Lifts slow movement and should be avoided where delay may impede patient safety.
- The existing operating theatres are a central hub of the hospital and where they include day surgery a large number of patients and visitors must be provided for. The redeveloped hospital will retain these core elements and therefore retain and expand the existing main floor level of the building.
- Patients may be unsteady when arriving and leaving day surgery. Transit between day surgery and patient drop off should be as direct as feasible. Operating theatres are expensive and integrated technically advanced area and cannot be relocated.
- Patient privacy, safety and dignity are paramount. Where patients are moved around the hospital this should generally not be through public areas or outside the confines of the building.

### 5.2 CURRENT DEFICIENCIES

The initial review of the current hospital arrangement highlighted the following deficiencies to be addressed in the redevelopment:

- No weather protection for patient drop off
- Non-compliant ramp from car park to hospital entry
- No compliant pedestrian entry from a public road to the hospital
- No compliant entry from a road to 65 Hotham Road.
- No covered drop-off for patient transport
- No ambulance bay conforming to NSW ambulance service requirements
- Entry, exit to east car park restricted due to proximity to intersection with President Ave.
- No access from main patient car park (east car park) to out-patients' facilities
- Minimal and non-compliant parking for out-patients using the west car park
- Multiple entries to the hospital create security risks

Particular issues related to the operational inefficiencies of Hotham House are:

- Non-compliant access from the hospital to rehabilitation treatment in the historic house.
- The use of external ramps required the addition of one full time staff member to move patients between the hospital and rehabilitation.
- The difficult access up a series of external ramps protected only by a roof canopy, exposes staff to unsatisfactory conditions leading to a significant risk of staff injury.
- It is necessary to transport patients outside the main building when being transported to Hotham House to the hydrotherapy pool must traverse the main reception. There is a lack of dignity for patients in being wheeled on trolley through public areas.
- The separate nature of Hotham House, with direct access from the street and inadequate security provisions, places patients and staff at risk of forces entry or inappropriate behaviour.

This has resulted in Hotham House no longer being utilised.



## 5.3 OPTIONS EXPLORED

An exploration of options for the potential retention of Hotham House, has been requested by NSW Planning, Industry and Environment in letter dated 12/02/2021.

*Hotham House was only recently listed in Sutherland Local Environmental Plan 2015 as a local heritage item and is highly regarded by the local community. Opportunities for the inclusion/retention of Hotham House (i.e. adaptive reuse of the building) in the overall design is to be further investigated and presented demonstrating, through revised schemes, that all options have been considered.*

The revised options shown on the following pages, briefly explore the retention of Hotham House; however, result in either non-compliant outcomes or a substantial reduction in potential patient care or services provided.

### Option 1:

Hotham House retention Option 1 explores the driveway and patient drop off being located around Hotham House. This option leaves Hotham House isolated from the Hospital and reduces potential accessibility options, to the enable utilisation of Hotham House. Accessibility issues are further exacerbated by the approximate 1.7m height difference between the existing Hospital and the higher Hotham House floor level (shown in figure 5.1 below). The option severely limits the space for the link between the north and east/west wings of the hospital development with only a 3.3 meters width to accommodate patient transfer, and public thoroughfare. This option also leaves little room for the rearrangement of the main entrance and administration; potentially pushing required services into less functional arrangement, likely to the first floor.

Implications would also extend to the basement levels, creating a narrow connection between north and the east/west car park. This would not only require a significant rearrangement (affecting lift locations), but reduce current car spaces provided, which would necessitate additional excavation to the north of site, resulting in further impact to the adjacent properties during construction.

On the first floor (figure 5.3) the red section indicates the required 6-meter fire separation to Hotham House; this shows the area currently occupied by 10 rooms, lounge, dining, fire stair and some services that would be excluded from potential Hospital use. If a redesign was completed, it is estimated this would reduce the first floor design by approximately 17 rooms, equating to 34 beds lost over 2 levels, plus additional loss of rooms created by the required rearrangement of the ground floor, which would likely require relocation of spaces to the first.

### Option 2:

Hotham House retention Option 2 explores patient drop off being located to the south side of Hotham House; this option was not developed further as the location of the main vehicular entry/exit in such proximity to the Hotham Rd/President Ave intersection would not be approved due to conflict with cars queuing at the intersection and risk of collision with cars travelling north on Hotham Rd. Additionally the driveway grade is increased unacceptably due to the lower entry point from Hotham Rd.

This option has similar shortfalls in the integration of Hotham House and reduced potential for patient rooms on the upper floors due to the required separation distances from Hotham House.

### Previous Retention Option C & E

These option designed in 2018, did not incorporate the whole site as per the current proposal, however, further explore some potentials in retaining Hotham House.

The main aspects included main entrance being maintained at the President Avenue frontage, now identified as flood effected. The options also have secondary driveways along Hotham Road, including a suitably located entry and exist to the North of Hotham House.

The option E looks at the removal of the rear lean-to of Hotham House, which has been identified as being of little significance; however the option has not fully solved the issue of the approximately 1.7 meter height difference between the Hospital and the House. However, GBA believes these issues could be solved with appropriately located split level lift and stair access, if Hotham House was utilised for ancillary services such as Cafe or Staff Cafeteria. This option is still dependant on primary street access from President Ave which is not permissible, additionally this option creates an unacceptable separation in nursing services between the north wing and east wing due to the interruption to flow between Hotham House and the Operating theatre.

## 5.4 UNSUITABILITY OF HOTHAM HOUSE FOR ADAPTION

Integration of the House at 65 Hotham Road into the hospital was considered with a range of uses from patient treatment to staff training to food services. Due to access restrictions patient treatment is unsuitable. Consideration to non-medical uses for Hotham House as food services and a possible café. The existing café on the site is not heavily patronised, the Hotham House is much larger than would be required for only café use.

Such integration would require the building to be extensively upgraded to comply with the current requirements of Class 9a of the National Building Code.

The difficulties identified in re-using Hotham House:

- Main vehicular access is restricted to the Northern side of Hotham House, due to potential flooding identified to President Avenue proximity to the intersection of Hotham Road and, President Avenue, Bidural Avenue being residential in nature, and wrap around style driveway isolating the House to the point that adaptive re-use would not be suitable.
- This area to the Northern side of Hotham House is significantly restricted, by the House itself, boundaries, and the Operating Theatres. This area would be required to fit the drop off zone, main entry and administration facilities, loading zone with access to Kitchen, required services and appropriate vertical access to the rear of Hotham House, as well as the car parking below and wards above.
- An additional expense from required engineering for the excavation around Hotham House (already required for the retained operating theatres) will impact on the planning of the required basement car park.
- The floor level difference of some 1710mm between the floor level of the House and that of the existing hospital, makes it difficult to successfully integrate Hotham House into the hospital, with the area only being suitable to ancillary services, not patient treatment. Refer to figure 6.5 & 6.6 showing outline of Hotham House.

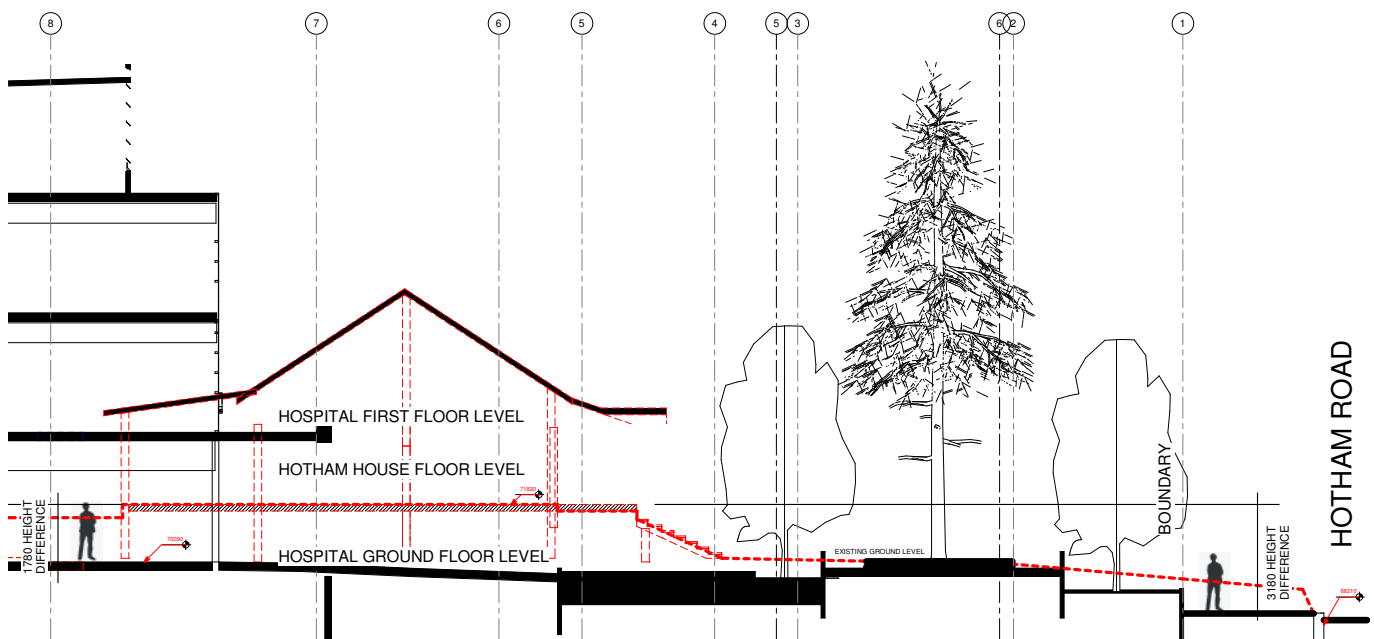
- As shown in Option 1, the retention of Hotham House creates a large deficit in the area for the Proposed redevelopment of President Private Hospital affecting the viability of the redevelopment project.

- If retained, the required upgrades to Hotham House to achieve compliance standards in a Hospital setting would significantly impact a large portion of the retained fabric. These upgrade would potentially include:
  - Door widening; to achieve clearance widths.
  - Installation of fire sprinklers, and other upgrades impacting the decorative ceilings.
  - Installation of insulation to ceiling and roof cavity to achieve required fire ratings.
  - Upgraded ramps, railings, and floor surfaces.

Unfortunately, the size and location of Hotham House generates a severe limitation on the planning and layout of the proposed upgraded Hospital.

## 5.5 RETENTION OPTIONS

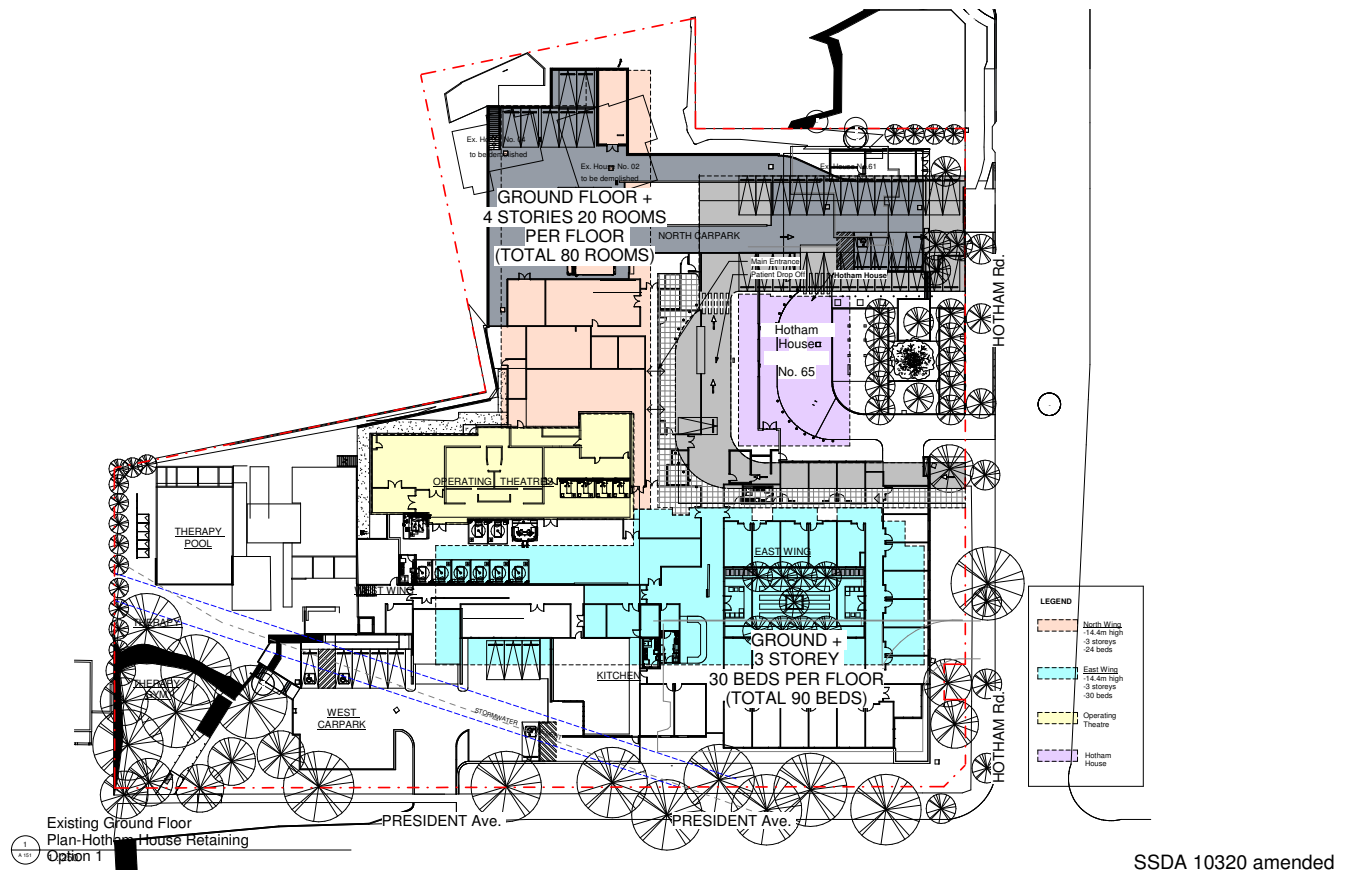
The below Hotham House retention options 1 & 2 (figures 5.2-5.4) provided by Imagescape Design Studios, with additional notation/labels added for clarification by GBA Heritage. A Selection of 2018 Hotham House retention Options are also below Options C & E (figure 5.5-5.8) these do not use the whole of the site, as per the current proposal; however indicate some reasons options have not been further pursued.



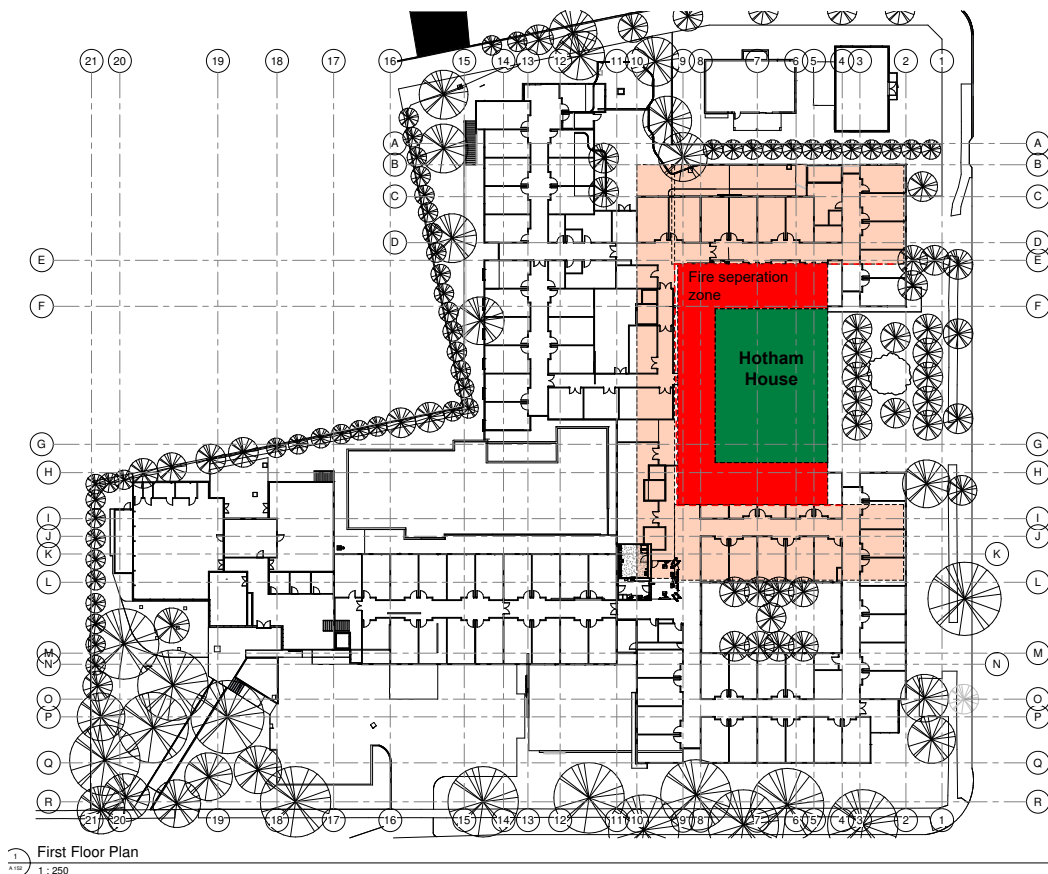
**Figure 5.1**

Site Levels, showing Hotham House in relation to Hotham Road, and approximately half way inbetween the existing Hospital levels.

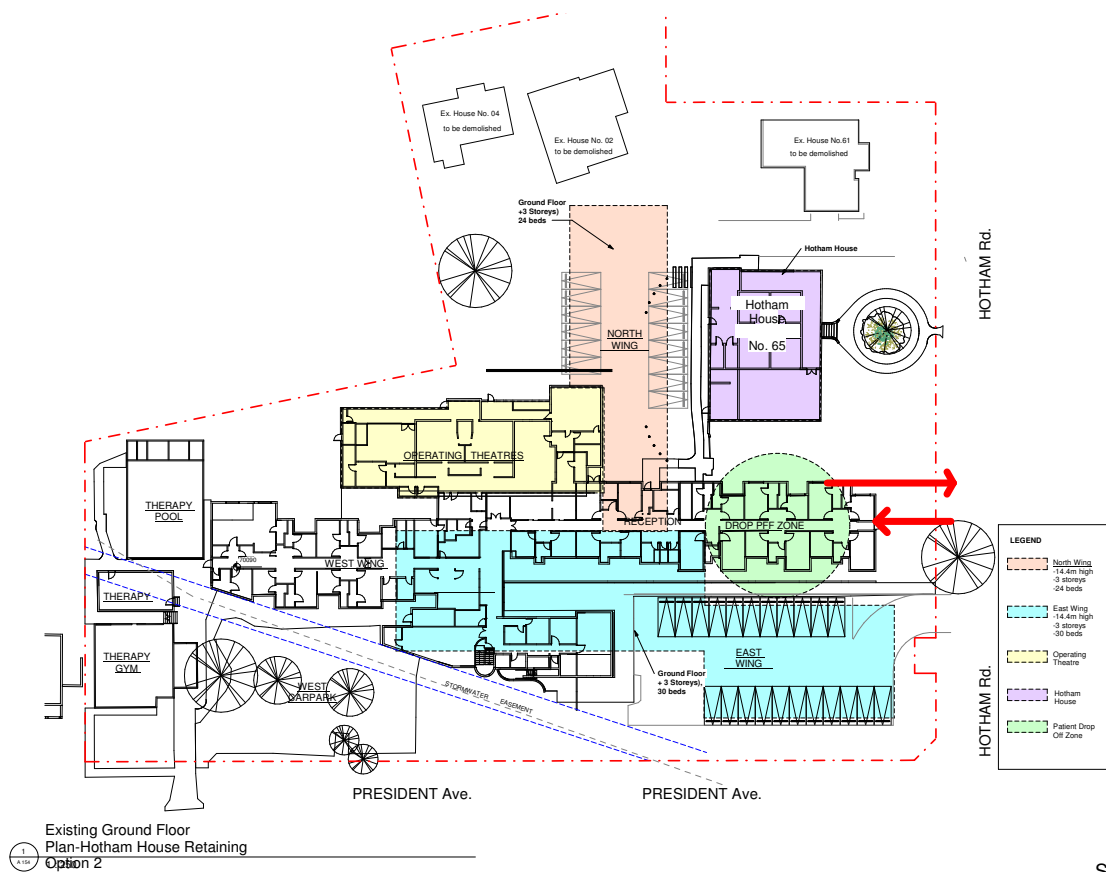
Source: Imagescape Design Studios, sp210507 section thru Hotham House, 07/05/2021



**Figure 5.2**  
Option 1, Ground floor.  
Source: Imagespace Design Studios, Hotham House Retain Option 1, Site Layout, .A151, 15/04/2021



**Figure 5.3**  
Option 1, First Floor implications  
Source: Imagespace Design Studios, Hotham House Retain Option 1, First & Second Floor Impact, .A152, 15/04/2021

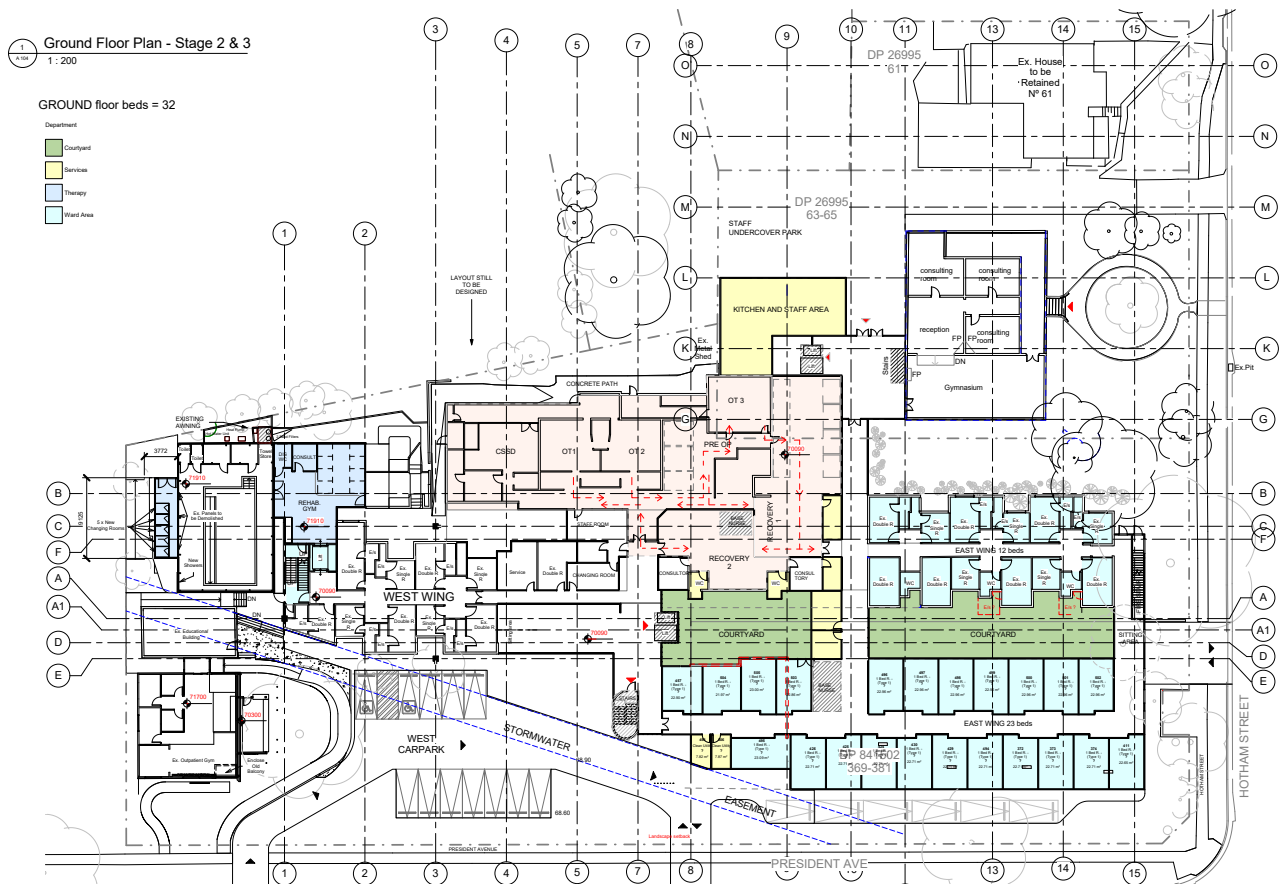


SSDA 10320 amended

**Figure 5.4**

Option 2

Source: Imagescape Design Studios, Hotham House Retain Option 2, Site Layout, .A154, 15/04/2021



**Figure 5.5**

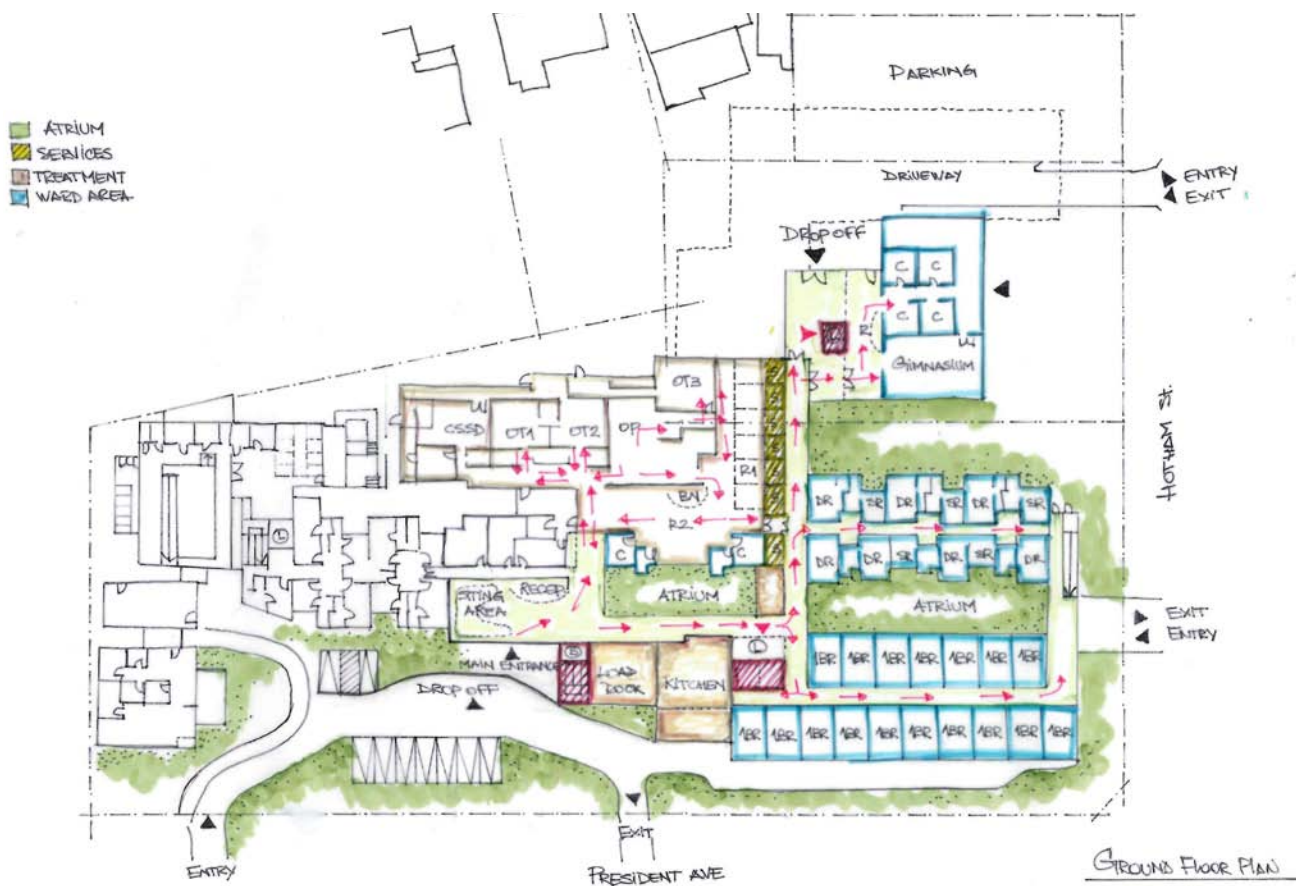
Option C, Ground Floor- Vehicle access via President Avenue affected by Flooding issues, therefore access also required to Hotham Road.  
Source: Imagescape Design Studios, Ground Floor General Arrangement Plan, A104, 06/02/2018



**Figure 5.6**

Option C, First Floor- Vehicle access via President Avenue affected by Flooding issues, therefore access also required to Hotham Road.  
Source: Imagescape Design Studios, Ground Floor General Arrangement Plan, A104, 06/02/2018





**Figure 5.7**  
Option E, Ground Floor  
Source: Imagescape Design Studios. Ground Floor Sketch Option E



**Figure 5.8**  
Option E, First Floor.  
Source: Imagescape Design Studios, First Floor Sketch Option E

# 6.0

## DESCRIPTION OF THE PROPOSAL

The proposed development, designed by Imagescape Design Studios, is detailed in the plans and Statement of Environmental Effects that accompany this application. It includes:

- Staged demolition of the majority of the existing President Private Hospital, retaining only the therapy pool and operating theatres.
- Demolition of the Hotham house, as well as the neighbouring residences 61 Hotham Rd, and 2 & 4 Bidurgal Avenue.
- Removal of 27 trees from the site.
- Reconfiguration and expansion of the support facilities for the operating theatres and the therapy pool. Relocating the rehabilitation gym suitably next to the therapy pool.
- Construction of large basement car parking to provide required suitable car parking for the proposed hospital.

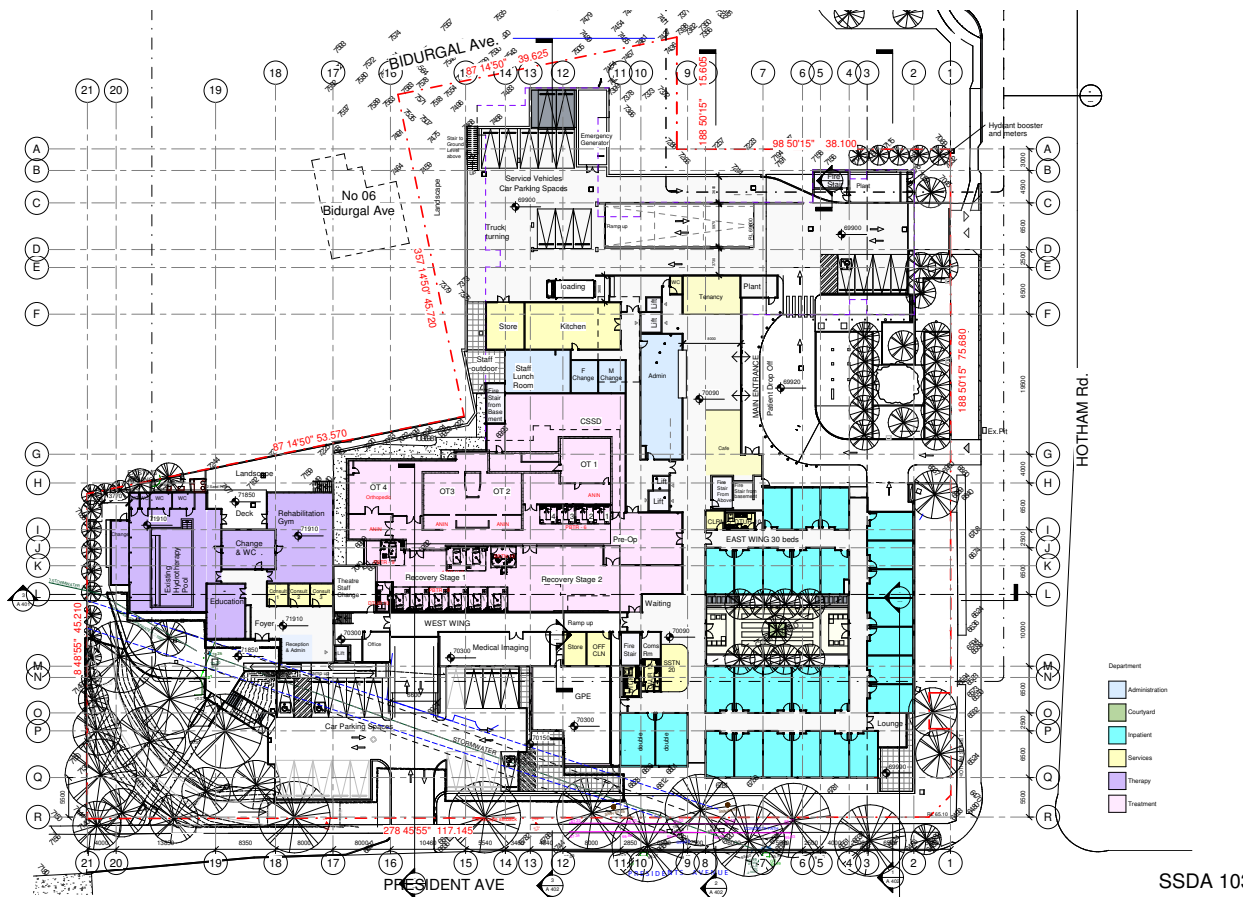
- Construction of new entry and drop off, with improved circulation.
- Construction of new wards, significantly increasing the capacity of the hospital.
- New services being integrated into the private hospital, including mental health, allied health, medical imaging.
- Raising the standards of the Hospital to meet new compliance regulations.
- Landscape and stormwater drainage works.

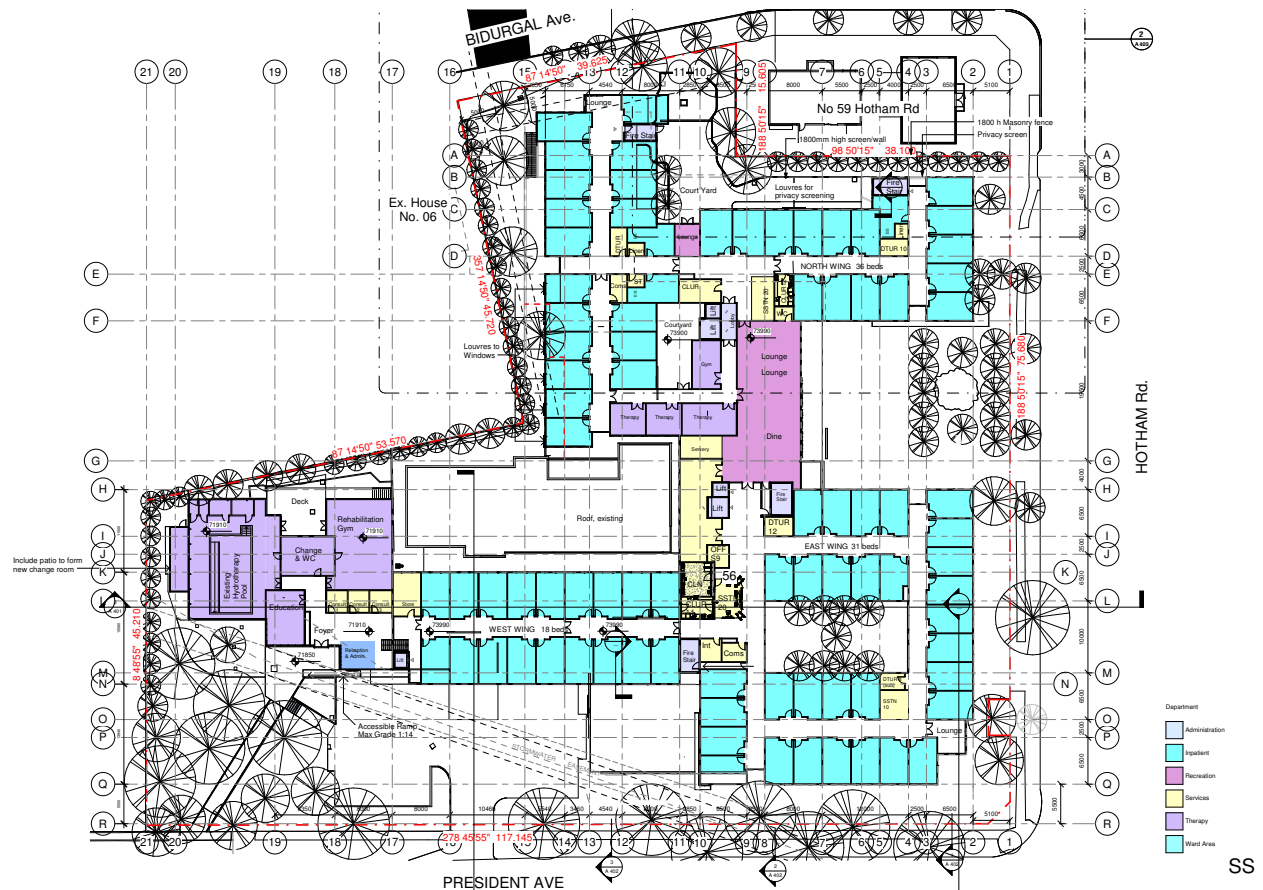
The aim of the proposal is to provide expanded Private Health options and upgraded facilities to meet the expectations and needs of the Sutherland Shire Area.

**Figure 6.1**

The proposed Ground Floor.

Source: Imagescape Design Studios, *Redevelopment of President Private Hospital, Ground Floor General Arrangement Plan, A104, 15/04/2021*



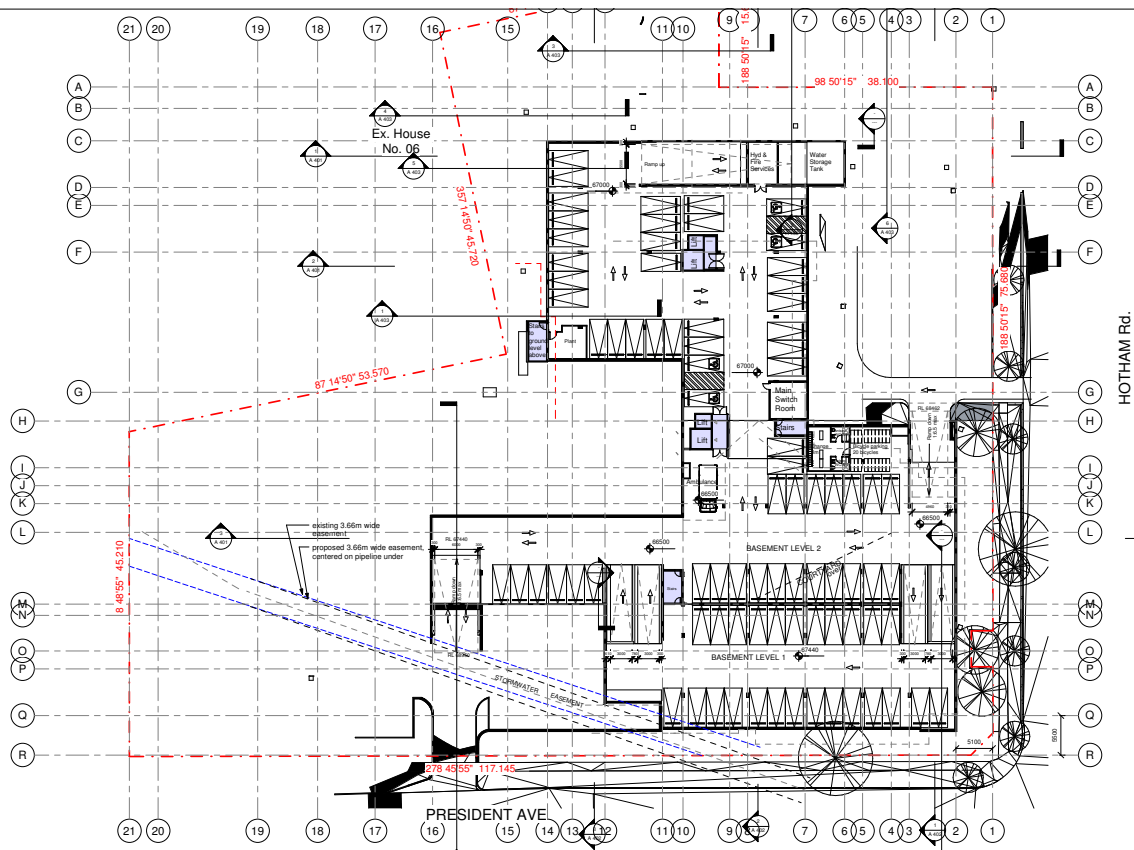


**Figure 6.2(above)**  
The proposed First Floor  
Source: Imagescape Design Studios, *Redevelopment of President Private Hospital, First Floor General Arrangement Plan, A105*, 15/04/2021,

**Figure 6.3 (below)**  
The proposed Second Floor (below)  
Source: Imagescape Design Studios, *Redevelopment of President Private Hospital, Second Floor General Arrangement Plan, A107*, 15/04/2021







**Figure 6.4(above)**  
Basement Plan Level 1 & 2  
Source: Imagescape Design Studios, Redevelopment of President Private Hospital, Basement Plan Level 1 & 2, A103, 15/03/2021

**Figure 6.5 (below)**  
The proposed east-west section, with approximate outline of Hotham House location dashed in red.  
Source: Imagescape Design Studios, Redevelopment of President Private Hospital, East-West Sections, A401, 15/04/2021, Section 02. With layover of approximate Hotham House outline by GBA Heritage.



**Figure 6.6**  
The proposed north-south section, outline of approximate Hotham House location dashed in red.  
Source: Imagescape Design Studios, Redevelopment of President Private Hospital, East-West Sections, A401, 15/04/2021, Section 02. With layover of approximate Hotham House outline by GBA Heritage.

# 7.0

## ASSESSMENT OF HERITAGE IMPACT

### 7.1 INTRODUCTION

This Statement of Heritage Impact has been prepared in relation to the following impact assessment criteria: the *Sutherland Shire Local Environmental Plan (LEP) 2015*, the *Sutherland Shire Development Control Plan (DCP) 2015* and Heritage NSW (in the NSW Department of Premier and Cabinet) guidelines, *Altering Heritage Assets* and *Statements of Heritage Impact*.

This section of the report provides a detailed analysis of the statutory controls applying to this site, with regard to heritage.

### 7.2 OVERVIEW OF THE POTENTIAL HERITAGE IMPACTS

The Heritage Impact of the removal of Hotham House is considered to cause only a moderate impact, of an aesthetic nature, to the environmental heritage of Sutherland Shire.

This impact is to be mitigated by the retention and reuse of some original elements described in section 7.6.

The moderate aesthetic heritage impact caused by the demolition of Hotham house holds little weight in comparison to the potential benefits to the Sutherland Shire community generated by the redevelopment of President Private Hospital.

### 7.3 CONSIDERATION OF THE HERITAGE NSW GUIDELINES

The Heritage NSW (in the NSW Department of Premier and Cabinet) has published a series of criteria for the assessment of heritage impact. The relevant 'questions to be answered' in the *NSW Heritage Manual* 'Statements of Heritage Impact', provided below, have been considered in the preparation of our assessment:

***The following sympathetic solutions have been considered and discounted for the following reasons:***

- Main Entrance being located along President Avenue and Bidurgal Avenue have been eliminated due to flooding issues and residential nature of the street, respectively.
- The integration of Hotham House at approximately 1900mm below the floor level of the existing Hospital is difficult to achieve and would only be suited to ancillary services, such as Cafe or Cafeteria, due to the required access.
- The maintaining Hotham house and the required operating theatres creates a narrow pathway disconnecting and reducing the functional arrangement of the Private Hospital.
- Maintaining Hotham house reduces usable floor space over the 3 levels; this reduction lowers the viability of the redevelopment.
- If retained, the required upgrades to achieve compliance standards in a Hospital setting, would impact a large portion of the retained fabric.
- For further discussion on retention options explored, see the previous report sections 5.3 & 5.4.

#### ***Demolition of a Building or Structure***

- *Have all options for retention and adaptive re-use been explored?*
- *Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?*
- *Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?*
- *Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?*

### Comment

There has been adequate exploration of retention and adaptive re-use options to show that the reduction in function and potential services provided by the President Private Hospital would be significantly reduced if Hotham House is retained. This reduction in services affects the viability of the Hospitals re-development.

The current hospital proposal occupies the majority of the subject site, only leaving boundary setbacks, avoiding stormwater, and providing courtyard spill out spaces, leaving little room for re-location of Hospital services required if Hotham house is retained.

Demolition of the Hotham house has already been postponed from its 2009 demolition approval, and it is in this time that the house has been Heritage Listed.

Heritage advice was not sought in the early stages of design development as at this time the House was not Heritage listed, however it has been sought post the interim heritage order.

Mitigation measures have been suggested in the form of Heritage Interpretation on-site, and Photographic archival recording, discussed in section 7.6 of this report.

### Major Additions

- *How is the impact of the addition on the heritage significance of the item to be minimised?*
- *Can the additional area be located within an existing structure? If no, why not?*
- *Will the additions tend to visually dominate the heritage item?*
- *Is the addition sited on any known, or potentially significant archaeological deposits? If so, have alternative positions for the additions been considered?*
- *Are the additions sympathetic to the heritage item? In what way (eg form, proportions, design)?*

### Comment

The major additions proposed to the President Private Hospital would likely overwhelm Hotham House if the Heritage Item was to be retained. If the Hospital development retained Hotham House, and established a suitable scale and backdrop to the Historic building, the proposed Hospital redevelopment would likely be more than halved in size.

## 7.4 HERITAGE OBJECTIVES OF THE SUTHERLAND SHIRE LEP 2015

The proposed development is considered to be acceptable, from a heritage perspective, for the following reasons:

- The statement of significance for Hotham House focuses only on the aesthetic contribution to Sutherland.
- The demolition of Hotham House, from a Heritage perspective causes only a moderate aesthetic impact to the environmental heritage of Sutherland Shire.
- This pleasant aesthetic contribution holds little weight in comparison to the public benefit provided to the community of Sutherland gained by the redevelopment of the Hospital.
- The demolition of Hotham House should be mitigated via a Heritage Interpretation Plan, which should be required as a condition of consent (see Section 7.6). In which some original features potentially including leadlight windows, fireplace surrounds and decorative ceilings could be retained and adapted or displayed.

The proposal is, therefore, considered to be an acceptable variation from the relevant heritage objectives of the *Sutherland LEP 2015*, which are:

### 5.10 Heritage conservation

#### (1) Objectives

*The objectives of this clause are as follows:*

- (a) *to conserve the environmental heritage of Sutherland Shire,*
- (b) *to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*

## 7.5 HERITAGE GUIDELINES OF THE SUTHERLAND SHIRE DCP 2015

Sutherland DCP 2015 does not appear to have any specific heritage provisions.



## 7.6 RECOMMENDED MITIGATION MEASURES

An archival photographic recording of the Hotham house should be required as a condition of consent. The recording should be undertaken in accordance with the NSW Heritage Council publication “*Photographic Recording of Heritage Items Using Film or Digital Capture*”, made prior to any demolition works. This should be lodged with the Sutherland Shire archives to facilitate its future use as a historical record.

The below extract is from the summary of advice received from Government Architect NSW, in regards to President Private Hospital State Design Review Panel – Session 3 REV: Additional Landscape Advice, dated 10 March 2020

*HERITAGE Integrating heritage interpretation elements into Hotham House Park is supported - the re-use of sandstone foundations and recycled materials from the house within this space should be further explored in detail design. Engaging with a heritage design consultant may be beneficial at this stage.*

Please note: Hotham house sits on common brick foundations.

Heritage interpretation plan should be a required condition of consent to identify items to be re-used and adapted, or displayed as interpretation pieces within the proposed hospital additions and courtyards, in addition to interpretation displays of Hotham Farm. The items retained could potentially include:

- Leadlight windows and entrance door (including sidelights and transom windows),
- Fireplace surrounds and hearths,
- Decorative ceiling plaster work,

A deconstruction methodology should be employed to ensure that the works are undertaken in a manner that prevents any potential for damage to all items selected to be re-used or utilised for heritage interpretation with President Private Hospital. Measures should be taken as necessary to avoid any physical impact to these items during deconstruction. The items should be labelled to allow future identification and stored safely during the construction works until such time as they are to be installed carefully. Protective measures should be undertaken during the movement of these items and for the duration of the construction period.

# 8.0

## CONCLUSIONS AND RECOMMENDATIONS

### 8.1 CONCLUSIONS

- 65 Hotham Road, GyMEA is listed as an item of local heritage significance in Schedule 5 of the *Sutherland Shire LEP 2015*.
- Other listed heritage items in the wider locality are separated from the subject site by significant distance and have no direct visual connection to the site.
- The statement of significance for Hotham House focuses only on the aesthetic contribution to Sutherland Shire.
- The demolition of Hotham House, from a Heritage perspective, causes only a moderate aesthetic impact on the environmental heritage of Sutherland Shire.
- This pleasant aesthetic contribution holds little weight in comparison to the public benefit provided to the community of Sutherland Shire gained by the President Private Hospital's redevelopment.
- The demolition of Hotham House should be mitigated via a Heritage Interpretation Plan, which is recommended as a condition of consent (see Section 7.6). In which some original features, potentially including leadlight windows, fireplace surrounds and decorative ceilings, could be retained and adapted or displayed, in addition to interpretation panels displaying the History of Hotham Farm.
- The proposed development is considered to be an acceptable variation from the heritage requirements of the *Sutherland Shire LEP 2015*; relative to the proposals potential benefits.
- Should any unexpected relics be disturbed during excavation of the site, they must be managed under the Archaeological provisions of the *NSW Heritage Act*.

### 8.2 RECOMMENDATIONS

- Subject to the recommended mitigation measures in Section 7.6 of this report, GBA Heritage recommends the application to NSW Planning for approval.

# 9.0

## BIBLIOGRAPHY

### ARCHIVAL SOURCES

NSW Land Registry Services, Real Property Register

Sutherland Shire Local History, Sutherland Shire Libraries, <https://localhistory.sutherlandshire.nsw.gov.au/>

### PUBLICATIONS

Apperly R, Irving R, Reynolds P, *A Pictorial Guide to Identifying Australian Architecture Styles and Terms from 1788 to the Present*, NSW, Angus & Robertson, 2002

Architectural Projects Pty Ltd, Job No. 1810- 65 Hotham Road, GyMEA, Heritage Assessment Review, March 2019.

Curby, Pauline, Submission to Council on behalf Sutherland Shire Historical Society regarding DA 18/0788; 63-65 Hotham Road, 7 August 2018

Derrey, Mick, *J.H. Tyldesley's Hotham Poultry Farm*, Sutherland Shire Historical Society Quarterly Bulletin, issue 50, 1984\_november, p 60

ICOMOS Australia, *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter)*, Australia ICOMOS, 2013

Lawrence, Joan, *A Pictorial History of Sutherland Shire*, 1997, Kingsclear Books, Crows Nest,

Mayne-Wilson W, *Heritage Curtilages*, NSW Heritage Office and the Department of Urban Affairs and Planning, NSW, 1996

NSW Heritage Office and Department of Infrastructure Planning and Natural Resources, *NSW Heritage Manual*, Sydney, 2001

NSW Heritage Office, *Interpreting Heritage Places and Items Guidelines*, NSW Heritage Office, 2005

Sutherland Shire Council, *Sutherland Shire Development Control Plan 2015*, Sutherland Shire Council, 2015

Sutherland Shire Council, *Sutherland Shire Local Environmental Plan 2012/5*, Sutherland Shire Council, 2015

### WEBSITES

City of Sydney Archives - Digital Information, Sands Directory Search 1858-1933, [www.cityofsydney.nsw.gov.au/learn/search-our-collections/sands-directory/sands-search](http://www.cityofsydney.nsw.gov.au/learn/search-our-collections/sands-directory/sands-search)

National Library of Australia - Trove, <http://trove.nla.gov.au>

Nearmap, <http://maps.au.nearmap.com>

NSW Government Legislation, [www.legislation.nsw.gov.au](http://www.legislation.nsw.gov.au)



NSW LRS Parish and Historical Maps, <http://parishmaps.lands.nsw.gov.au/pmap.html>

NSW LRS SIX Maps, [www.six.nsw.gov.au](http://www.six.nsw.gov.au)

NSW Heritage Inventory, <http://www.environment.nsw.gov.au/heritageapp/heritagesearch.aspx>