

PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

657-769 Mamre Road, Kemps Creek

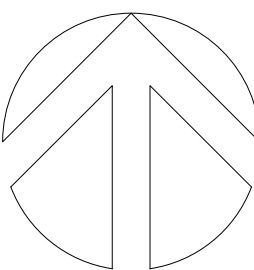
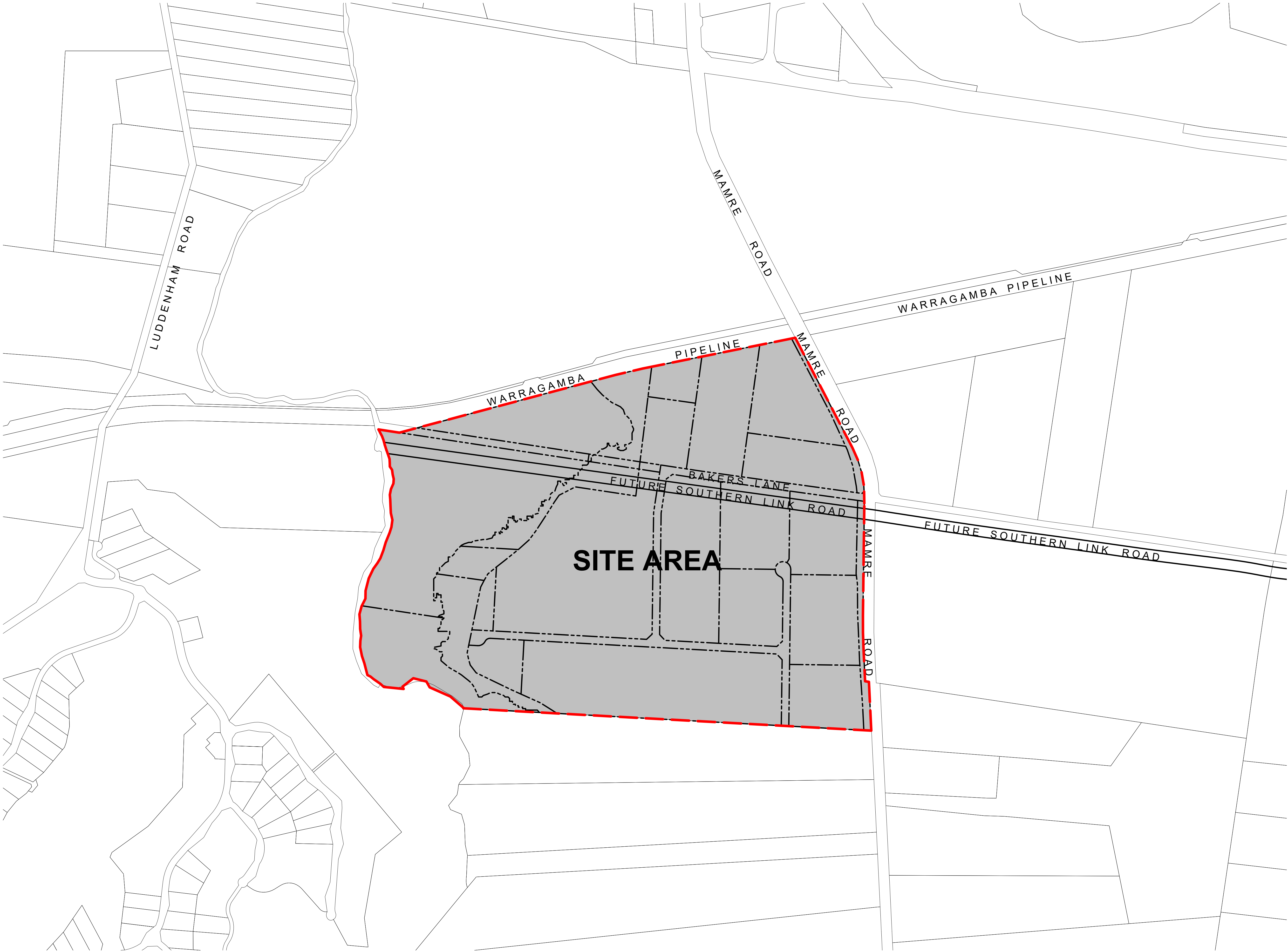
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318, Lot Y DP 421633 & Lot 22 DP 258414)

SP-KC1-DA-000		TITLE SHEET
SP-KC1-DA-001		LOCATION PLAN
SP-KC1-DA-003		SITE PLAN (WAREHOUSE 1A, 1B, 2, 3A, 3B & 4)
SP-KC1-DA-004		SITE PLAN (WAREHOUSE 5, 6, 7 & 8)
SP-KC1-DA-110		OFFICE 1A, 1B, 2, 3A, 3 & 4 (TYPICAL OFFICE PLAN)
SP-KC1-DA-111		OFFICE 5 FLOOR PLANS
SP-KC1-DA-112		OFFICE 6 FLOOR PLANS
SP-KC1-DA-113		OFFICE 7 FLOOR PLANS
SP-KC1-DA-114		OFFICE 8 FLOOR PLANS
SP-KC1-DA-200		WAREHOUSE 1A & 1B ELEVATIONS
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SP-KC1-DA-203		WAREHOUSE 4 ELEVATIONS
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SP-KC1-DA-300		SECTIONS AA, BB, CC, DD
SP-KC1-DA-301		SECTIONS EE, FF, GG, HH
SP-KC1-DA-400		INDICATIVE LIGHTING PLAN (WAREHOUSE 1A, 1B, 2, 3A , 3B & 4)
SP-KC1-DA-401		INDICATIVE LIGHTING PLAN (WAREHOUSE 5, 6, 7, 8)
SP-KC1-DA-500		ESTATE SIGNAGE
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SP-KC1-DA-502		ESTATE SIGNAGE ENTRY FEATURES - SHEET 1
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SP-KC1-DA-505		TYPICAL PEDESTRIAN ACCESS ROUTE
SP-KC1-DA-506		LANDSCAPE SECTIONS EE & FF
SP-KC1-DA-600		OFFICE 1B PERSPECTIVE
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SP-KC1-DA-605		OFFICE 7 PERSPECTIVES
SP-KC1-DA-606		OFFICE 8 PERSPECTIVES



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REVISION	DESCRIPTION	DATE
E	DA ISSUE	06/05/2019
F	DA ISSUE	21/10/2019
G	DA ISSUE	01/05/2020
H	DA ISSUE	18/05/2020
I	DA ISSUE	31/07/2020



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
LOCATION PLAN

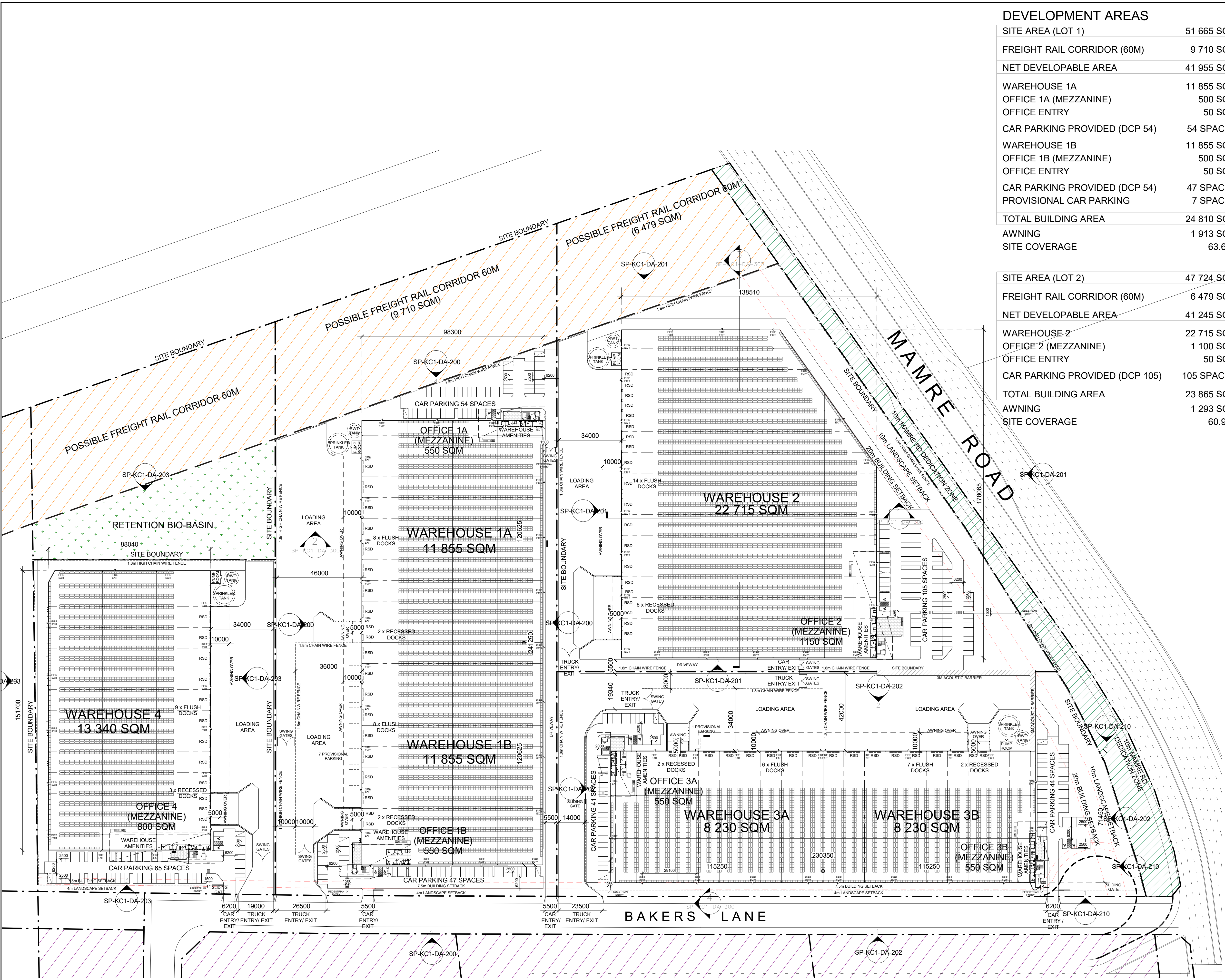
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DATE 31/07/2020
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DRAWING NUMBER
SP-KC1-DA-001

ISSUE
I

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DEVELOPMENT AREAS

SITE AREA (LOT 1)	51 665 SQM
FREIGHT RAIL CORRIDOR (60M)	9 710 SQM
NET DEVELOPABLE AREA	41 955 SQM
WAREHOUSE 1A	11 855 SQM
OFFICE 1A (MEZZANINE)	500 SQM
OFFICE ENTRY	50 SQM
CAR PARKING PROVIDED (DCP 54)	54 SPACES
WAREHOUSE 1B	11 855 SQM
OFFICE 1B (MEZZANINE)	500 SQM
OFFICE ENTRY	50 SQM
CAR PARKING PROVIDED (DCP 54)	47 SPACES
PROVISIONAL CAR PARKING	7 SPACES
TOTAL BUILDING AREA	24 810 SQM
AWNING	1 913 SQM
SITE COVERAGE	63.6 %

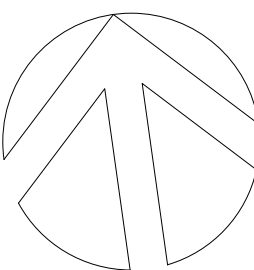
SITE AREA (LOT 2)	47 724 SQM
FREIGHT RAIL CORRIDOR (60M)	6 479 SQM
NET DEVELOPABLE AREA	41 245 SQM
WAREHOUSE 2	22 715 SQM
OFFICE 2 (MEZZANINE)	1 100 SQM
OFFICE ENTRY	50 SQM
CAR PARKING PROVIDED (DCP 105)	105 SPACES
TOTAL BUILDING AREA	23 865 SQM
AWNING	1 293 SQM
SITE COVERAGE	60.9 %

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E	DA ISSUE	06/05/2018
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G	DA ISSUE	01/05/2020
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SITE AREA (LOT 3)	36 493 SQM
WAREHOUSE 3A	8 230 SQM
OFFICE 3A (MEZZANINE)	500 SQM
OFFICE ENTRY	50 SQM
CAR PARKING PROVIDED (DCP 42)	41 SPACES
PROVISIONAL CAR PARKING	1 SPACES
WAREHOUSE 3B	8 230 SQM
OFFICE 3B (MEZZANINE)	500 SQM
OFFICE ENTRY	50 SQM
CAR PARKING PROVIDED (DCP 42)	44 SPACES
TOTAL BUILDING AREA	17 560 SQM
AWNING	1 743 SQM
SITE COVERAGE	52.8 %

SITE AREA (LOT 4)	23 537 SQM
WAREHOUSE 4	13 340 SQM
OFFICE 4 (MEZZANINE)	750 SQM
OFFICE ENTRY	50 SQM
CAR PARKING PROVIDED (DCP 65)	65 SPACES
TOTAL BUILDING AREA	14 140 SQM
AWNING	1 013 SQM
SITE COVERAGE	64.3 %



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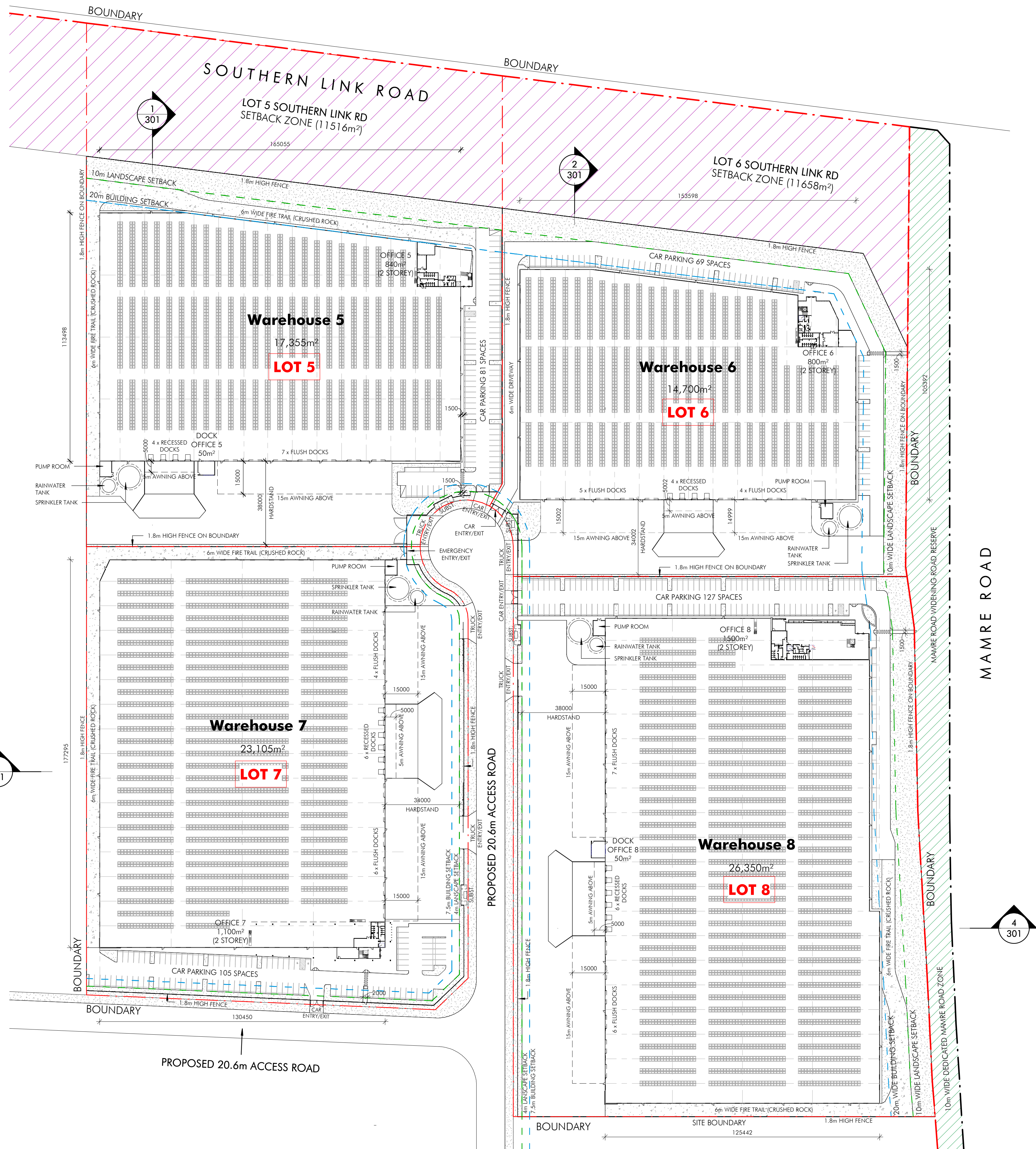
DRAWING TITLE
SITE PLAN (WAREHOUSE 1A, 1B, 2, 3A, 3B & 4)

SCALE 1: 1000
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DATE 31/07/2020
JOB NUMBER

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1 SITE PLAN (WAREHOUSE 1A, 1B, 2, 3A, 3B, 4)
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1 Site Plan (Warehouse 5, 6, 7, 8)
1 : 1000

DEVELOPMENT AREAS

SITE AREA (LOT 5)	42 454m ²
SOUTHERN LINK RD SETBACK ZONE	11 516m ²
NET DEVELOPABLE AREA (LOT 5)	30 938m ²

WAREHOUSE 5	17 355m ²
OFFICE 5 (2 STOREY)	840m ²
DOCK OFFICE 5	50m ²

CAR PARKING REQUIRED (DCP)	81 SPACES
CAR PARKING PROVIDED	81 SPACES

TOTAL BUILDING AREA	18 245m ²
AWNING	1 294m ²
SITE COVERAGE (EXCLUDING WAREHOUSE AWNING AREAS)	17 902m ² (57.9%)

SITE AREA (LOT 6)	40 152m ²
SOUTHERN LINK RD SETBACK ZONE	11 658m ²
NET DEVELOPABLE AREA (LOT 6)	28 494m ²
WAREHOUSE 6	14 700m ²
OFFICE 6 (2 STOREY)	800m ²

CAR PARKING REQUIRED (DCP)	69 SPACES
CAR PARKING PROVIDED	69 SPACES

TOTAL BUILDING AREA	15 500m ²
AWNING	1 631m ²
SITE COVERAGE (EXCLUDING WAREHOUSE AWNING AREAS)	15 164m ² (53.2%)

SITE AREA (LOT 7)	35 875m ²
WAREHOUSE 7	23 105m ²
OFFICE 7 (2 STOREY)	1100m ²

CAR PARKING REQUIRED (DCP)	105 SPACES
CAR PARKING PROVIDED	105 SPACES

TOTAL BUILDING AREA	24 205m ²
AWNING	1 808m ²
SITE COVERAGE (EXCLUDING WAREHOUSE AWNING AREAS)	23 459m ² (65.4%)

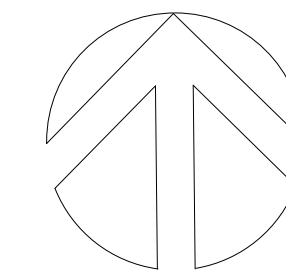
SITE AREA (LOT 8)	46 020m ²
WAREHOUSE 8	26 350m ²
OFFICE 8 (2 STOREY)	1 500m ²
DOCK OFFICE 8	50m ²

CAR PARKING REQUIRED (DCP)	127 SPACES
CAR PARKING PROVIDED	127 SPACES

TOTAL BUILDING AREA	27 900 m ²
AWNING	2 363m ²
SITE COVERAGE (EXCLUDING WAREHOUSE AWNING AREAS)	27 256m ² (59.2%)

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REVISION	DESCRIPTION	DATE
G	DA ISSUE	19/04/2020
H	DA ISSUE	19/05/2020
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PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

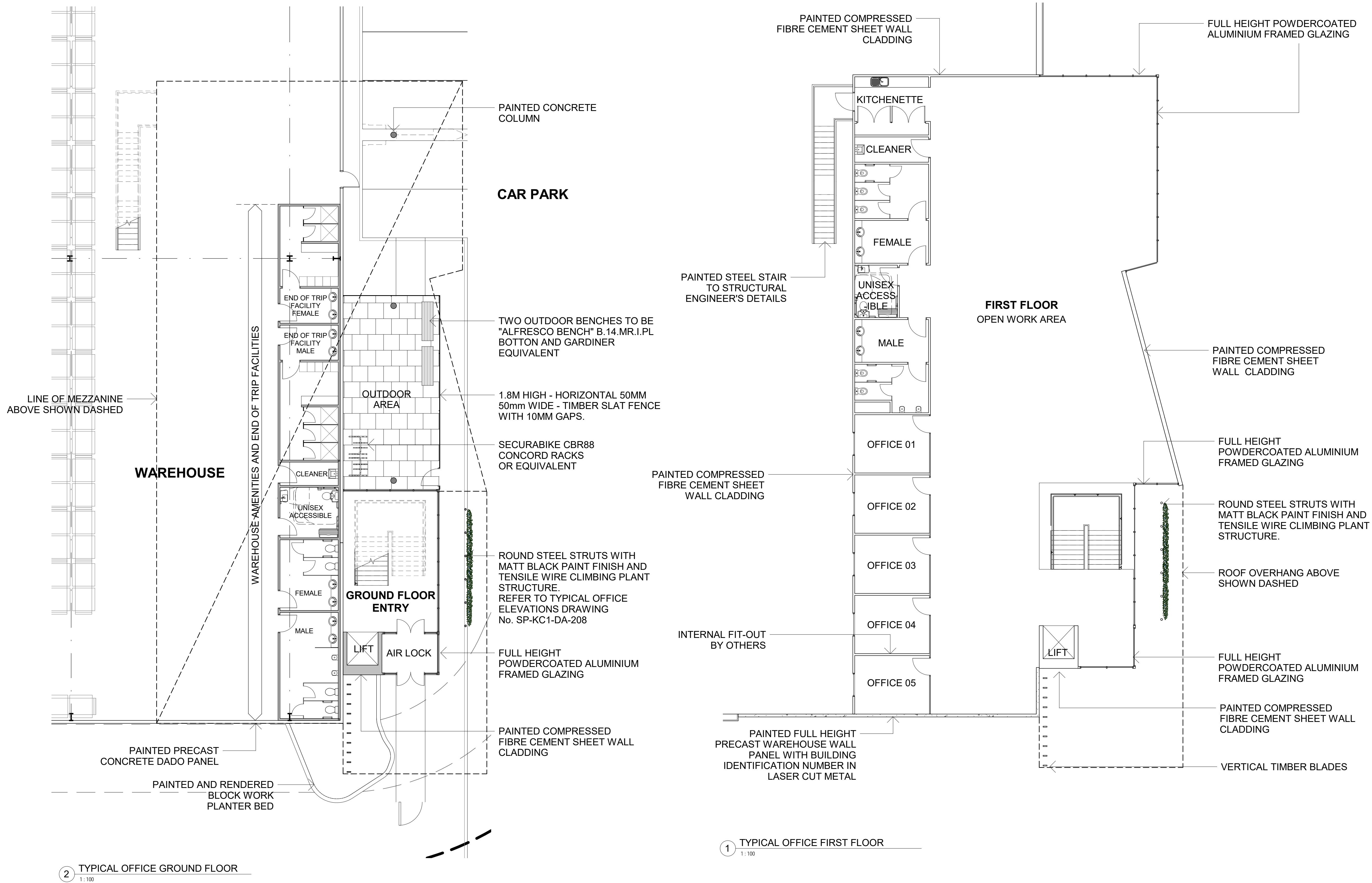
ADDRESS
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DRAWING TITLE
Site Plan (Warehouse 5, 6, 7, 8)

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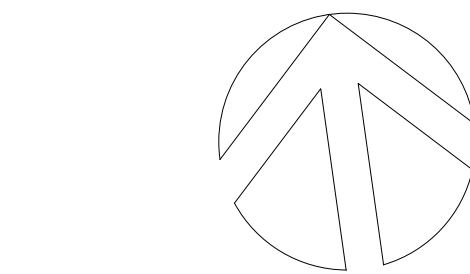
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2 TYPICAL OFFICE GROUND FLOOR
1:100

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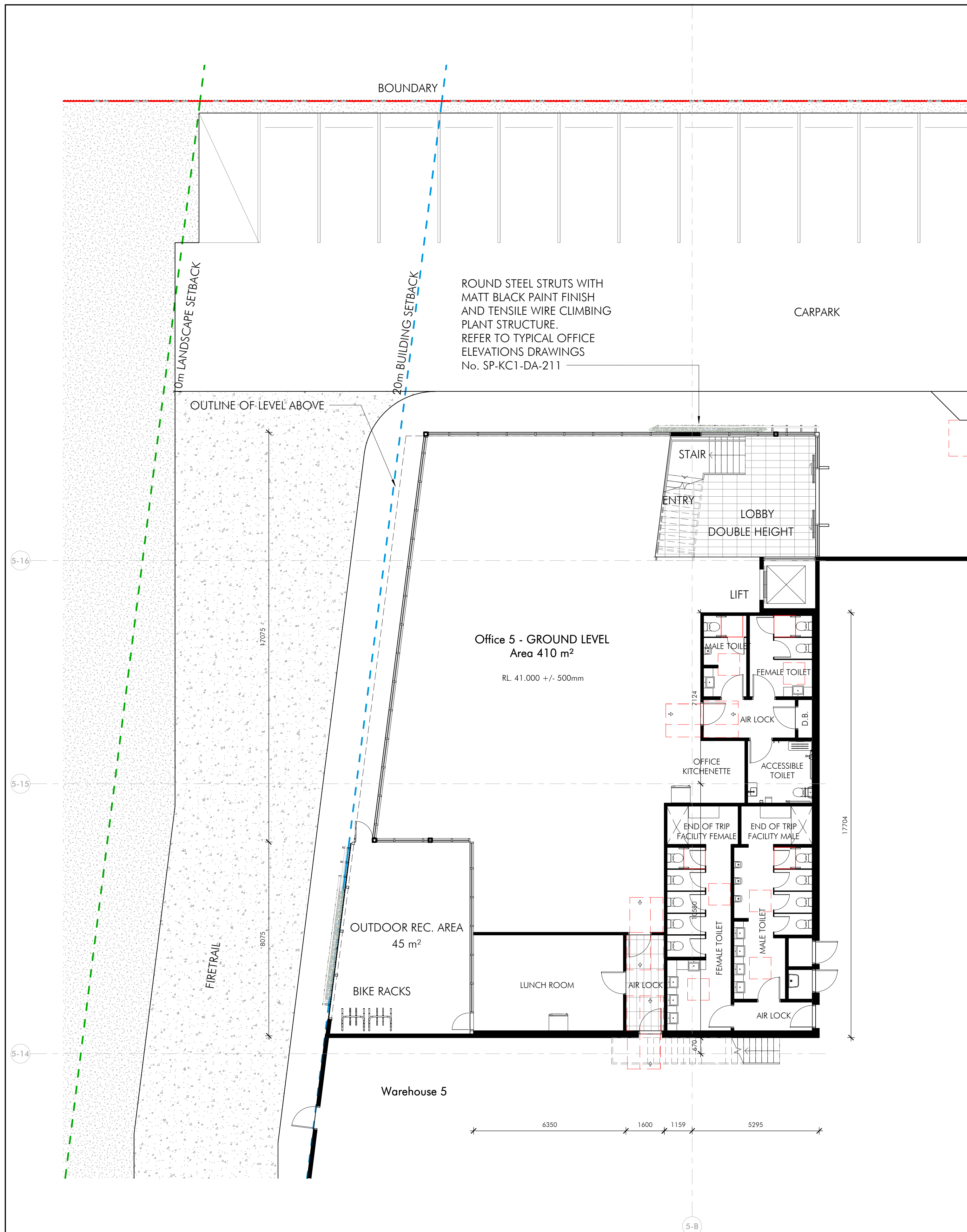
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DRAWING TITLE
OFFICE 1A, 1B, 2, 3A, 3 & 4
(TYPICAL OFFICE PLAN)

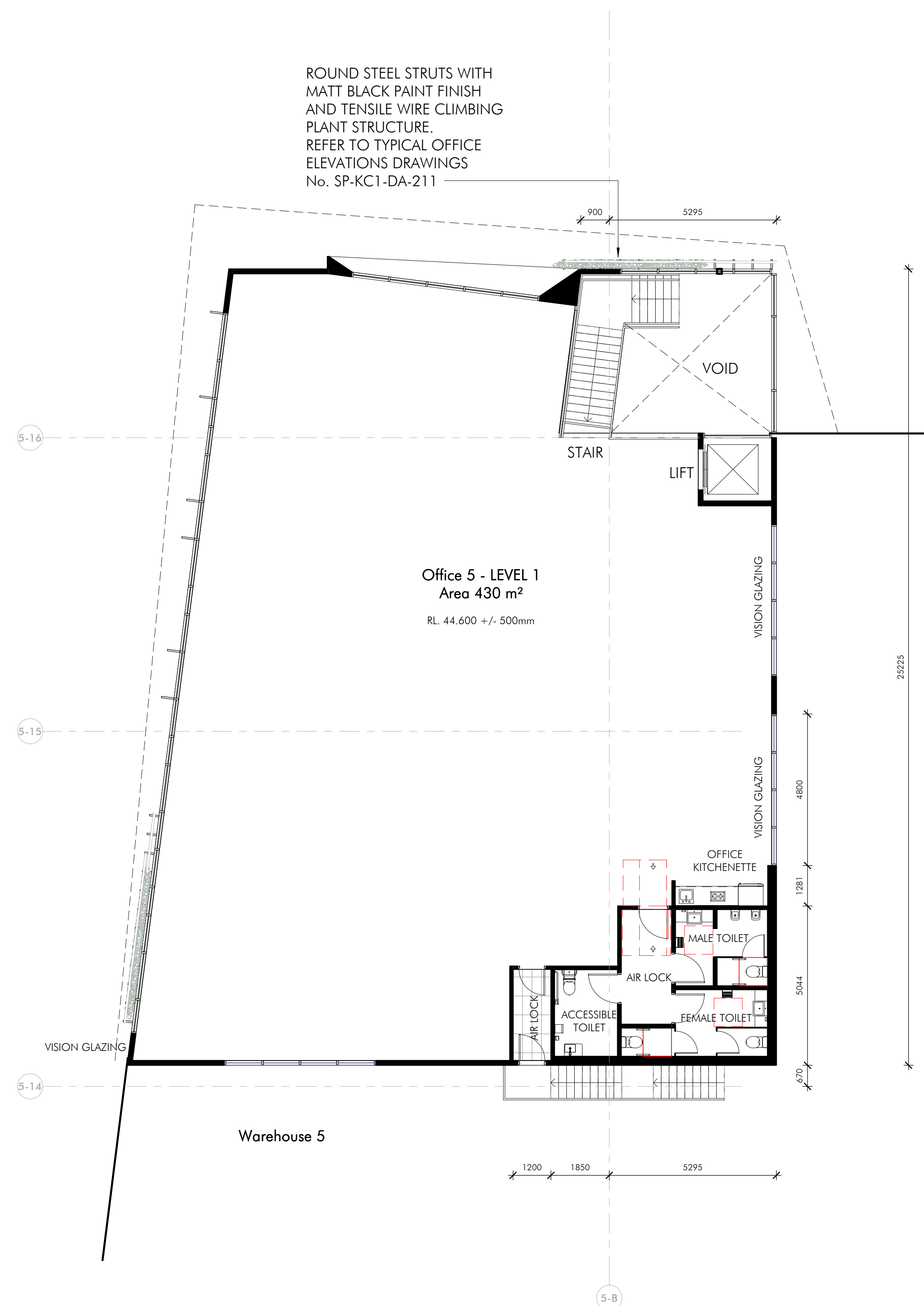
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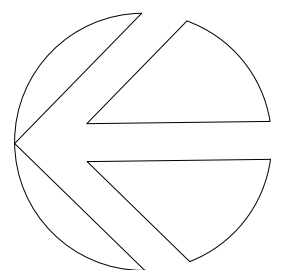
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1 Office Ground Floor Plan
1 : 100



2 Office First Floor Plan
1 : 100



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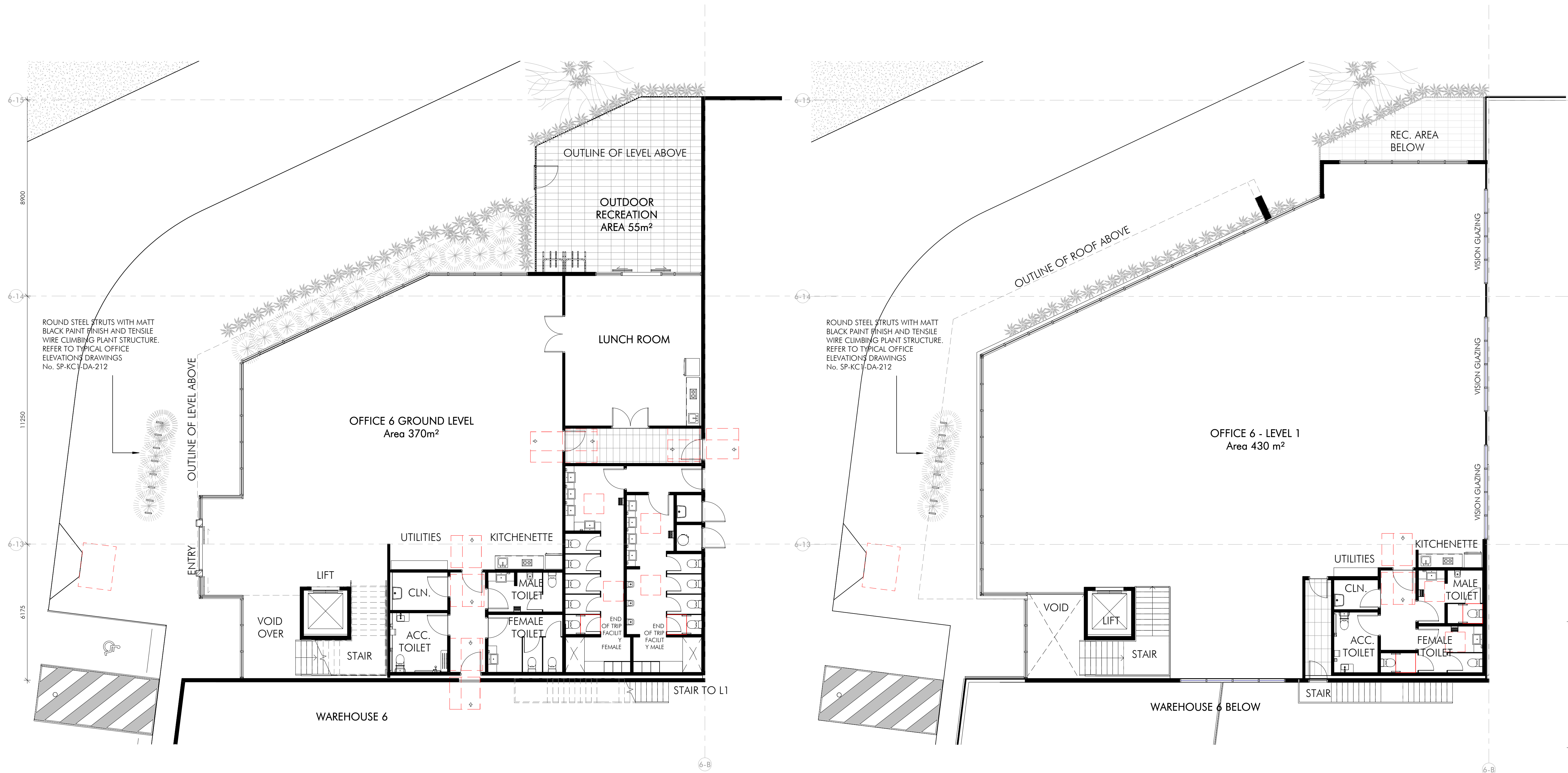
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DRAWING TITLE
Office 5 Floor Plans

SCALE 1 : 100
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DATE 30/07/2020
JOB NUMBER 10476

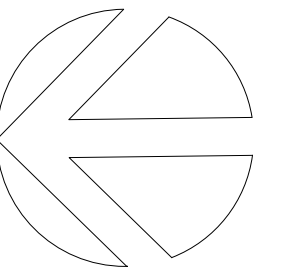
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SP-KC1-DA-111 I

REVISION	DESCRIPTION	DATE
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1 Office 6 Ground Floor Plan
1 : 100

2 Office 6 First Floor Plan
1 : 100



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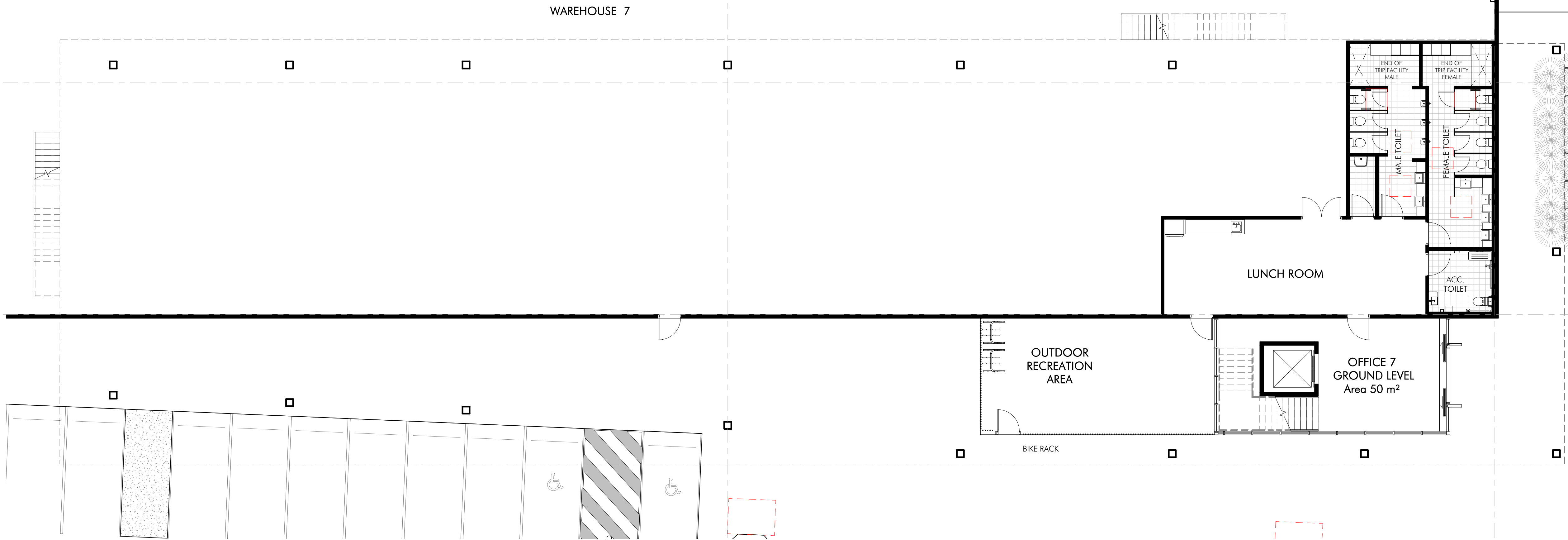
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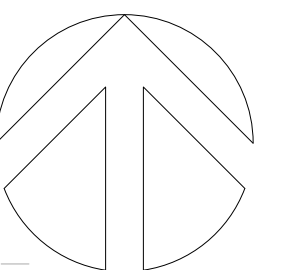
REVISION	DESCRIPTION	DATE
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1 B. Office 7_Ground Level
1:100



2 B. Office 7_Level 1
1:100



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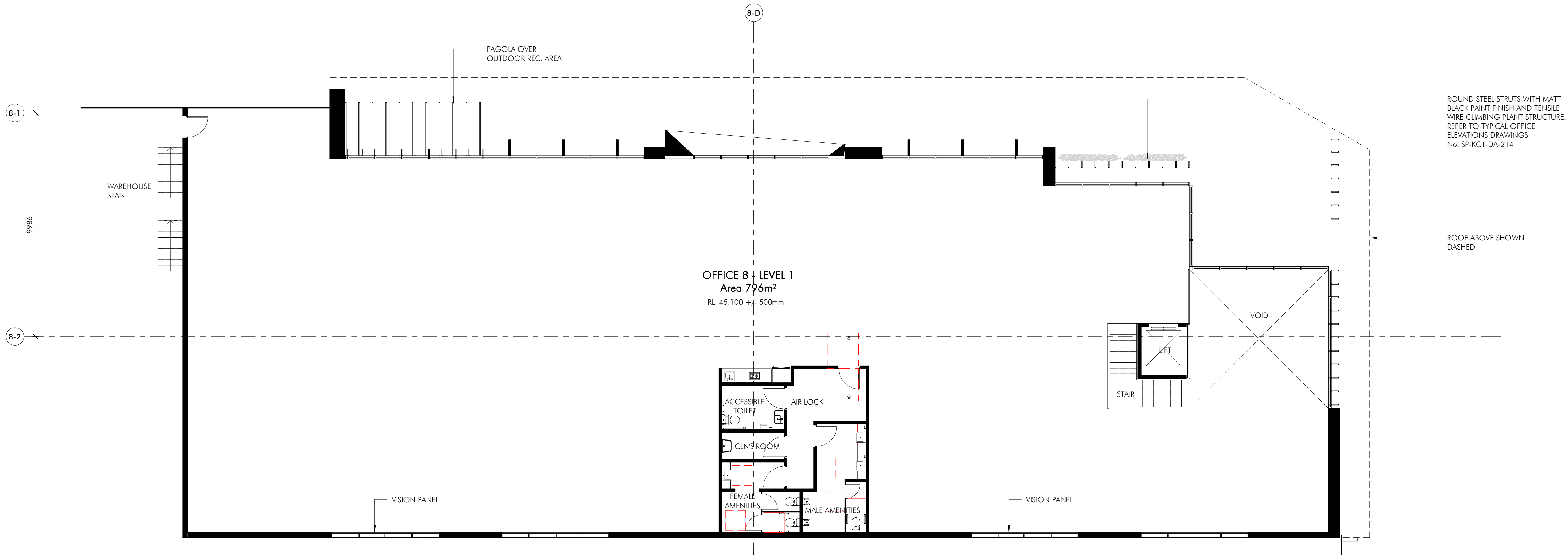
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Office 7 Floor Plans

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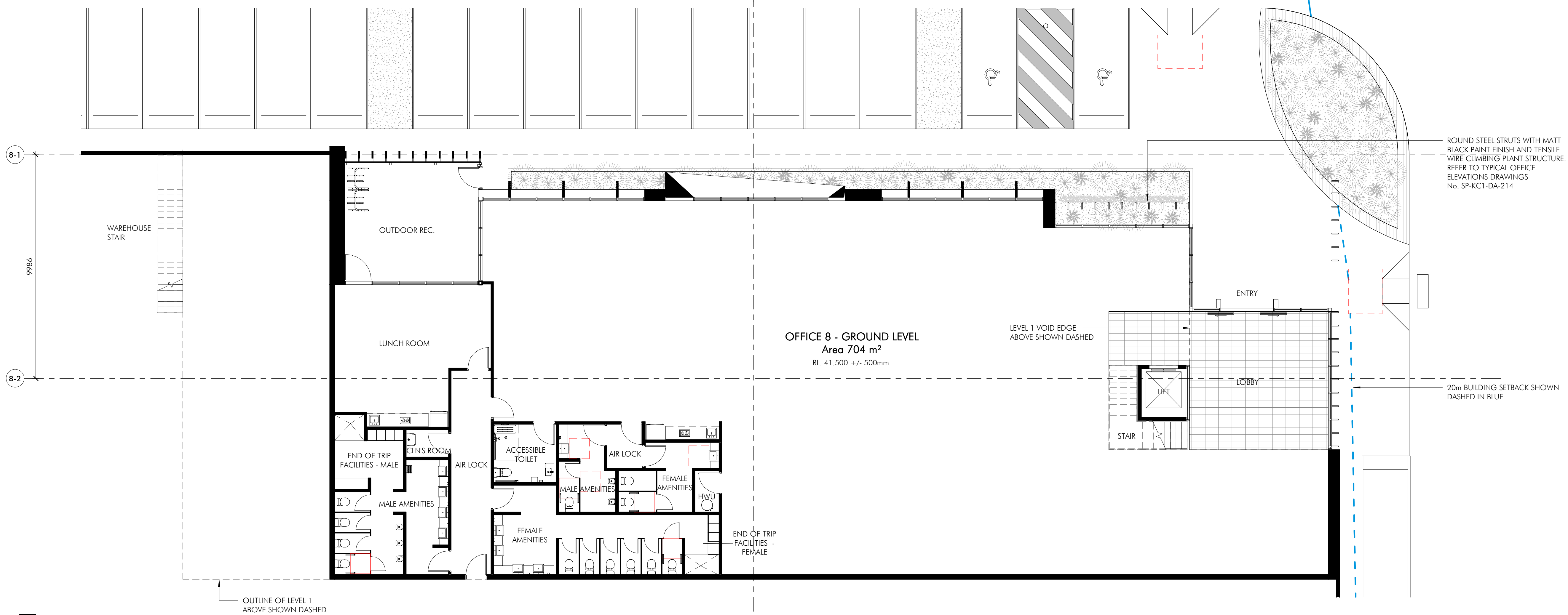
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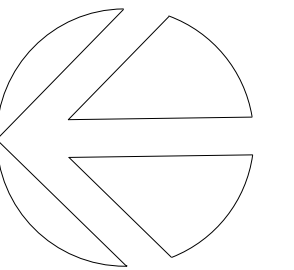
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2 Office 8 Level 1 Plan
1 : 100



1 Office 8 Ground Floor Plan
1 : 100



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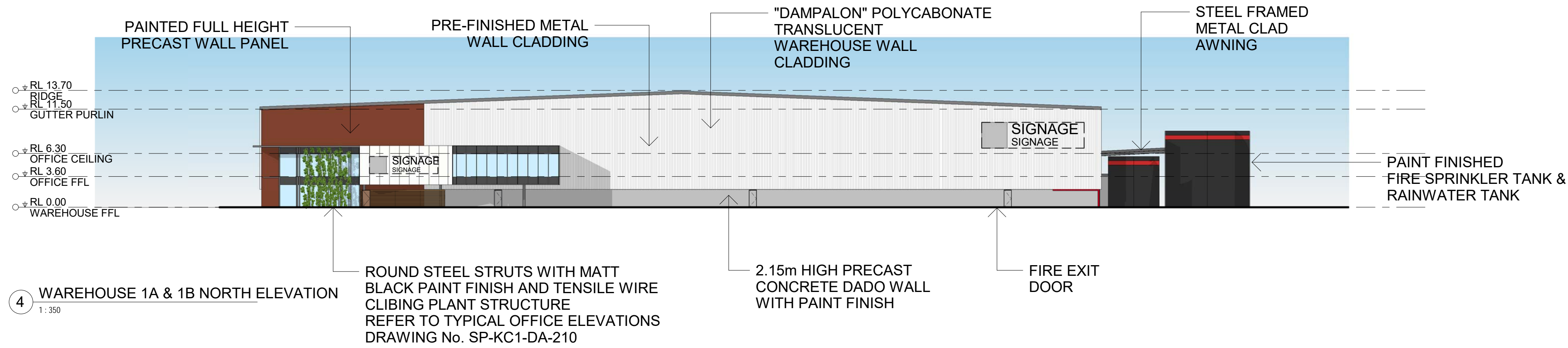
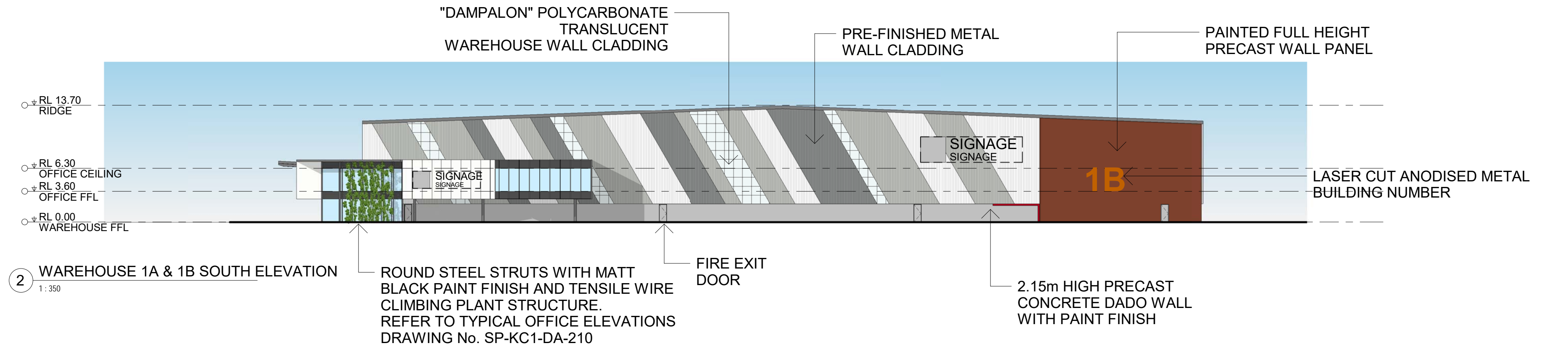
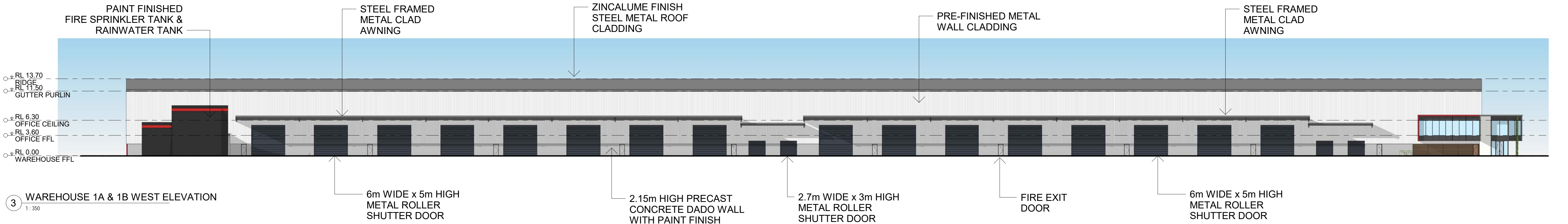
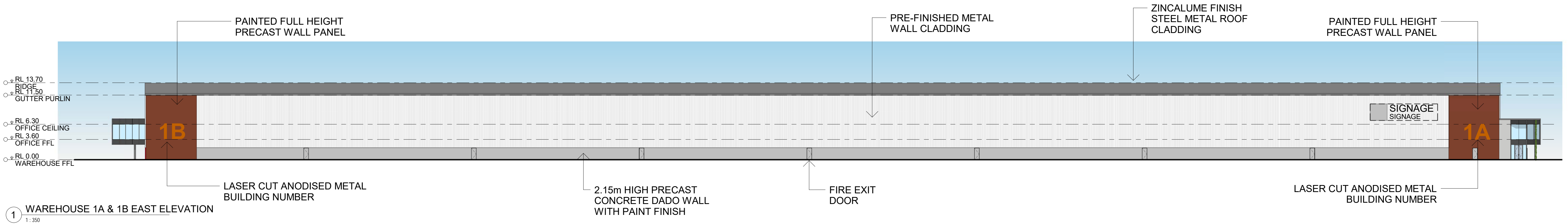
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DRAWING TITLE
Office 8 Floor Plans

SCALE 1 : 100
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DRAWING NUMBER ISSUE
SP-KC1-DA-114 I

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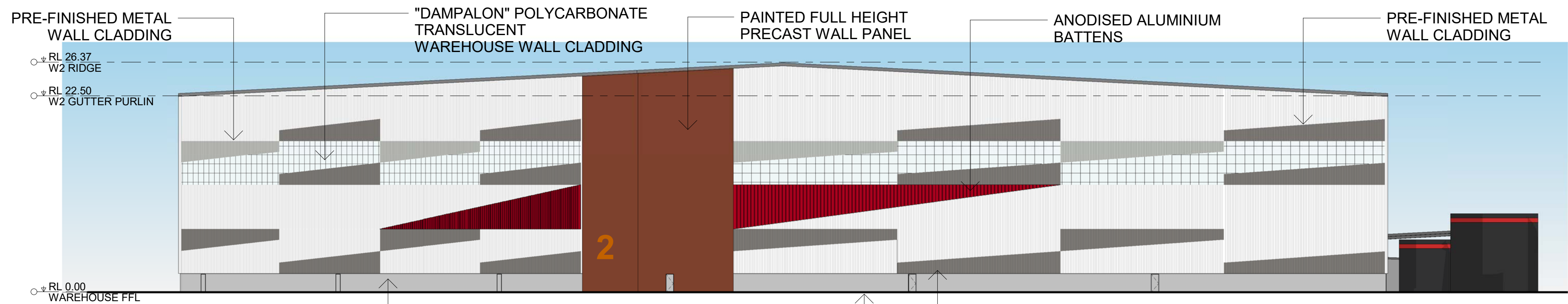
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DRAWING TITLE
WAREHOUSE 1A & 1B ELEVATIONS

SCALE 1 : 350
DRAWN MP
CHECKED MP
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER ISSUE
SP-KC1-DA-200 I

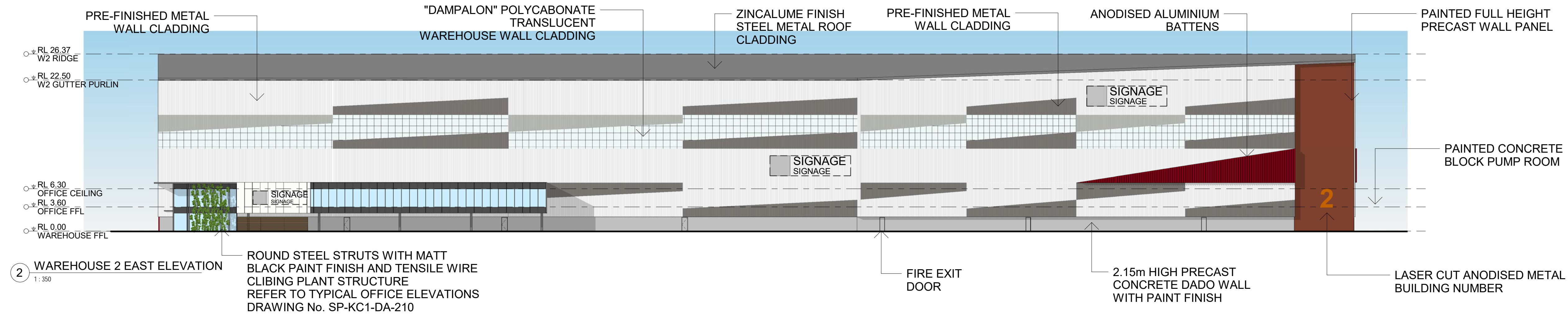


1 WAREHOUSE 2 NORTH ELEVATION
1: 350

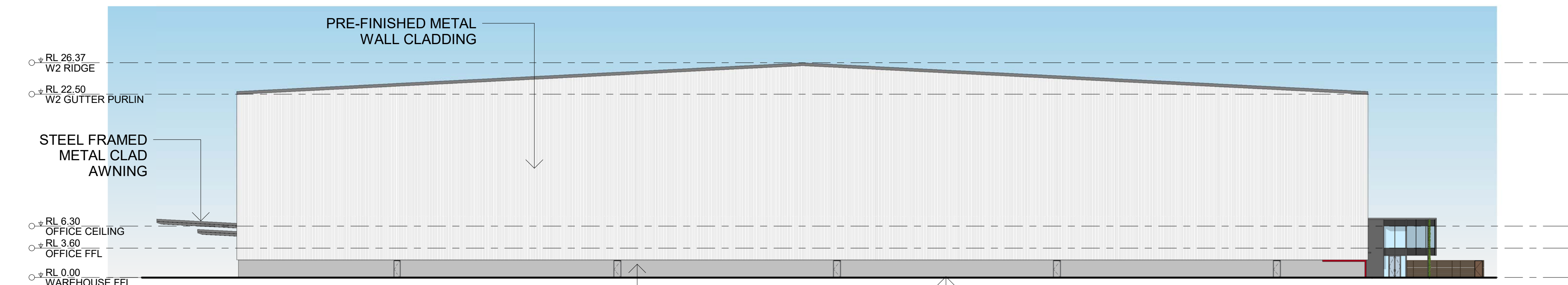
2.15m HIGH PRECAST CONCRETE DADO WALL WITH PAINT FINISH

FIRE SPRINKLER TANK & RAINWATER TANK

PAINTED CONCRETE BLOCK PUMP ROOM



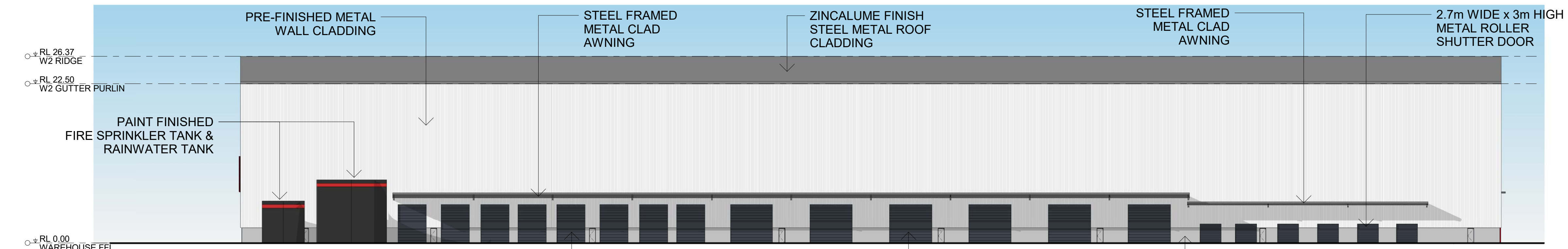
2 WAREHOUSE 2 EAST ELEVATION
1: 350



3 WAREHOUSE 2 SOUTH ELEVATION
1: 350

2.15m HIGH PRECAST CONCRETE DADO WALL WITH PAINT FINISH

FIRE EXIT DOOR



4 WAREHOUSE 2 WEST ELEVATION
1: 350

4m WIDE x 5m HIGH METAL ROLLER SHUTTER DOOR

6m WIDE x 5m HIGH METAL ROLLER SHUTTER DOOR

2.15m HIGH PRECAST CONCRETE DADO WALL WITH PAINT FINISH

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS. FOR FINAL LEVELS OF ALL EARTHWORKS.

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REVISION	DESCRIPTION	DATE
E	DA ISSUE	06/05/2019
F	DA ISSUE	21/10/2019
G	DA ISSUE	01/05/2020
H	DA ISSUE	16/05/2020
I	DA ISSUE	31/07/2020



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
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RHODES NSW 2138
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FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Menra Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

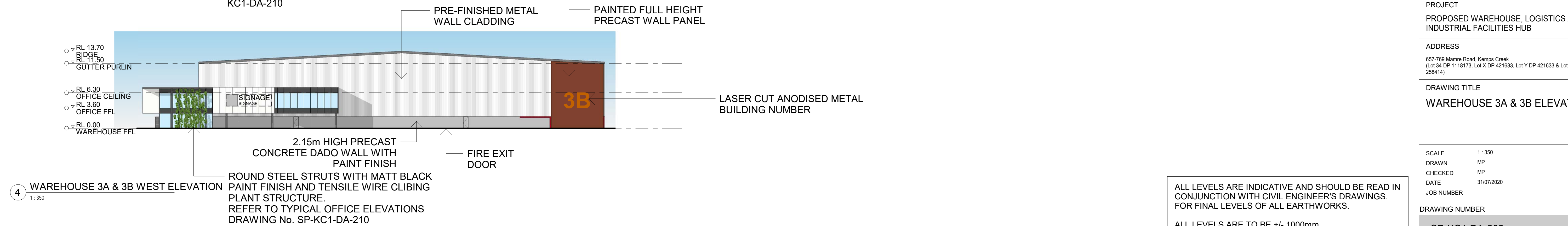
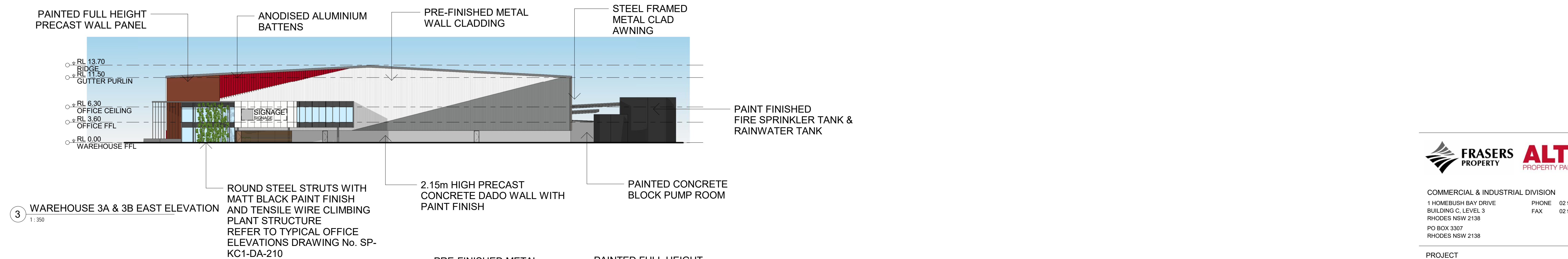
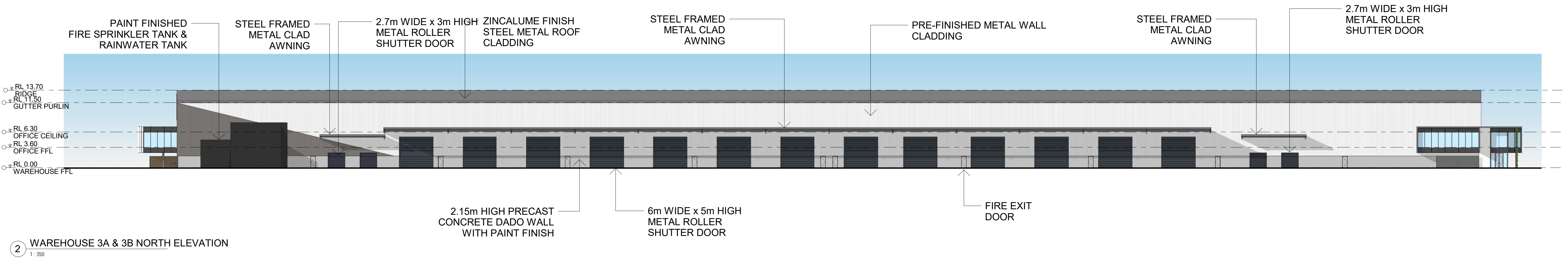
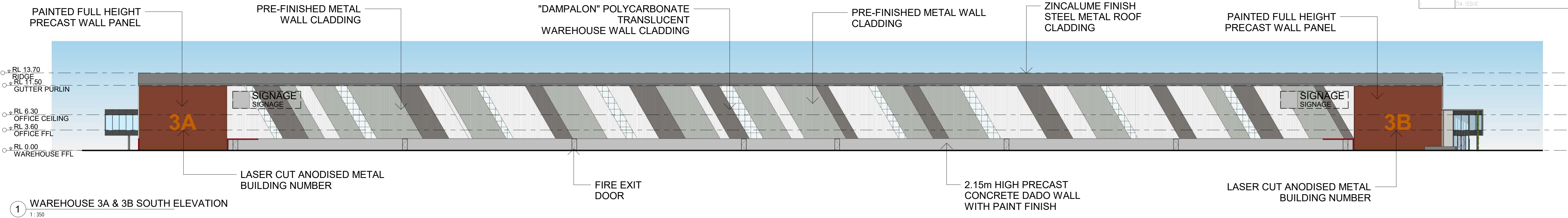
DRAWING TITLE
WAREHOUSE 2 ELEVATIONS

SCALE 1: 350
DRAWN MP
CHECKED MP
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER ISSUE
SP-KC1-DA-201 I

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I	DA ISSUE	31/07/2020



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PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

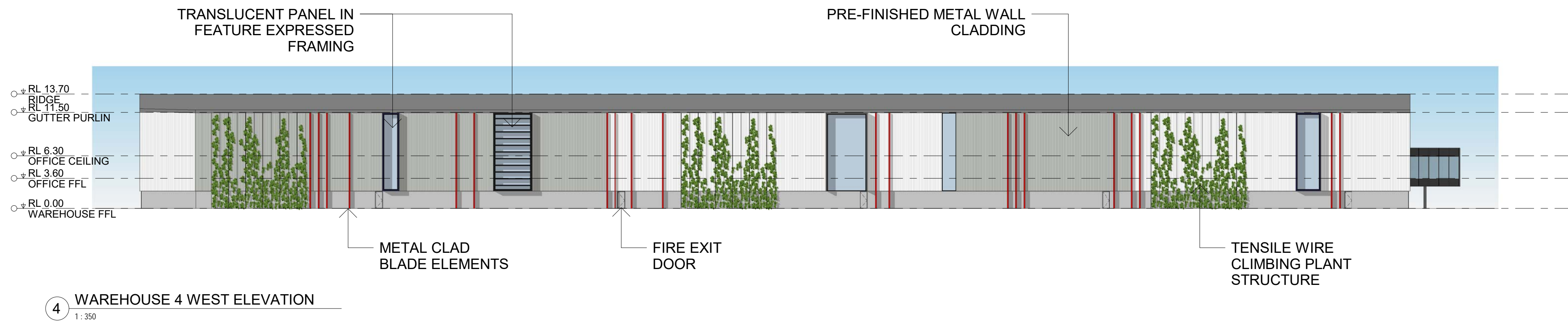
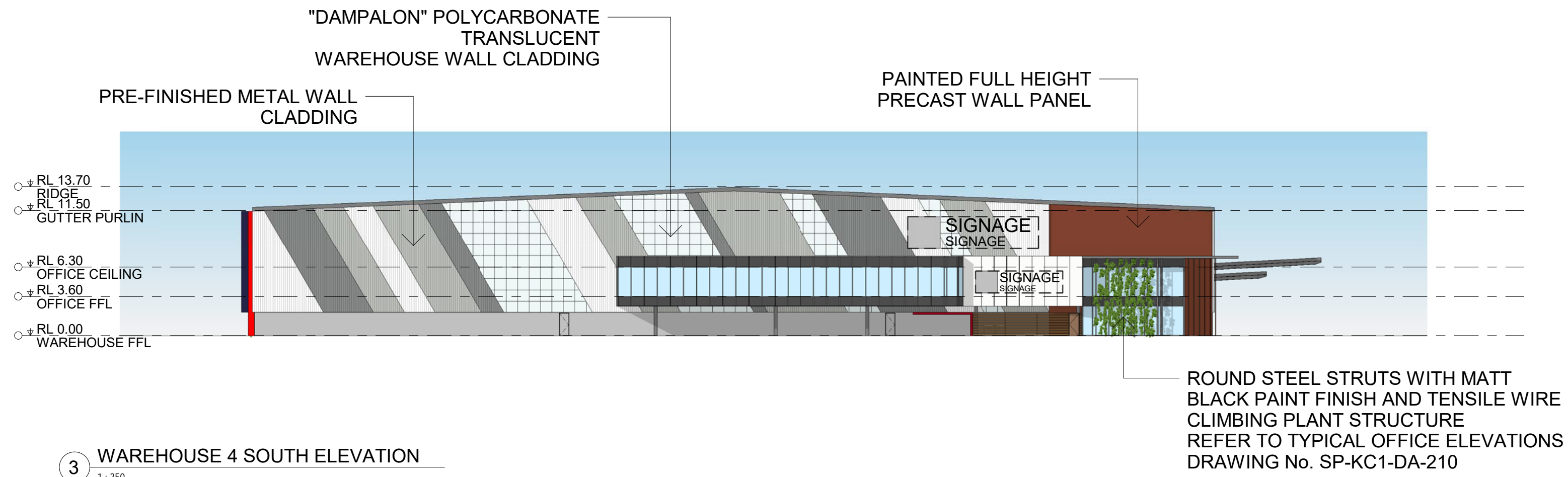
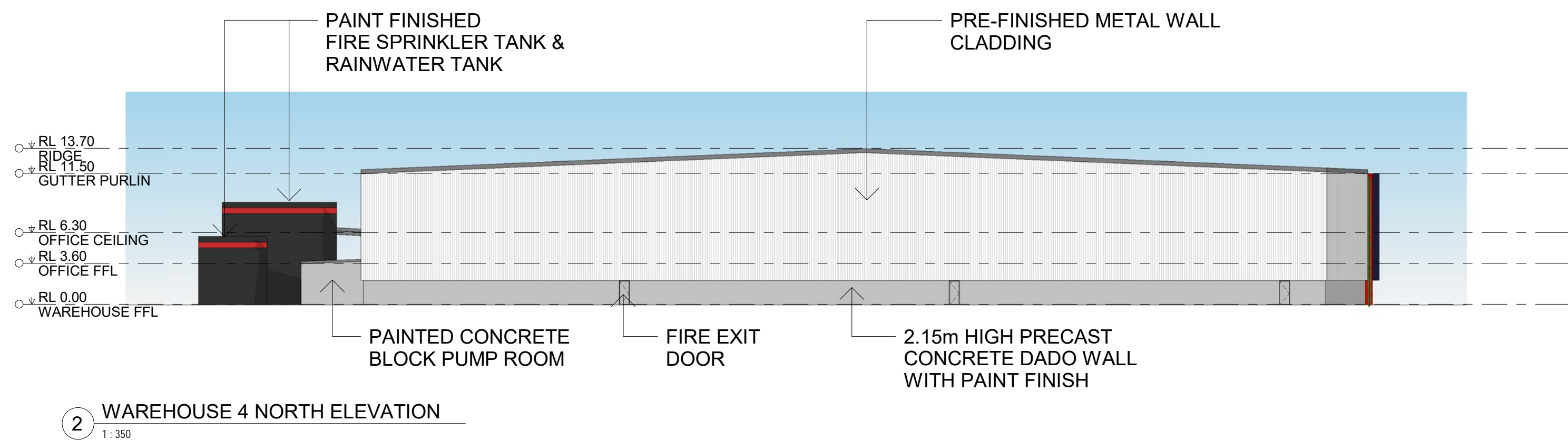
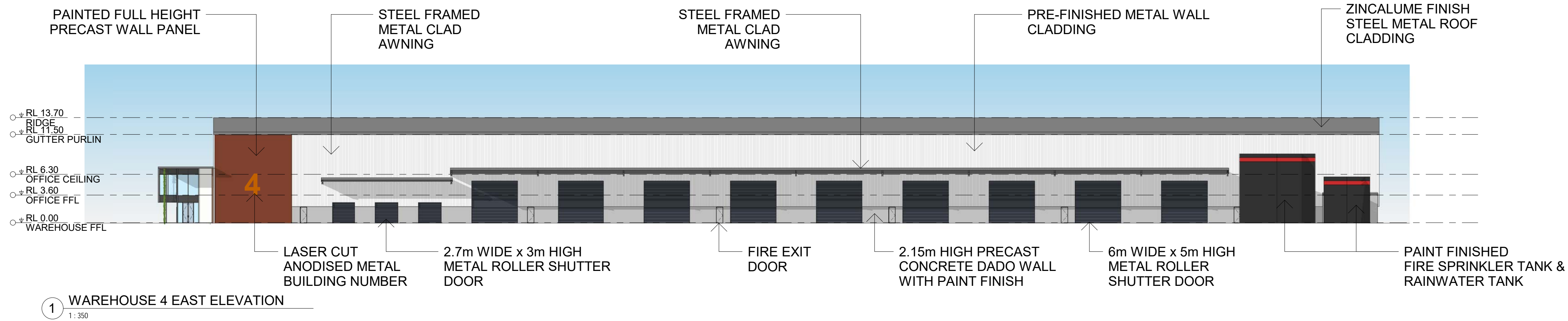
ADDRESS
657-769 Menra Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
WAREHOUSE 3A & 3B ELEVATIONS

SCALE 1:350
DRAWN MP
CHECKED MP
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER ISSUE
SP-KC1-DA-202 I

REVISION	DESCRIPTION	DATE
F	DA ISSUE	21/10/2019
G	DA ISSUE	01/05/2020
H	DA ISSUE	18/05/2020
I	DA ISSUE	31/07/2020



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ALL LEVELS ARE TO BE +/- 1000mm.



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PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Menra Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
WAREHOUSE 4 ELEVATIONS

SCALE 1:350
DRAWN MP
CHECKED MP
DATE 31/07/2020
JOB NUMBER

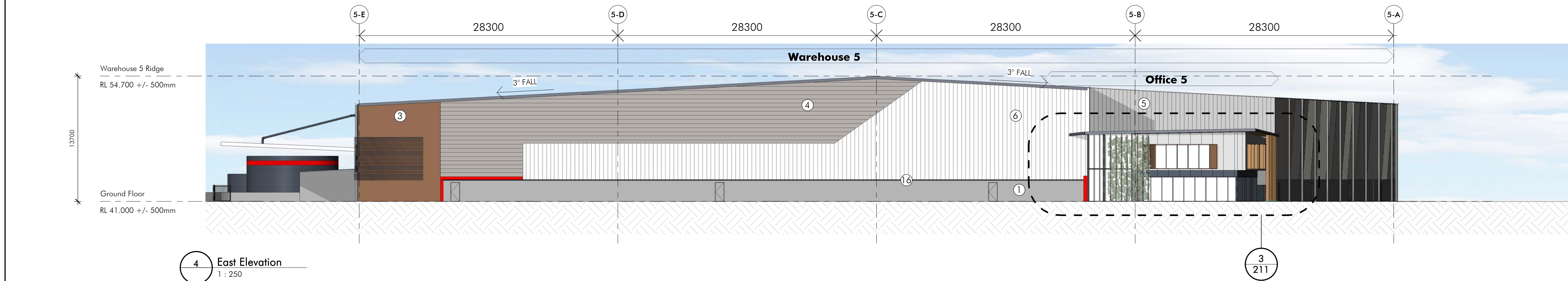
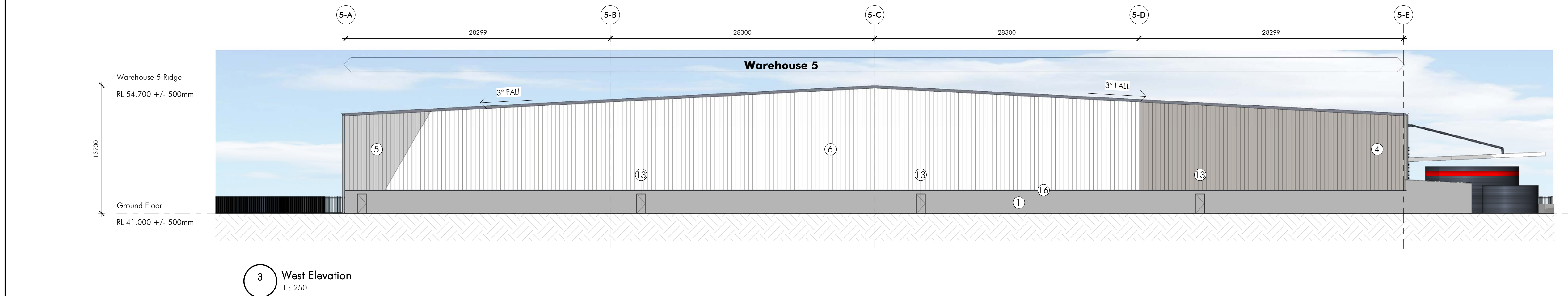
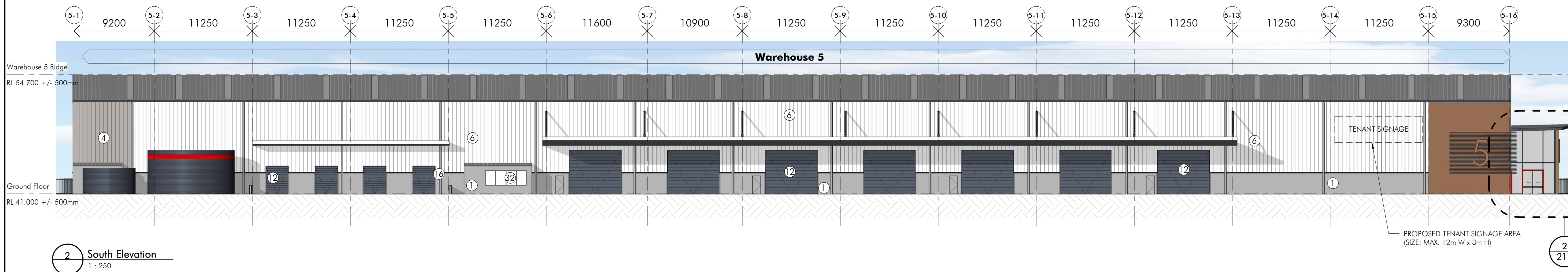
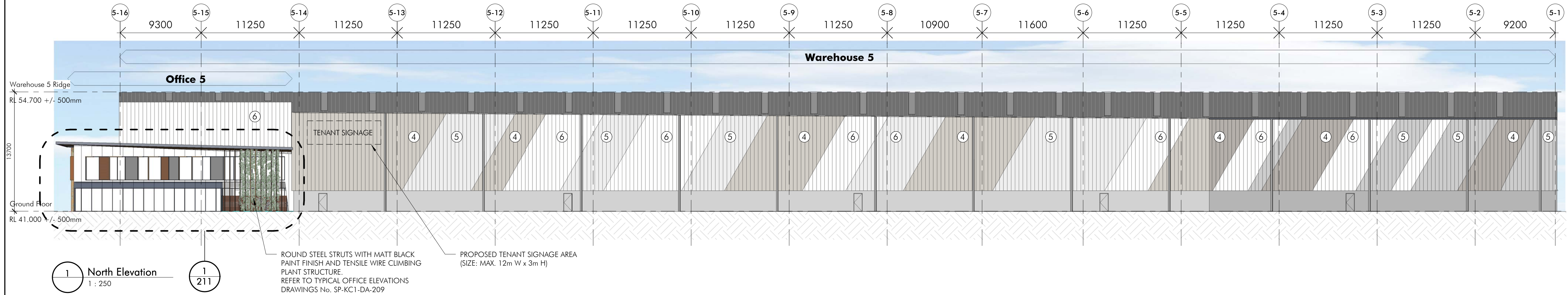
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REVISION	DESCRIPTION	DATE
H	DA ISSUE	19/05/2020
I	DA ISSUE	30/07/2020

EXTERNAL FINISH LEGEND WAREHOUSE

1. PAINTED PRECAST PANEL - "GULLY" OR SIMILAR
2. PAINTED PRECAST PANEL - "IRONSTONE" OR SIMILAR
3. PAINTED PRECAST FEATURE WALL - "BRONZE" OR SIMILAR
4. PROFILED METAL WALL CLADDING - COLORBOND "GULLY"
5. PROFILED METAL WALL CLADDING - COLORBOND "SHALE GREY"
6. PROFILED METAL WALL CLADDING - COLORBOND "SURFMIST"
7. TRANSLUCENT POLYCARBONATE SHEETING
8. ALUMINIUM BATTENS - RED
9. WIRE MESH TO SUPPORT SIGNAGE - "IRONSTONE" OR SIMILAR
10. ROOF ACCESSORIES - "GULLY"
11. ROOF ACCESSORIES - "IRONSTONE" OR SIMILAR
12. ROLLER SHUTTER DOOR - POWDERCOATED "IRONSTONE" OR SIMILAR
13. PAINTED DOOR & DOOR FRAMES - TO MATCH PRECAST COLOUR
14. PROFILED ROOF SHEETING - ZINCALUME
15. TRANSLUCENT PROFILED ROOF SHEETING
16. TOE MOULD "IRONSTONE" OR SIMILAR



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e: sydney@nettletontribe.com.au w: nettletontribe.com.au

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PO BOX 3307
RHODES NSW 2138

PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

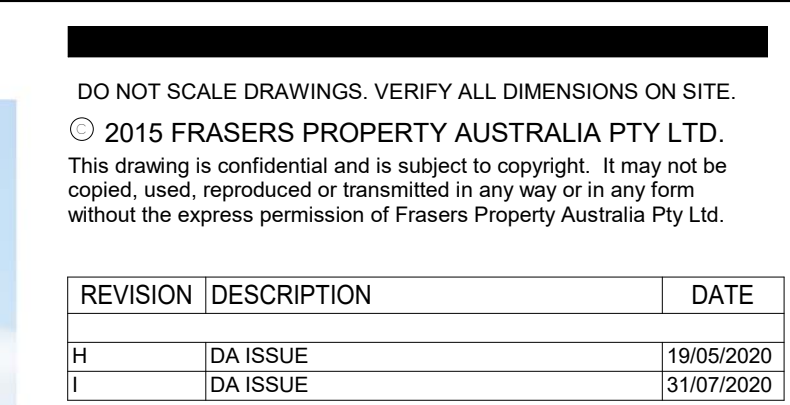
ADDRESS
657-769 Mamre Road, Kemps Creek
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Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
Warehouse 5 Elevations

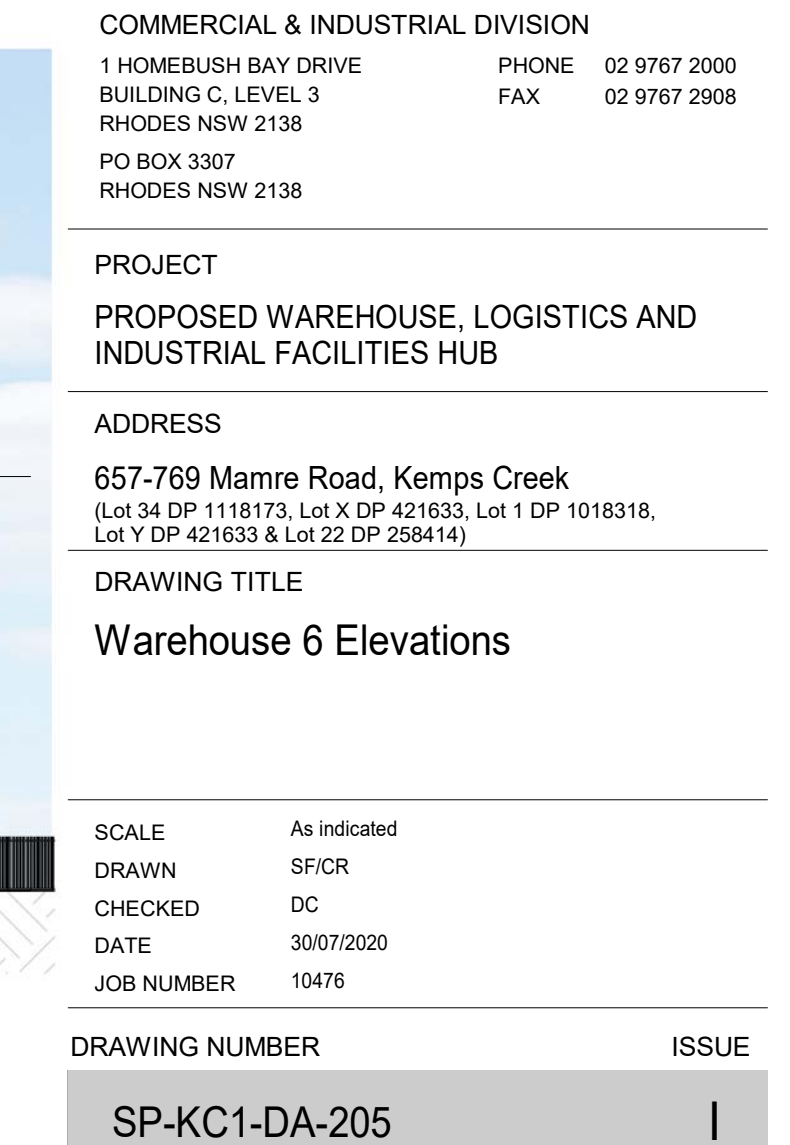
SCALE As indicated
DRAWN SF/CR
CHECKED DC
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER
SP-KC1-DA-204

ISSUE
I



1. PAINTED PRECAST PANEL -
"GULLY" OR SIMILAR
2. PAINTED PRECAST PANEL -
"IRONSTONE" OR SIMILAR
3. PAINTED PRECAST FEATURE WALL -
"BRONZE" OR SIMILAR
4. PROFILED METAL WALL CLADDING -
"COLORBOND "GULLY"
5. PROFILED METAL WALL CLADDING -
"COLORBOND "SHALE GREY"
6. PROFILED METAL WALL CLADDING -
"COLORBOND "SURFMIST"
7. TRANSLUCENT POLYCARBONATE SHEETING
8. ALUMINIUM BATTENS - RED
9. WIRE MESH TO SUPPORT SIGNAGE -
"IRONSTONE" OR SIMILAR
10. ROOF ACCESSORIES - "GULLY"
11. ROOF ACCESSORIES -
"IRONSTONE" OR SIMILAR
12. ROLLER SHUTTER DOOR - POWDERCOATED
"IRONSTONE" OR SIMILAR
13. PAINTED DOOR & DOOR FRAMES -
TO MATCH PRECAST COLOUR
14. PROFILED ROOF SHEETING - ZINCALUME
15. TRANSLUCENT PROFILED ROOF SHEETING
16. TOEMOULD "IRONSTONE" OR SIMILAR



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EXTERNAL FINISH LEGEND WAREHOUSE

1. PAINTED PRECAST PANEL - "GULLY" OR SIMILAR
2. PAINTED PRECAST PANEL - "IRONSTONE" OR SIMILAR
3. PAINTED PRECAST FEATURE WALL - "BRONZE" OR SIMILAR
4. PROFILED METAL WALL CLADDING - COLORBOND "GULLY"
5. PROFILED METAL WALL CLADDING - COLORBOND "SHALE GREY"
6. PROFILED METAL WALL CLADDING - COLORBOND "SURFMIST"
7. TRANSLUCENT POLYCARBONATE SHEETING
8. ALUMINIUM BATTENS - RED
9. WIRE MESH TO SUPPORT SIGNAGE - "IRONSTONE" OR SIMILAR
10. ROOF ACCESSORIES - "GULLY"
11. ROOF ACCESSORIES - "IRONSTONE" OR SIMILAR
12. ROLLER SHUTTER DOOR - POWDERCOATED "IRONSTONE" OR SIMILAR
13. PAINTED DOOR & DOOR FRAMES - TO MATCH PRECAST COLOUR
14. PROFILED ROOF SHEETING - ZINCALUME
15. TRANSLUCENT PROFILED ROOF SHEETING
16. TOEMOULD "IRONSTONE" OR SIMILAR

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RHODES NSW 2138
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PHONE 02 9767 2000
FAX 02 9767 2908

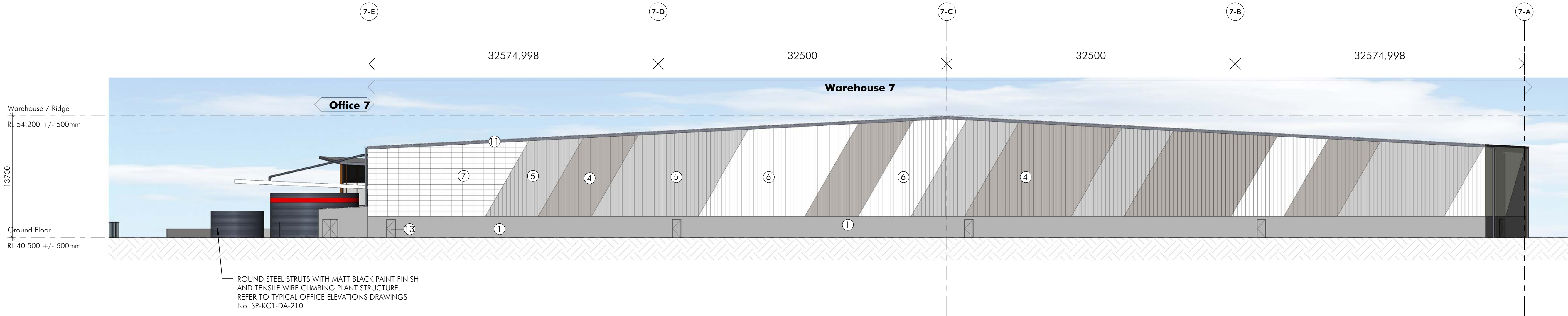
PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318, Lot Y DP 421633 & Lot 22 DP 258414)

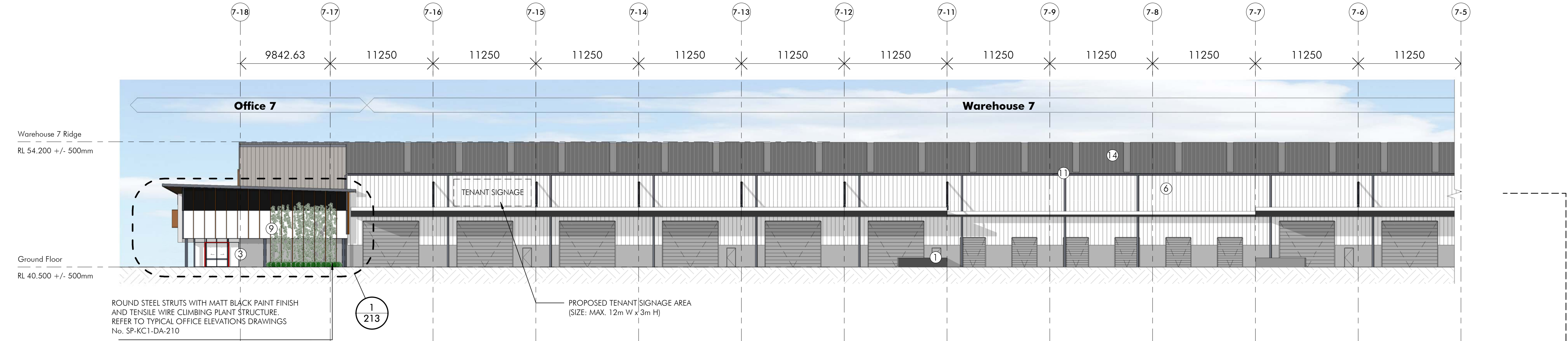
DRAWING TITLE
Warehouse7 Elevations - Sheet 1

SCALE As indicated
DRAWN SF/CR
CHECKED DC
DATE 30/07/2020
JOB NUMBER 10476

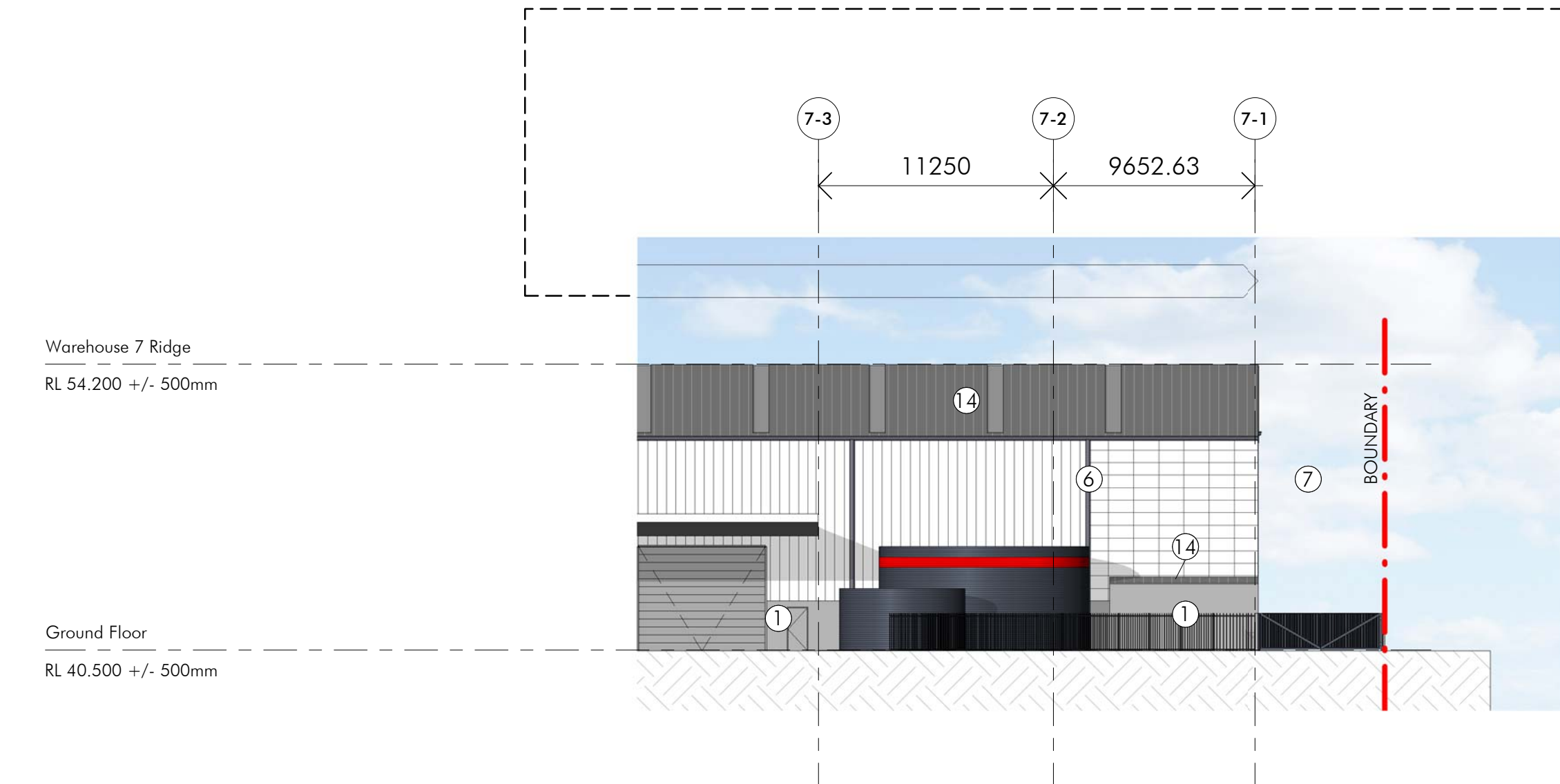
DRAWING NUMBER
SP-KC1-DA-206
ISSUE
I



1 North Elevation
1 : 250



2 East Elevation
1 : 250



REVISION	DESCRIPTION	DATE
H	DA ISSUE	19/05/2020
I	DA ISSUE	30/07/2020

EXTERNAL FINISH LEGEND
WAREHOUSE

1. PAINTED PRECAST PANEL - "GULLY" OR SIMILAR
2. PAINTED PRECAST PANEL - "IRONSTONE" OR SIMILAR
3. PAINTED PRECAST FEATURE WALL - "BRONZE" OR SIMILAR
4. PROFILED METAL WALL CLADDING - COLORBOND "GULLY"
5. PROFILED METAL WALL CLADDING - COLORBOND "SHALE GREY"
6. PROFILED METAL WALL CLADDING - COLORBOND "SURFMIST"
7. TRANSLUCENT POLYCARBONATE SHEETING
8. ALUMINIUM BATTENS - RED
9. WIRE MESH TO SUPPORT SIGNAGE - "IRONSTONE" OR SIMILAR
10. ROOF ACCESSORIES - "GULLY"
11. ROOF ACCESSORIES - "IRONSTONE" OR SIMILAR
12. ROLLER SHUTTER DOOR - POWDERCOATED "IRONSTONE" OR SIMILAR
13. PAINTED DOOR & DOOR FRAMES - TO MATCH PRECAST COLOUR
14. PROFILED ROOF SHEETING - ZINCALUME
15. TRANSLUCENT PROFILED ROOF SHEETING
16. TOEMOULD "IRONSTONE" OR SIMILAR

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1 HOMEBUSH BAY DRIVE PHONE 02 9767 2000
BUILDING C, LEVEL 3 FAX 02 9767 2908
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

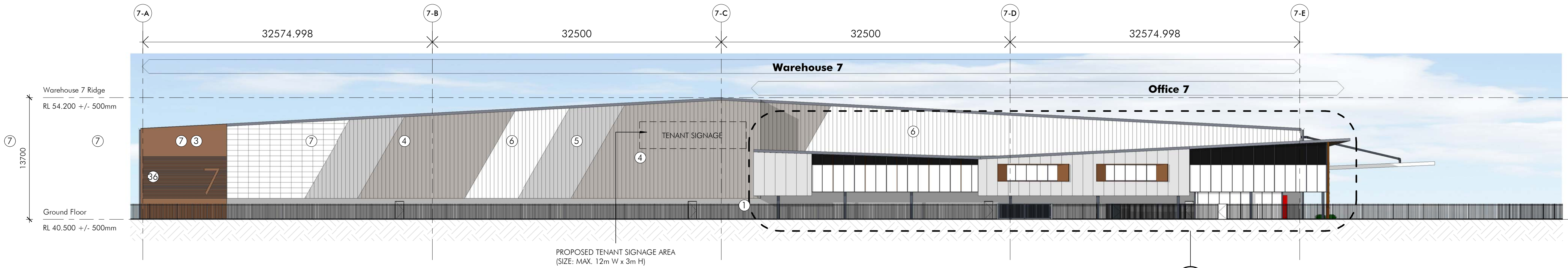
PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318, Lot Y DP 421633 & Lot 22 DP 258414)

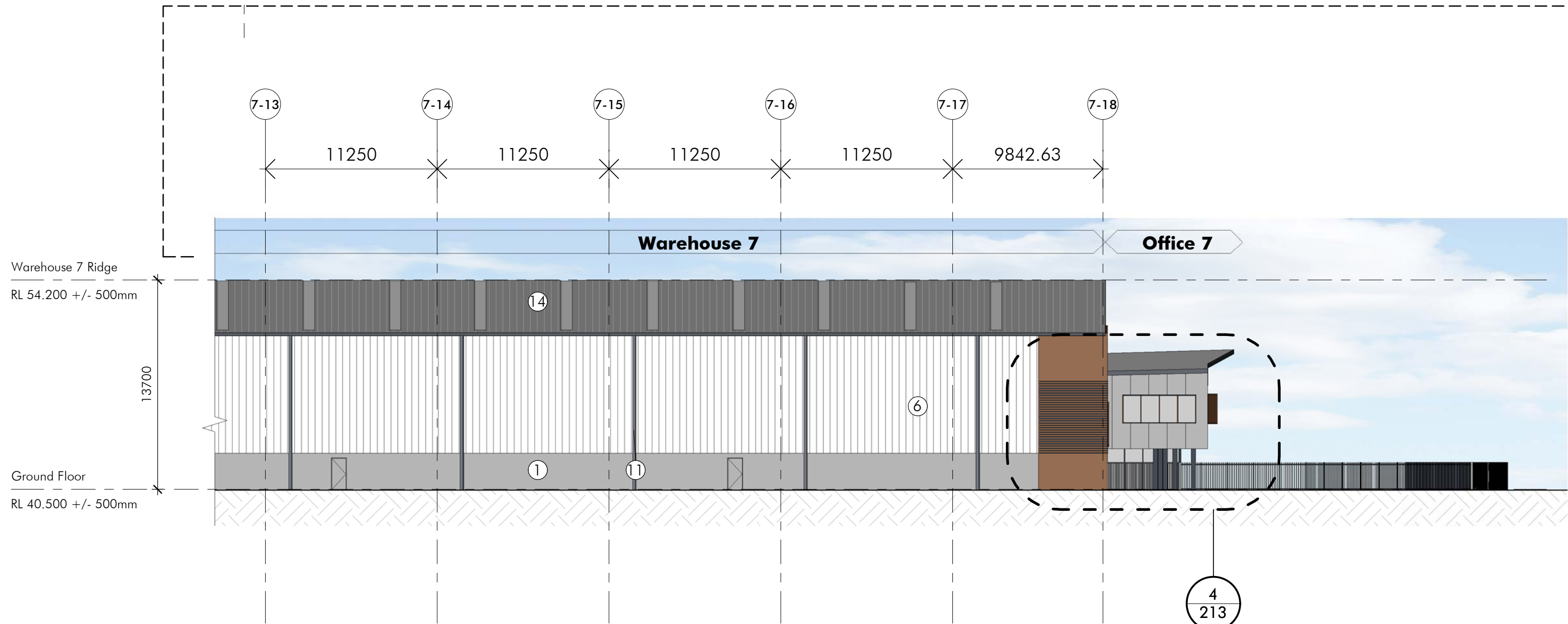
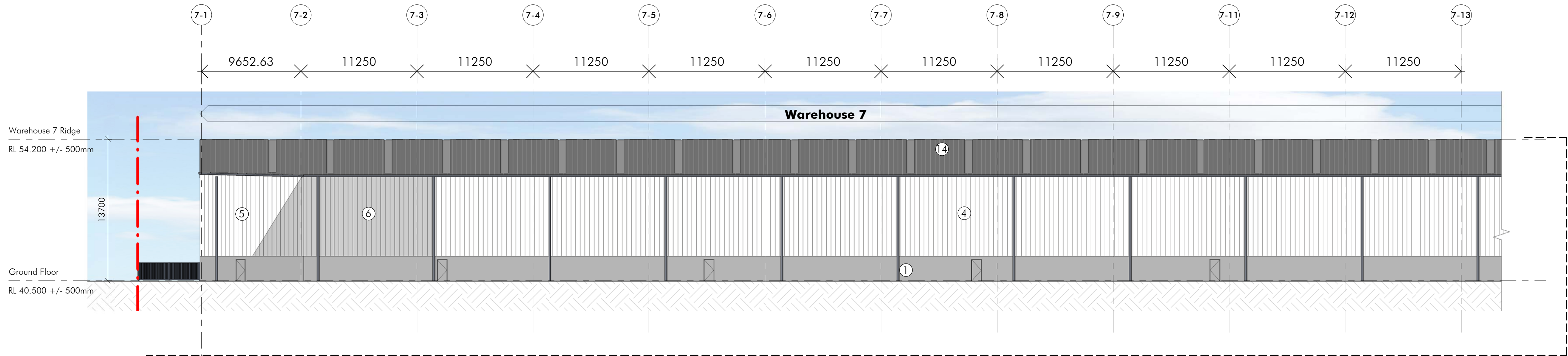
DRAWING TITLE
Warehouse 7 Elevations - Sheet 2

SCALE As indicated
DRAWN SF/CR
CHECKED DC
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER ISSUE
SP-KC1-DA-207 I



1 South Elevation
1 : 250



2 West Elevation
1 : 250

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EXTERNAL FINISH LEGEND WAREHOUSE

1. PAINTED PRECAST PANEL - "GULLY" OR SIMILAR
2. PAINTED PRECAST PANEL - "IRONSTONE" OR SIMILAR
3. PAINTED PRECAST FEATURE WALL - "BRONZE" OR SIMILAR
4. PROFILED METAL WALL CLADDING - COLORBOND "GULLY"
5. PROFILED METAL WALL CLADDING - COLORBOND "SHALE GREY"
6. PROFILED METAL WALL CLADDING - COLORBOND "SURFMIST"
7. TRANSLUCENT POLYCARBONATE SHEETING
8. ALUMINIUM BATTENS - RED
9. WIRE MESH TO SUPPORT SIGNAGE - "IRONSTONE" OR SIMILAR
10. ROOF ACCESSORIES - "GULLY"
11. ROOF ACCESSORIES - "IRONSTONE" OR SIMILAR
12. ROLLER SHUTTER DOOR - POWDERCOATED "IRONSTONE" OR SIMILAR
13. PAINTED DOOR & DOOR FRAMES - TO MATCH PRECAST COLOUR
14. PROFILED ROOF SHEETING - ZINCALUME
15. TRANSLUCENT PROFILED ROOF SHEETING
16. TOEMOULD "IRONSTONE" OR SIMILAR

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RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

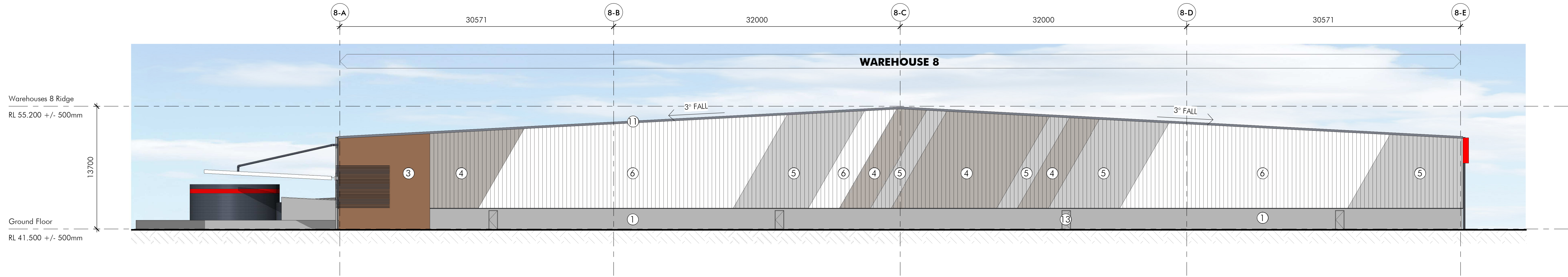
PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318,
Lot Y DP 421633 & Lot 22 DP 258414)

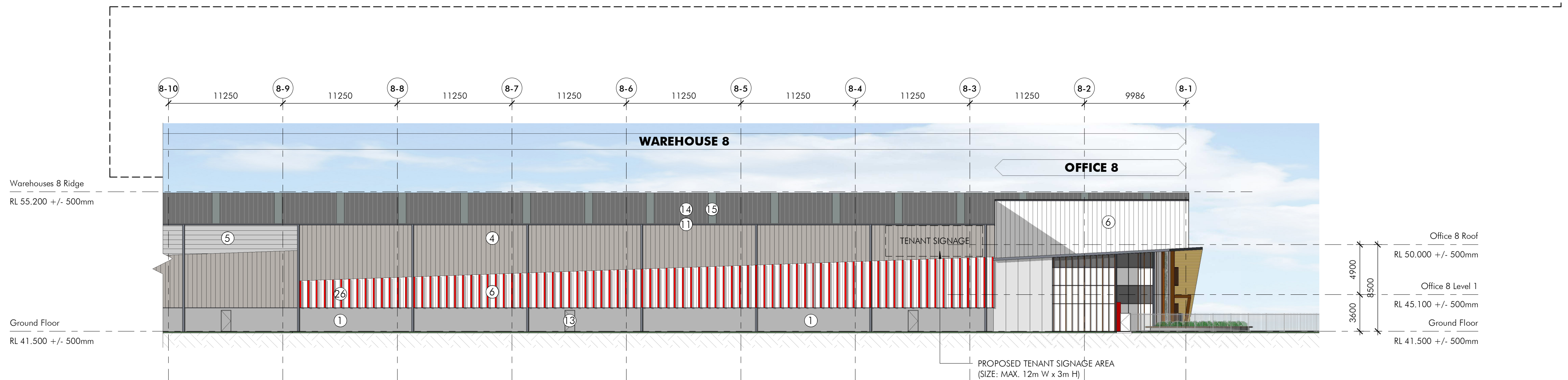
DRAWING TITLE
Warehouse 8 Elevations - Sheet 1

SCALE As indicated
DRAWN JJ
CHECKED DCMC
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER ISSUE
SP-KC1-DA-208 I



1 South Elevation
1 : 250



2 East Elevation
1 : 250

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I	DA ISSUE	30/07/2020

EXTERNAL FINISH LEGEND WAREHOUSE

1. PAINTED PRECAST PANEL - "GULLY" OR SIMILAR
2. PAINTED PRECAST PANEL - "IRONSTONE" OR SIMILAR
3. PAINTED PRECAST FEATURE WALL - "BRONZE" OR SIMILAR
4. PROFILED METAL WALL CLADDING - COLORBOND "GULLY"
5. PROFILED METAL WALL CLADDING - COLORBOND "SHALE GREY"
6. PROFILED METAL WALL CLADDING - COLORBOND "SURFMIST"
7. TRANSLUCENT POLYCARBONATE SHEETING
8. ALUMINIUM BATTENS - RED
9. WIRE MESH TO SUPPORT SIGNAGE - "IRONSTONE" OR SIMILAR
10. ROOF ACCESSORIES - "GULLY"
11. ROOF ACCESSORIES - "IRONSTONE" OR SIMILAR
12. ROLLER SHUTTER DOOR - POWDERCOATED "IRONSTONE" OR SIMILAR
13. PAINTED DOOR & DOOR FRAMES - TO MATCH PRECAST COLOUR
14. PROFILED ROOF SHEETING - ZINCALUME
15. TRANSLUCENT PROFILED ROOF SHEETING
16. TOEMOULD "IRONSTONE" OR SIMILAR

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PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

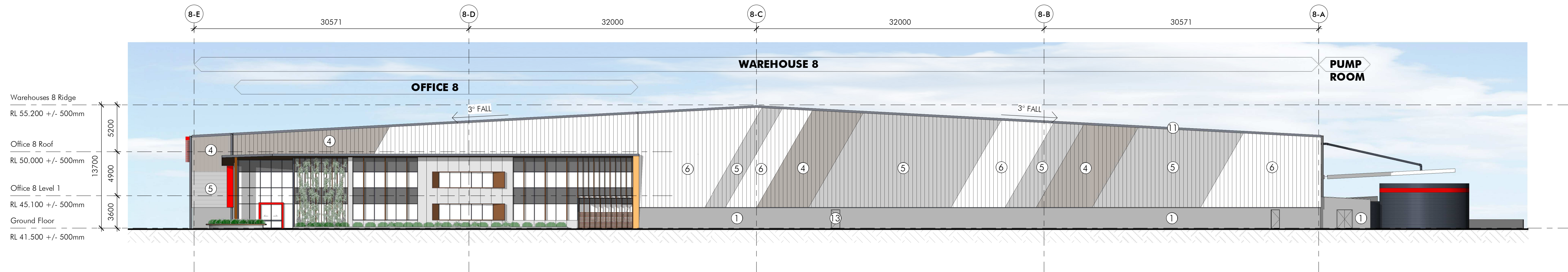
PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318,
Lot Y DP 421633 & Lot 22 DP 258414)

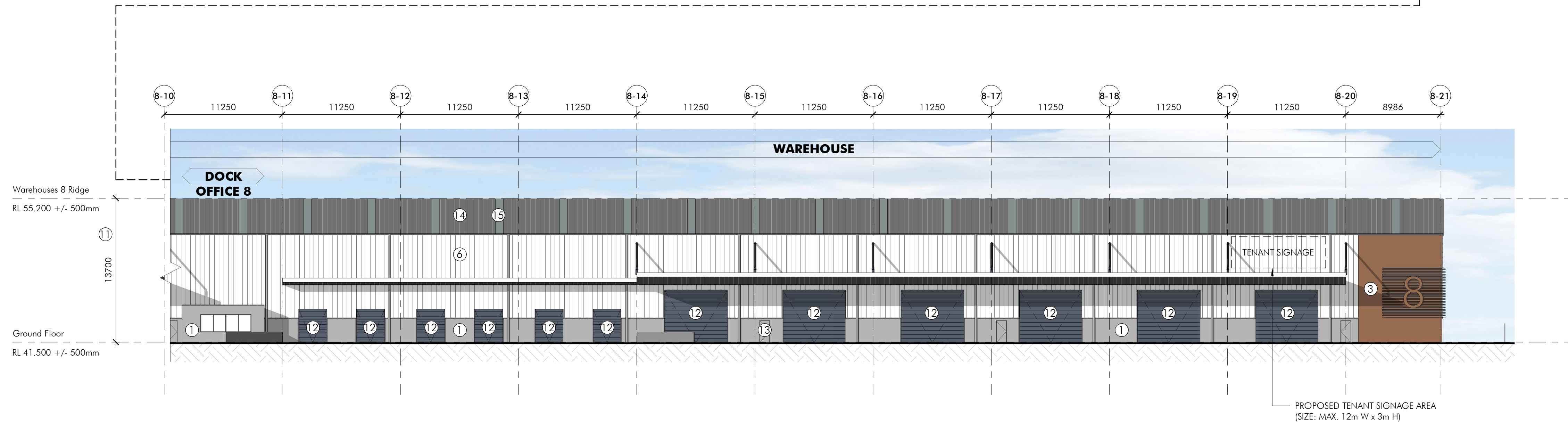
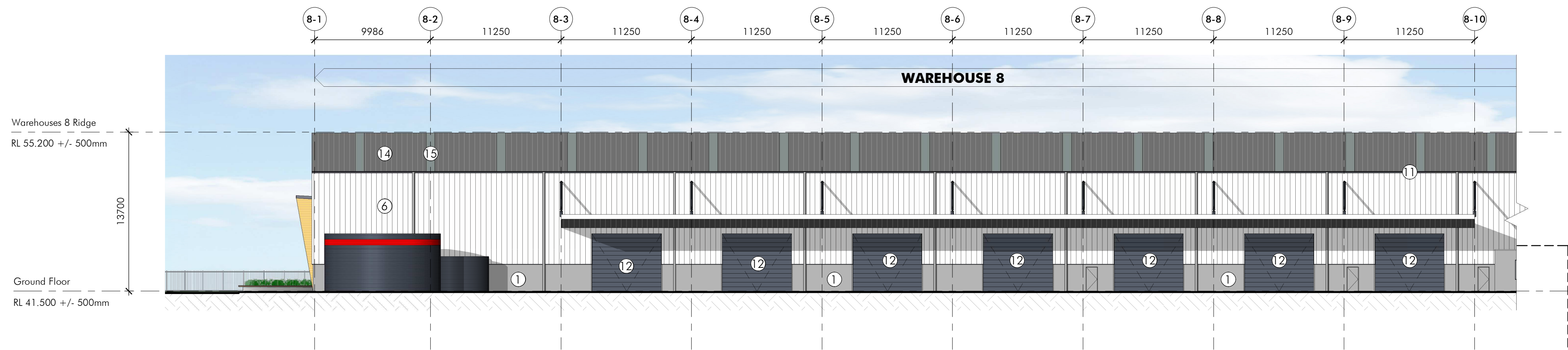
DRAWING TITLE
Warehouse 8 Elevations - Sheet 2

SCALE As indicated
DRAWN JJ
CHECKED DCMC
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER ISSUE
SP-KC1-DA-209 I



1 North Elevation
1 : 250



2 West Elevation
1 : 250

REVISION	DESCRIPTION	DATE
	DA ISSUE	08/05/2019
	DA ISSUE	21/10/2019
	DA ISSUE	01/05/2020
	DA ISSUE	18/05/2020
	DA ISSUE	31/07/2020



PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

DRAWING TITLE

OFFICE 1A, 1B, 2, 3A, 3 & 4
ELEVATIONS (TYPICAL OFFICE
ELEVATIONS)

DRAWING NUMBER	ISSUE
SP-KC1-DA-210	I

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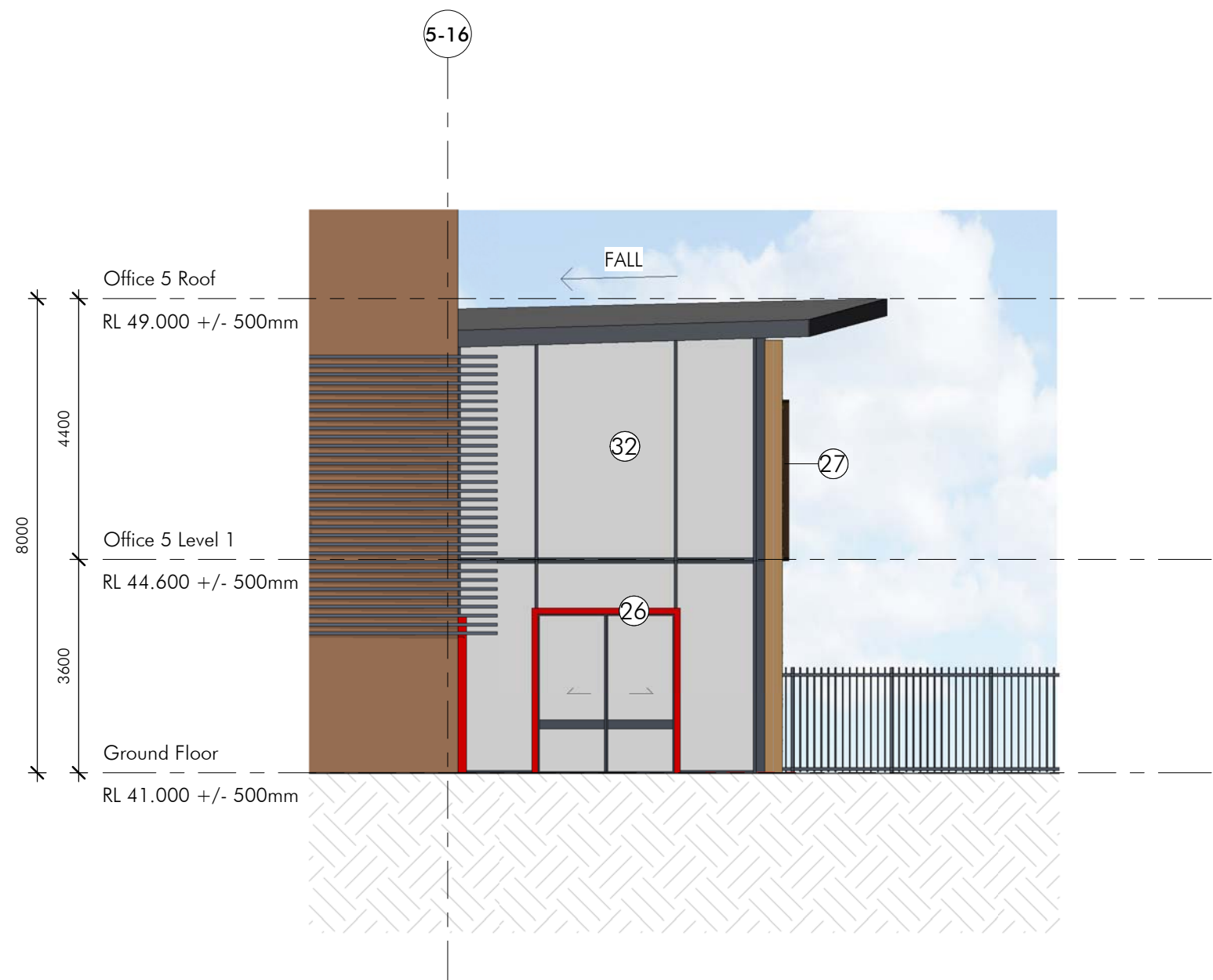
REVISION	DESCRIPTION	DATE
H	DA ISSUE	19/05/2020
I	DA ISSUE	30/07/2020

EXTERNAL FINISH LEGEND - OFFICE

- 21. PREFINISHED FC - DARK GREY
- 22. PREFINISHED FC - LIGHT GREY
- 23. PREFINISHED FC - TIMBER LOOK
- 24. POWDERCOATED ALUMINIUM WINDOW FRAME - 'ANTHRACITE' OR SIMILAR
- 25. POWDERCOATED ALUMINIUM WINDOW FRAME - 'SILVER METALLIC' OR SIMILAR
- 26. PREFINISHED FC - RED
- 27. PREFINISHED CORTEN LOOK CLADDING
- 28. ALUMINIUM TIMBER LOOK BATTENS
- 29. PAINT FINISH - 'SILVER METALLIC' OR SIMILAR
- 30. PAINT FINISH - 'ANTHRACITE' OR SIMILAR
- 31. PRE-FINISHED REC. AREA SCREEN - 'CLASSIC OAK'
- 32. GLAZING PANEL - CLEAR
- 33. GLAZING PANEL - COLOURBACK LIGHT GREY
- 34. GLAZING PANEL - COLOURBACK DARK GREY
- 35. TIMBER LOOK ALUMINIUM PANEL
- 36. GUTTER, CAPPINGS, DOWNPIPES & TANK - 'IRONSTONE' OR SIMILAR



1 North Elevation - Office 5
1 : 100



2 South Elevation - Office 5
1 : 100



3 East Elevation - Office 5
1 : 100

nettletontribe

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e: sydney@nettletontribe.com.au w: nettletontribe.com.au



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE PHONE 02 9767 2000
BUILDING C, LEVEL 3 FAX 02 9767 2908
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318,
Lot Y DP 421633 & Lot 22 DP 258414)

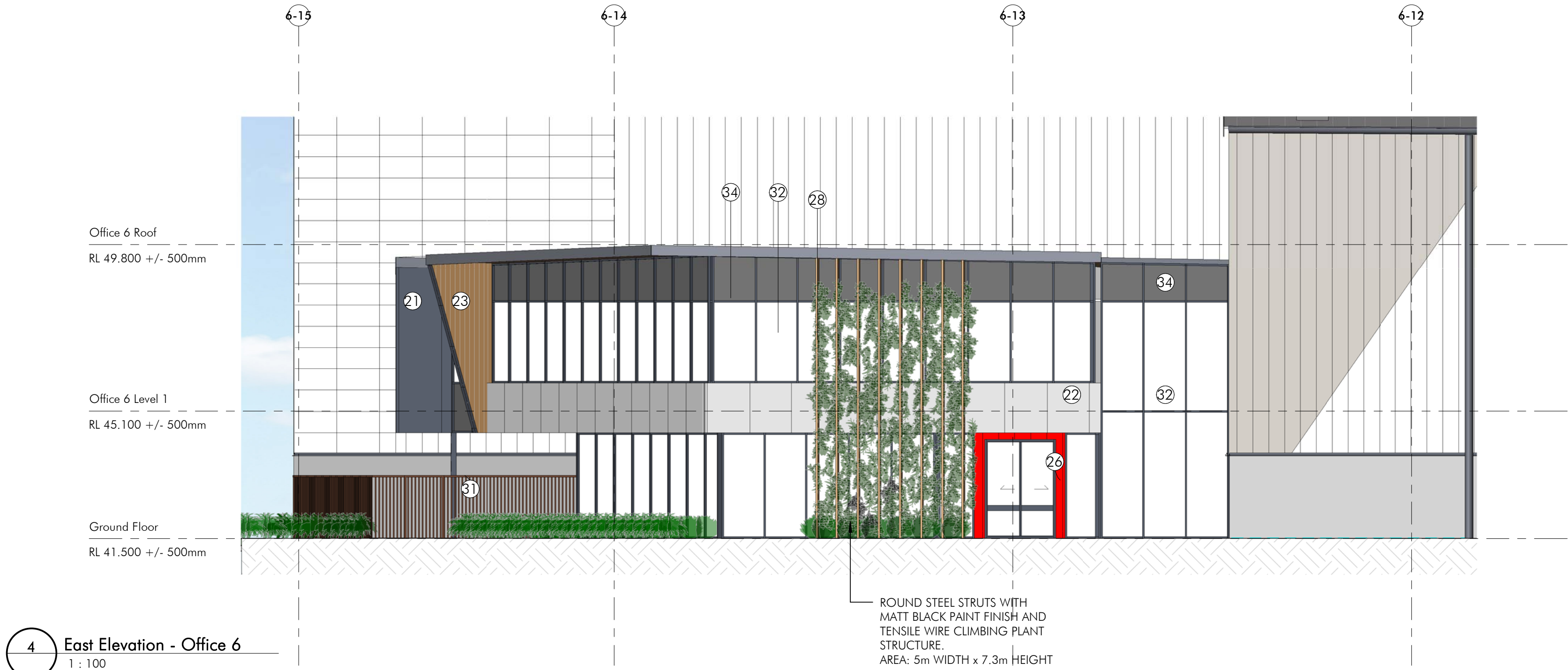
DRAWING TITLE
Office 5 Elevations

SCALE As indicated
DRAWN SF/CR
CHECKED DC
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER ISSUE
SP-KC1-DA-211 I

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H	DA ISSUE	19/05/2020
I	DA ISSUE	31/07/2020



EXTERNAL FINISH LEGEND - OFFICE

- | | |
|--|---|
| 21. PREFINISHED FC - DARK GREY | 29. PAINT FINISH - "SILVER METALLIC" OR SIMILAR |
| 22. PREFINISHED FC - LIGHT GREY | 30. PAINT FINISH - "ANTHRACITE" OR SIMILAR |
| 23. PREFINISHED FC - TIMBER LOOK | 31. PRE-FINISHED REC. AREA SCREEN - "CLASSIC OAK" |
| 24. POWDERCOATED ALUMINIUM WINDOW FRAME - "ANTHRACITE" OR SIMILAR | 32. GLAZING PANEL - CLEAR |
| 25. POWDERCOATED ALUMINIUM WINDOW FRAME - "SILVER METALLIC" OR SIMILAR | 33. GLAZING PANEL - COLOURBACK LIGHT GREY |
| 26. PREFINISHED FC - RED | 34. GLAZING PANEL - COLOURBACK DARK GREY |
| 27. PREFINISHED CORTEN LOOK CLADDING | 35. TIMBER LOOK ALUMINIUM PANEL |
| 28. ALUMINIUM TIMBER LOOK BATTENS | 36. GUTTER, CAPPINGS, DOWNPIPES & TANK - "IRONSTONE" OR SIMILAR |

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RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
Office 6 Elevations

SCALE	As indicated
DRAWN	SF
CHECKED	DC
DATE	30/07/2020
JOB NUMBER	10476

DRAWING NUMBER	ISSUE
SP-KC1-DA-212	I



4 West Elevation - Office 7
1 : 100



1 East Elevation - Office 7
1 : 100



2 South Elevation - Office7
1 : 100

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REVISION	DESCRIPTION	DATE
H	DA ISSUE	19/05/2020
I	DA ISSUE	30/07/2020

EXTERNAL FINISH LEGEND - OFFICE

- 21. PREFINISHED FC - DARK GREY
- 22. PREFINISHED FC - LIGHT GREY
- 23. PREFINISHED FC - TIMBER LOOK
- 24. POWDERCOATED ALUMINIUM WINDOW FRAME - 'ANTHRACITE' OR SIMILAR
- 25. POWDERCOATED ALUMINIUM WINDOW FRAME - 'SILVER METALLIC' OR SIMILAR
- 26. POWDERCOATED ALUMINIUM WINDOW FRAME - RED
- 27. PREFINISHED CORTEN LOOK CLADDIND
- 28. ALUMINIUM TIMBER LOOK BATTENS
- 29. PAINT FINISH - 'SILVER METALLIC' OR SIMILAR
- 30. PAINT FINISH - 'ANTHRACITE' OR SIMILAR
- 31. PRE-FINISHED REC. AREA SCREEN - 'CLASSIC OAK'
- 32. GLAZING PANEL - CLEAR
- 33. GLAZING PANEL - COLOURBACK LIGHT GREY
- 34. GLAZING PANEL - COLOURBACK DARK GREY
- 35. TIMBER LOOK ALUMINIUM PANEL
- 36. GUTTER, CAPPINGS, DOWNPIPES & TANK - 'IRONSTONE' OR SIMILAR

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BUILDING C, LEVEL 3
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RHODES NSW 2138
PHONE 02 9767 2000
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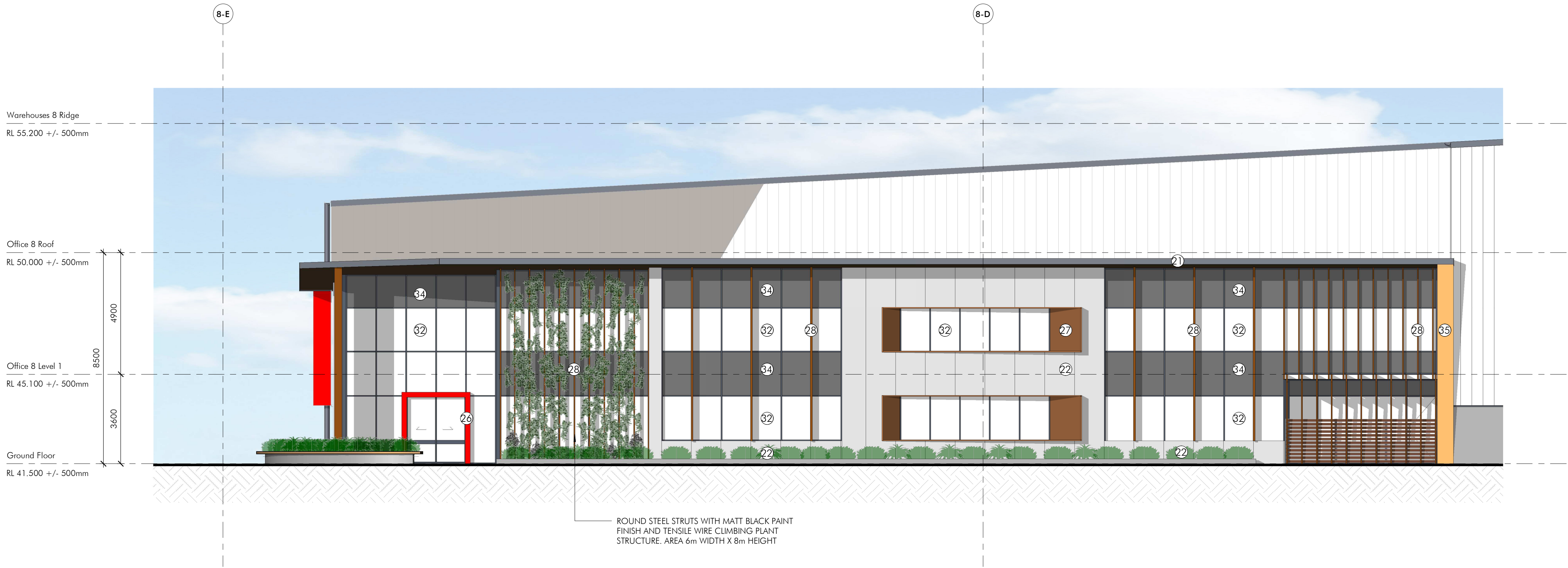
PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318, Lot Y DP 421633 & Lot 22 DP 258414)

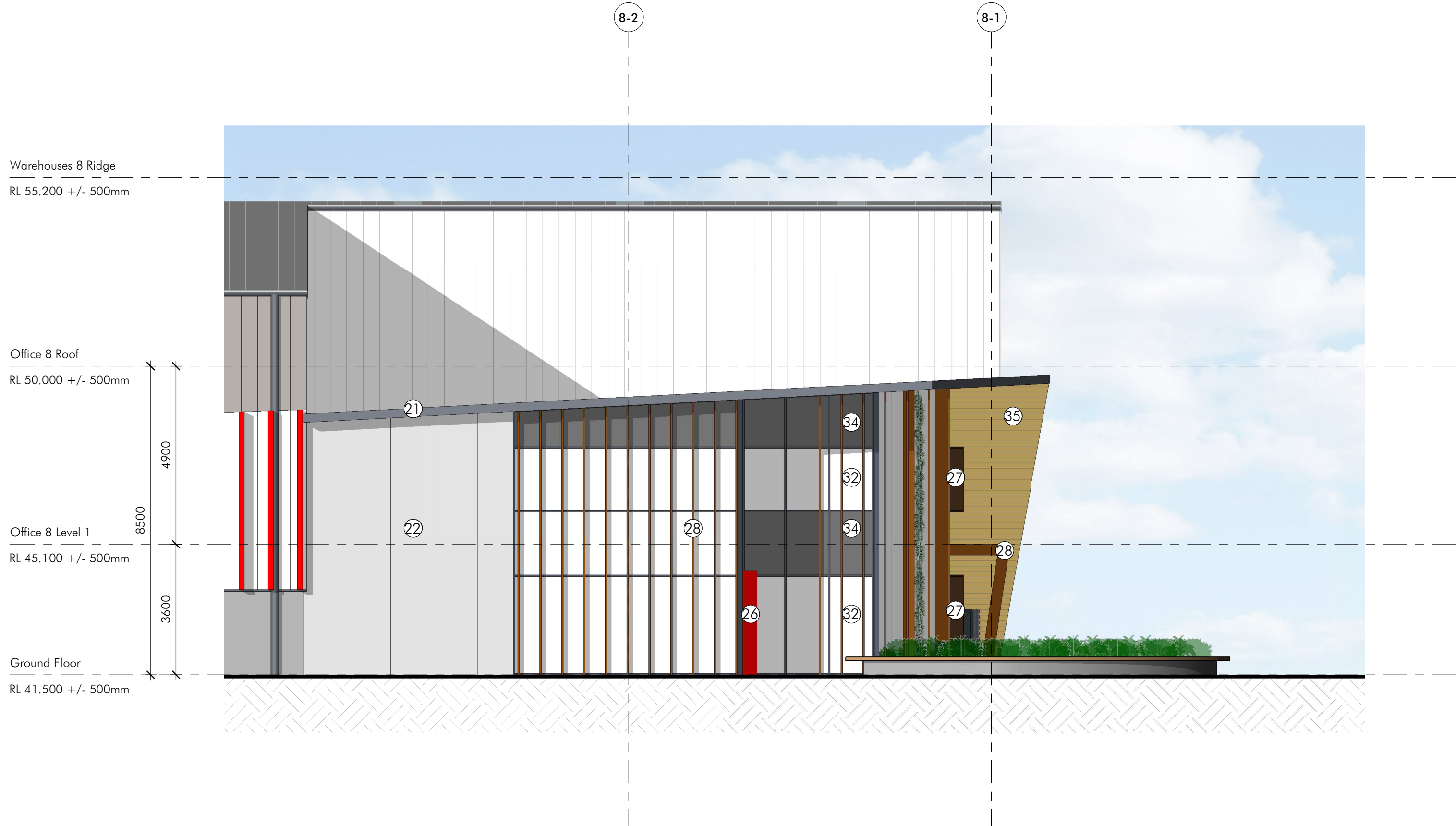
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Office 7 Elevations

SCALE	As indicated
DRAWN	SF
CHECKED	DC
DATE	30/07/2020
JOB NUMBER	10476

DRAWING NUMBER	ISSUE
SP-KC1-DA-213	I



1 North Elevation - Office 8
1 : 100



2 East Elevation - Office 8
1 : 100

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REVISION	DESCRIPTION	DATE
H	DA ISSUE	19/05/2020
I	DA ISSUE	30/07/2020

EXTERNAL FINISH LEGEND - OFFICE

21. PREFINISHED FC - DARK GREY
22. PREFINISHED FC - LIGHT GREY
23. PREFINISHED FC - TIMBER LOOK
24. POWDERCOATED ALUMINIUM WINDOW FRAME - "ANTHRACITE" OR SIMILAR
25. POWDERCOATED ALUMINIUM WINDOW FRAME - "SILVER METALLIC" OR SIMILAR
26. PREFINISHED FC - RED
27. PREFINISHED CORTEN LOOK CLADDIND
28. ALUMINIUM TIMBER LOOK BATTENS
29. PAINT FINISH - "SILVER METALLIC" OR SIMILAR
30. PAINT FINISH - "ANTHRACITE" OR SIMILAR
31. PRE-FINISHED REC. AREA SCREEN - "CLASSIC OAK"
32. GLAZING PANEL - CLEAR
33. GLAZING PANEL - COLOURBACK LIGHT GREY
34. GLAZING PANEL - COLOURBACK DARK GREY
35. TIMBER LOOK ALUMINIUM PANEL
36. GUTTER, CAPPINGS, DOWNPIPES & TANK - "IRONSTONE" OR SIMILAR
37. PROFILED METAL SHEETING LONGLINE "SURFMIST"
38. PROFILED METAL SHEETING LONGLINE "MONUMENT"

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RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

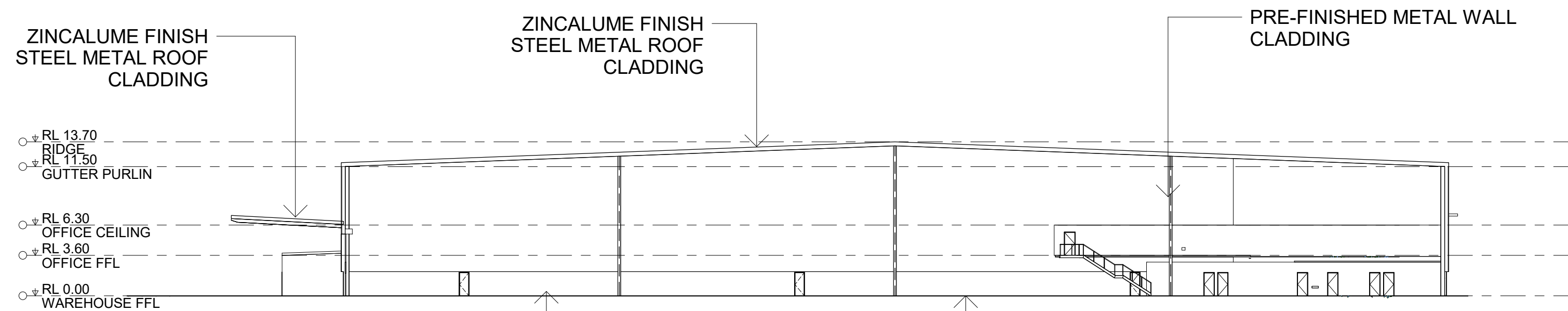
ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
Office 8 Elevations

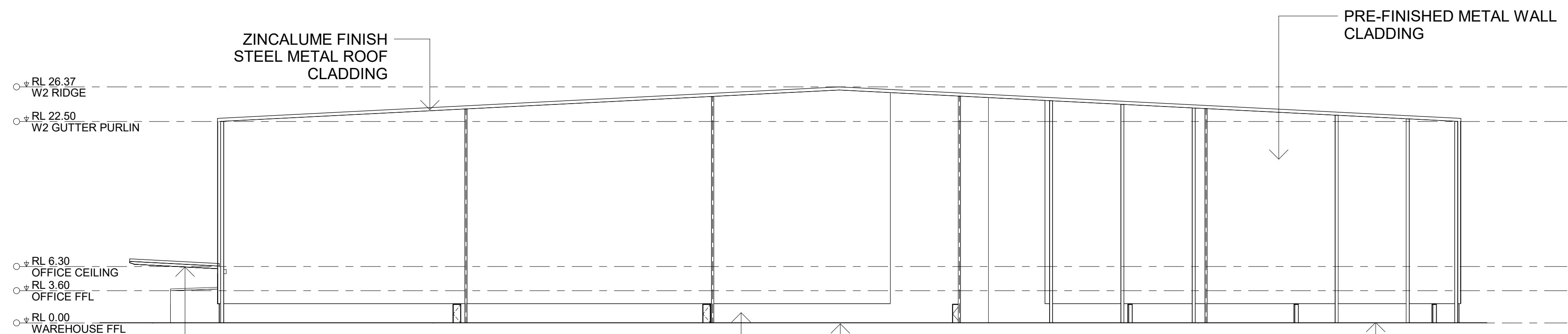
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CHECKED DC/MC
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER
SP-KC1-DA-214
ISSUE
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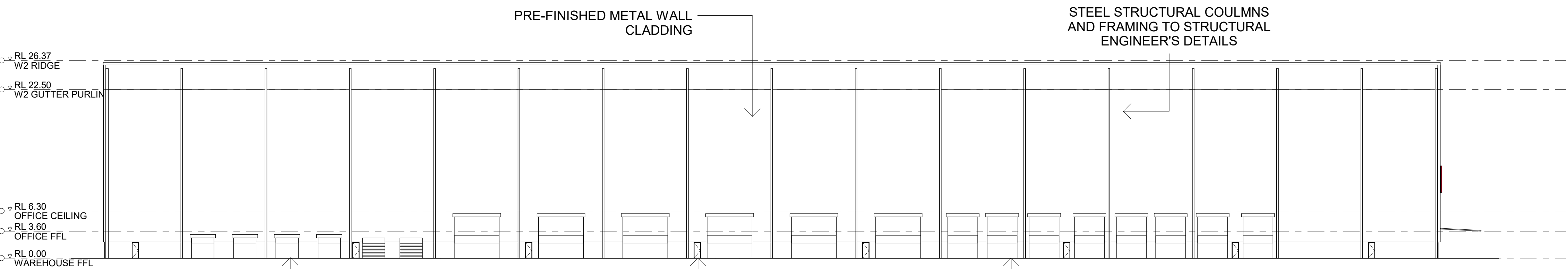
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E	DA ISSUE	08/05/2019
F	DA ISSUE	21/10/2019
G	DA ISSUE	01/05/2020
H	DA ISSUE	18/05/2020
I	DA ISSUE	31/07/2020



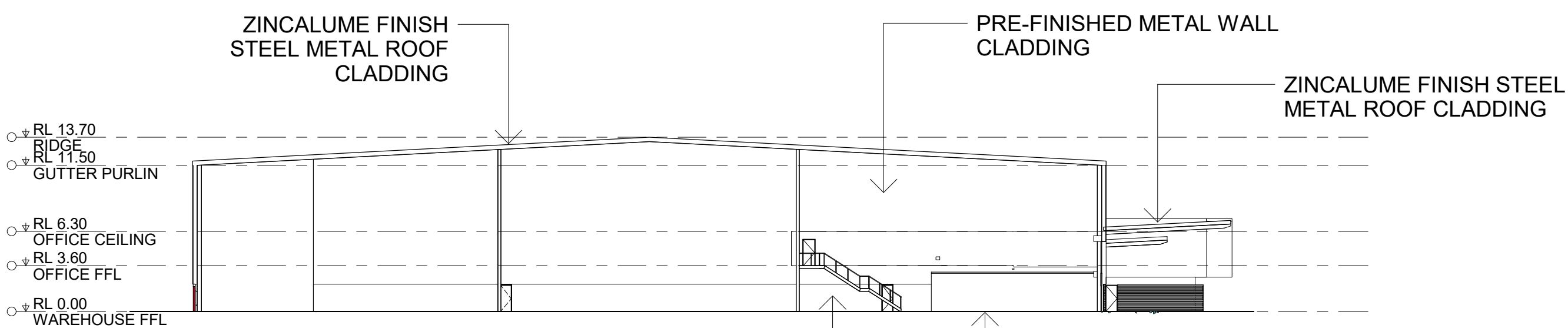
2 SECTION AA
1:350



1 SECTION BB
1:350



3 SECTION CC
1:350



4 SECTION DD
1:350

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN
CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS.
FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS ARE TO BE +/- 1000mm.



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Menra Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP
258414)

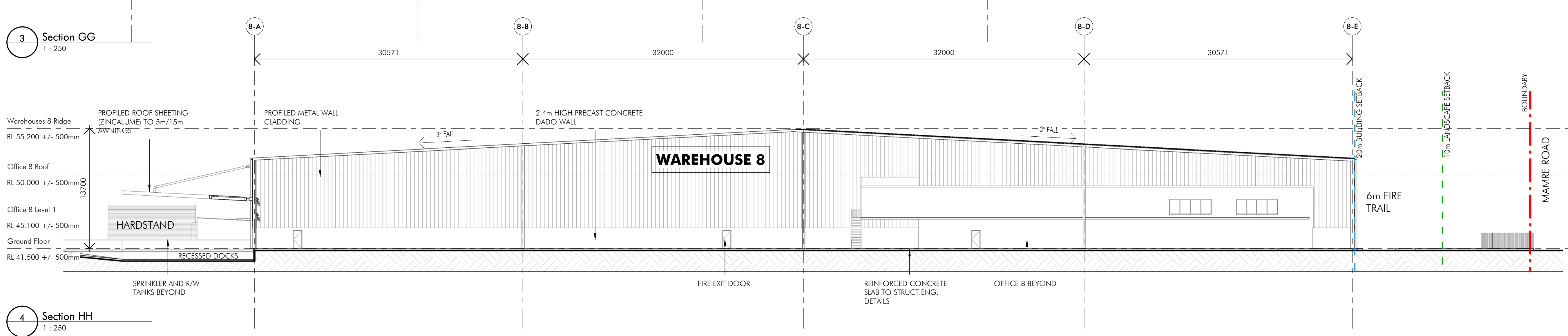
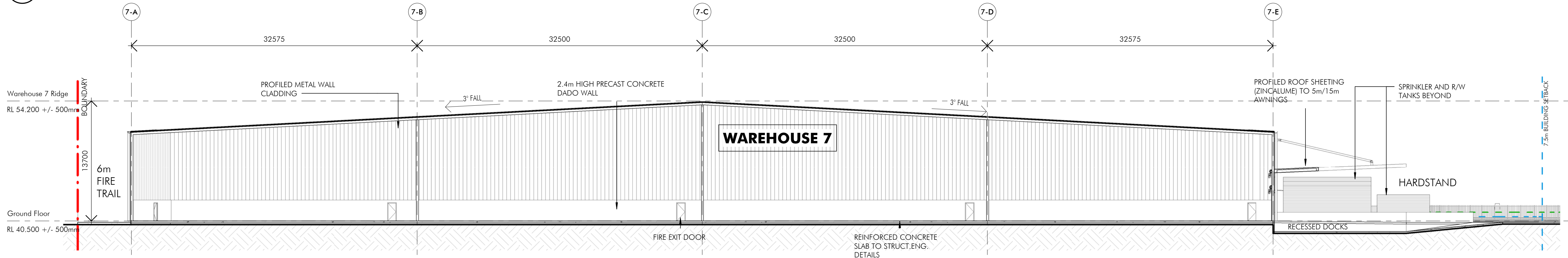
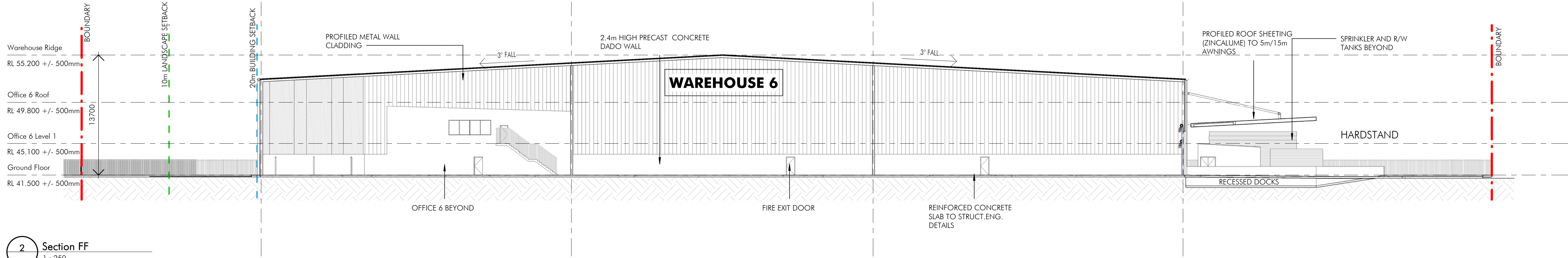
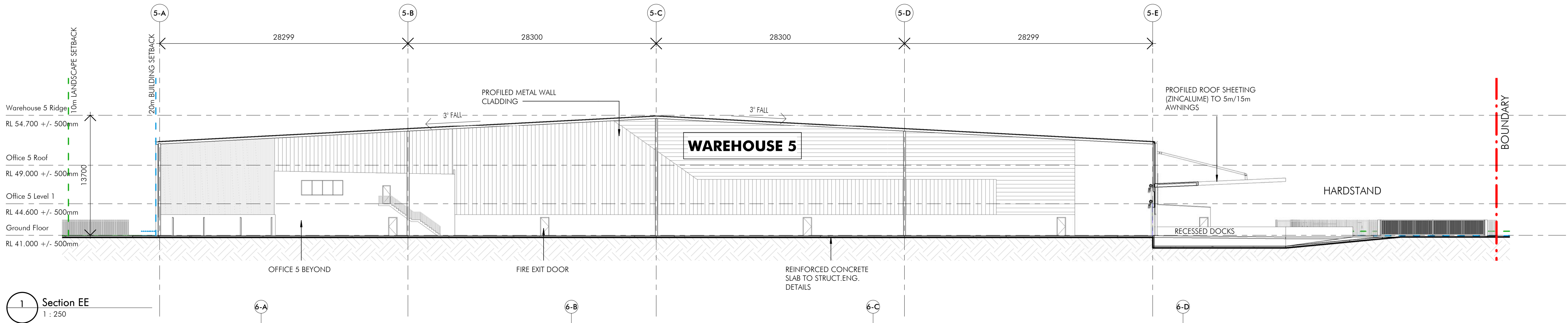
DRAWING TITLE
SECTIONS AA, BB, CC, DD

SCALE 1:350
DRAWN MP
CHECKED MP
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER ISSUE
SP-KC1-DA-300 I

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REVISION	DESCRIPTION	DATE
G	DA ISSUE	19/05/2020
H	DA ISSUE	28/07/2020
I	DA ISSUE	31/07/2020



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1 HOMERUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318,
Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
Sections EE, FF, GG, HH

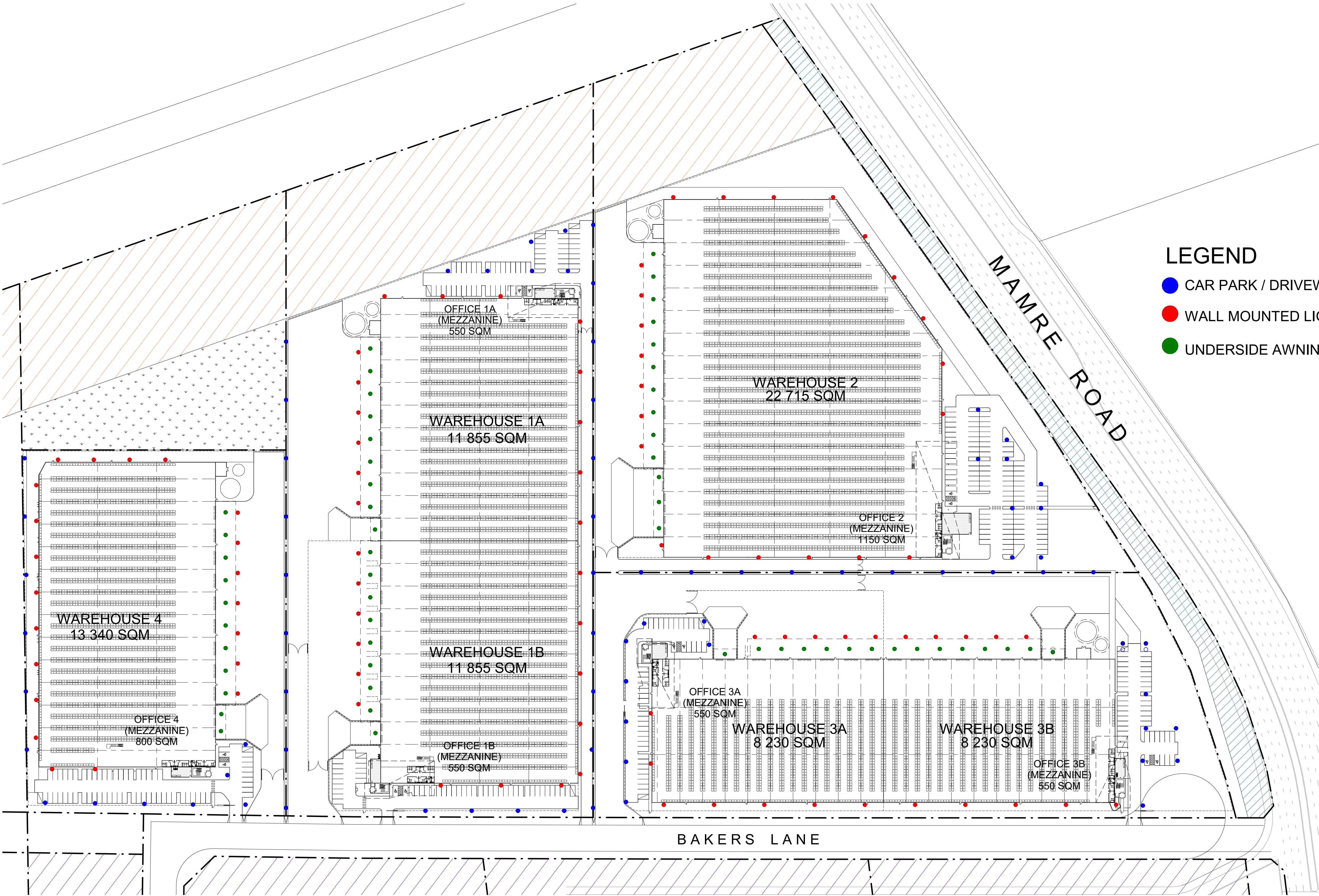
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DRAWN Author
CHECKED Checker
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER
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ISSUE
I

REVISION	DESCRIPTION	DATE
E	DA ISSUE	06/05/2019
F	DA ISSUE	21/10/2019
G	DA ISSUE	01/05/2020
H	DA ISSUE	16/05/2020
I	DA ISSUE	31/07/2020

LEGEND

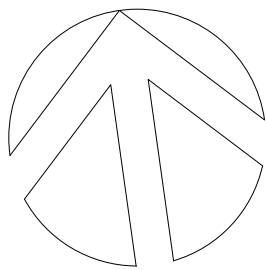
- CAR PARK / DRIVEWAY LIGHT POLES (APPROX. 8m HIGH)
- WALL MOUNTED LIGHT FITTING
- UNDERSIDE AWNING LIGHT FITTING



1 LIGHTING PLAN (WAREHOUSE 1A, 1B, 2, 3A, 3B & 4)
1:1000

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ALL LEVELS ARE TO BE +/- 1000mm.



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

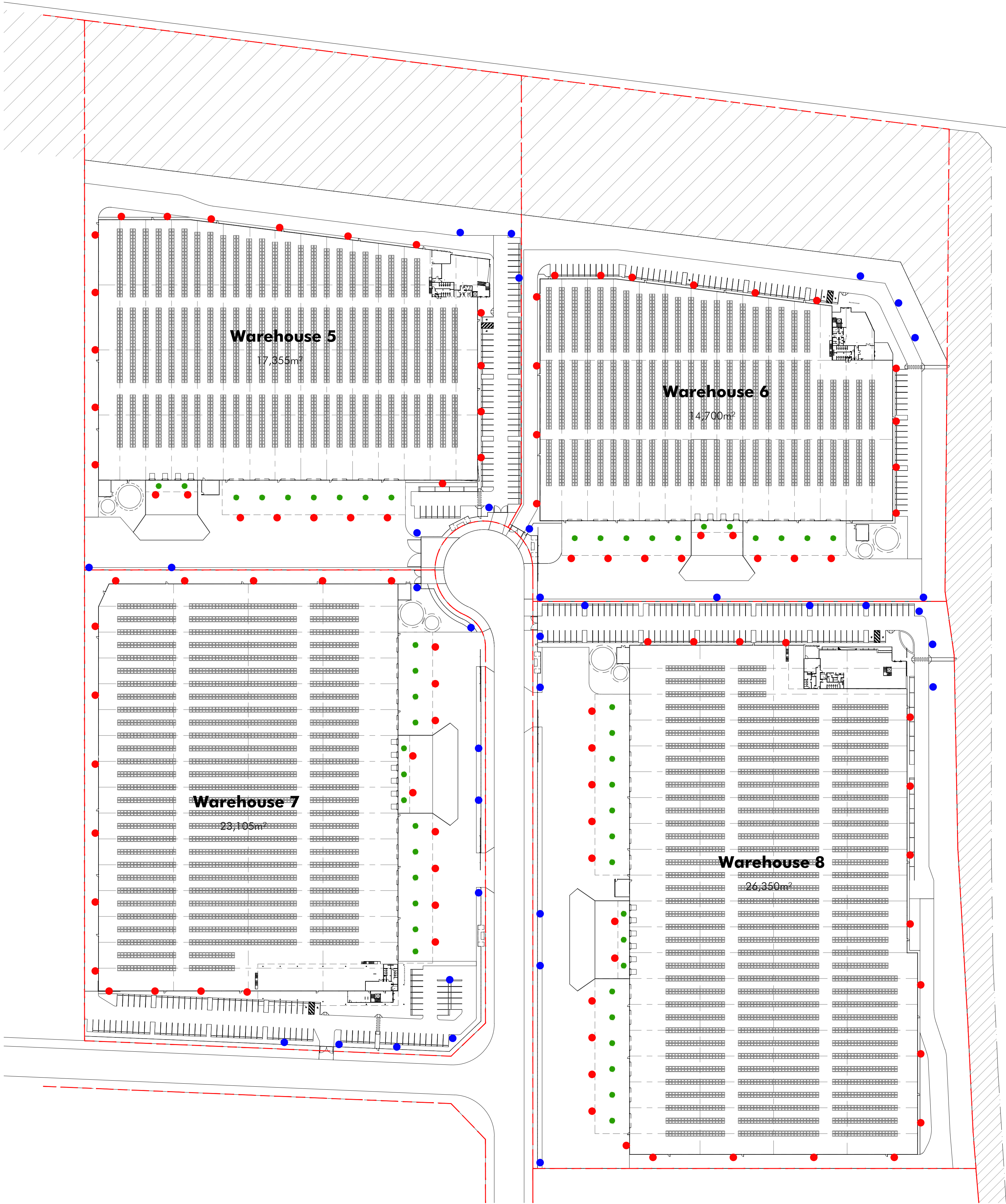
PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
INDICATIVE LIGHTING PLAN
(WAREHOUSE 1A, 1B, 2, 3A, 3B & 4)

SCALE As indicated
DRAWN MP
CHECKED JQ
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER ISSUE
SP-KC1-DA-400 I



1 Indicative Lighting Plan (Warehouse 5, 6, 7, 8)
1 : 1000

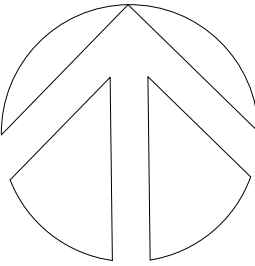
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REVISION	DESCRIPTION	DATE
H	DA ISSUE	19/05/2020
I	DA ISSUE	30/07/2020

LEGEND

- CARPARK / DRIVEWAY LIGHT POLES (APPX. 8m HIGH)
- WALL MOUNTED LIGHT FITTING
- UNDERSIDE AWNING LIGHT FITTING

* EXTERNAL LIGHTING TO BE DESIGNED IN ACCORDANCE WITH 4282-1997



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COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE PHONE 02 9767 2000
BUILDING C, LEVEL 3 FAX 02 9767 2908
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318, Lot Y DP 421633 & Lot 22 DP 258414)




DRAWING TITLE
Indicative Lighting Plan
(Warehouse 5, 6, 7, 8)

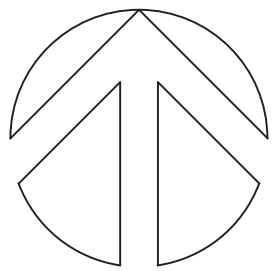
SCALE	1 : 1000
DRAWN	SF
CHECKED	DC
DATE	30/07/2020
JOB NUMBER	10476

DRAWING NUMBER	ISSUE
SP-KC1-DA-004	I

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E	DA ISSUE	08/05/2010
F	DA ISSUE	21/10/2010
G	DA ISSUE	01/05/2020
H	DA ISSUE	18/05/2020
I	DA ISSUE	30/07/2020

-  SIGNAGE TYPE 2
TENANT IDENTIFICATION SIGN
-  SIGNAGE TYPE 3
TENANT DIRECTIONAL SIGN
-  TENANT SIGNAGE



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2906

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

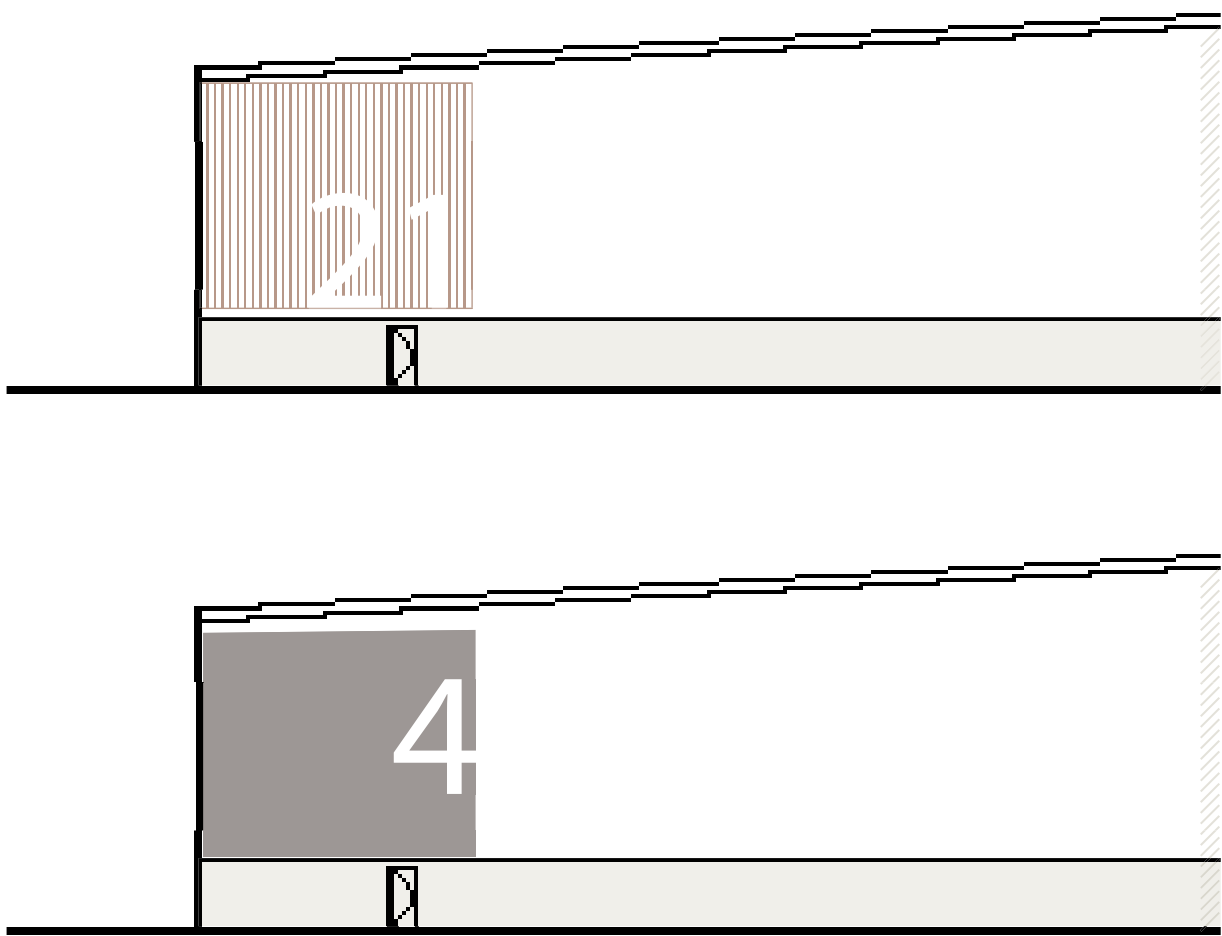
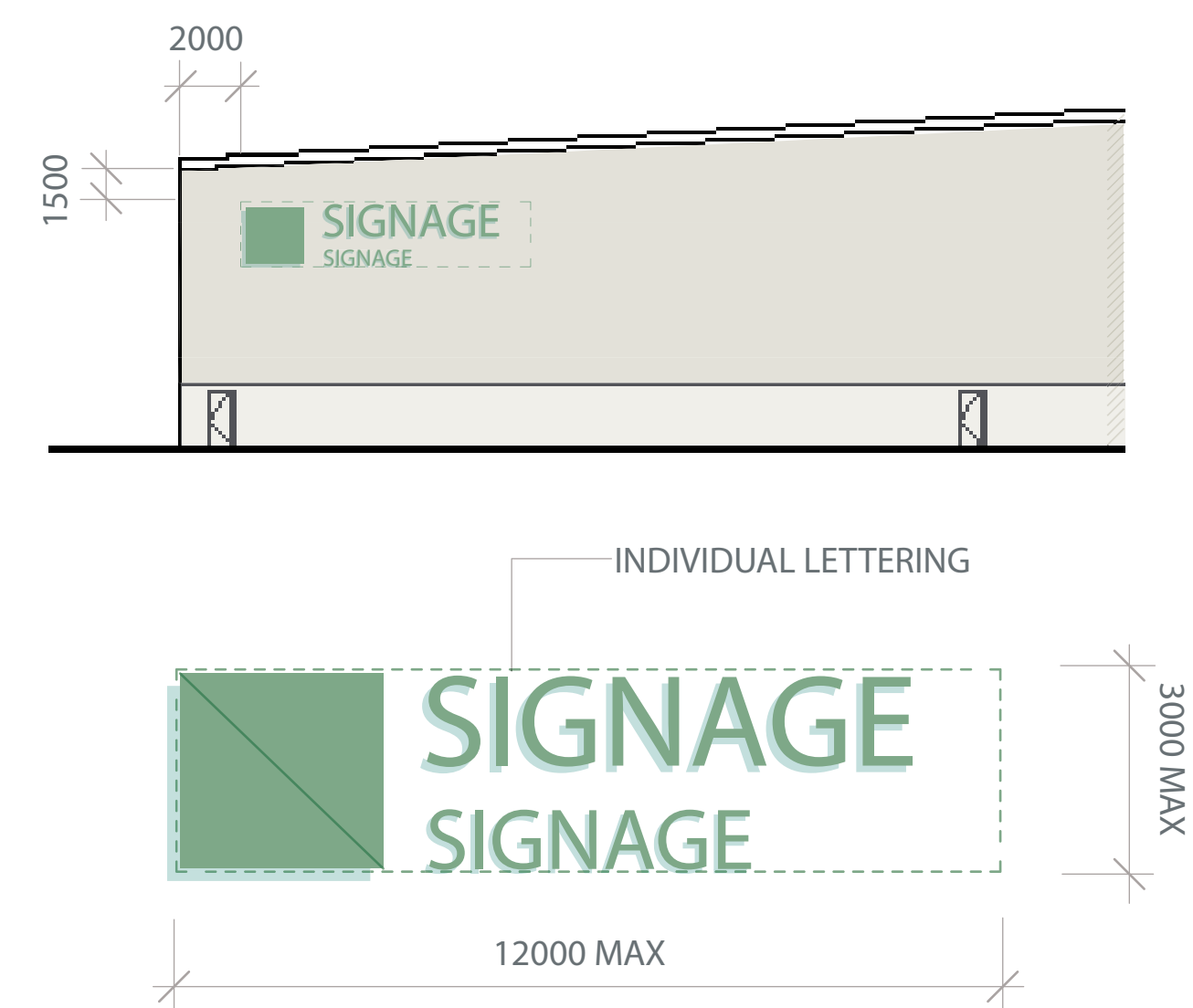
ADDRESS
657-769 Mamre Road, Kamps Creek
(Lot 24 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
ESTATE SIGNAGE

SCALE
DRAWN MP
CHECKED MP
DATE 31/07/20
JOB NUMBER

DRAWING NUMBER
SP-KC1-DA-500
ISSUE
I

TENANT SIGNAGE DETAIL



TENANT SIGNAGE

Tenant signage to be of a high quality finish with individual lettering or something similar rather than flat applied signs or painted lettering.

The signage should be located on visually prominent corners away from the office and could be integrated into the feature corner.

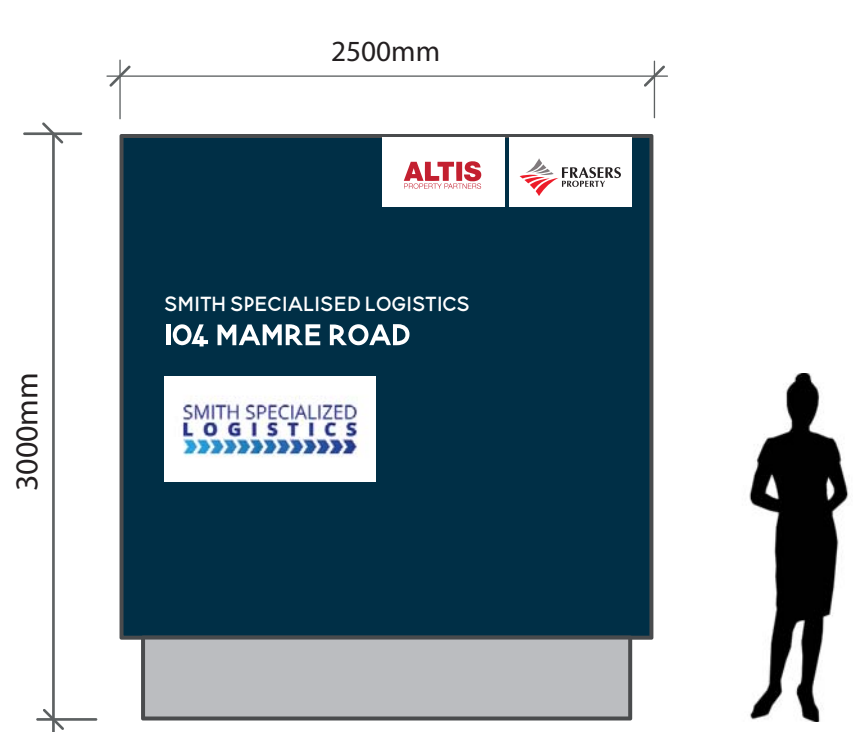


WAREHOUSE NUMBERING

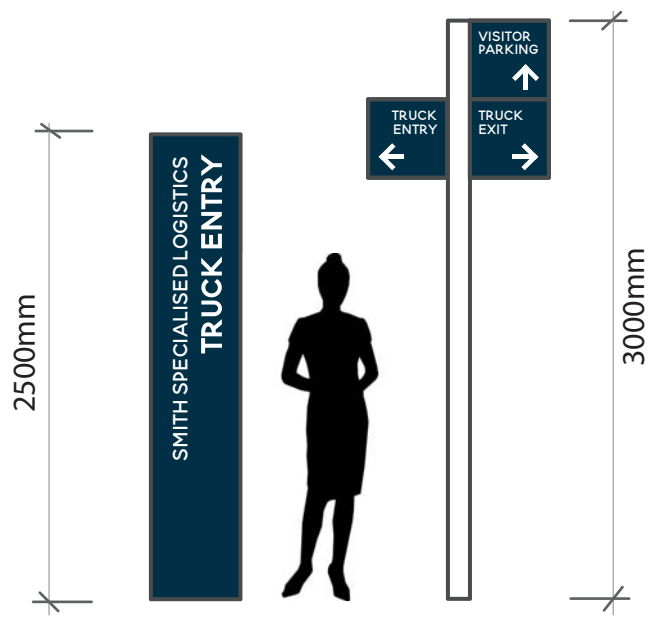
Estate signage/warehouse numbering should be applied to give cohesion to the warehouses in the estate. Signage should be integrated into the feature/accent material expressed at the corners, rather than paint or a flat face-fixed sign.



TENANT IDENTIFICATION



TENANT DIRECTIONAL

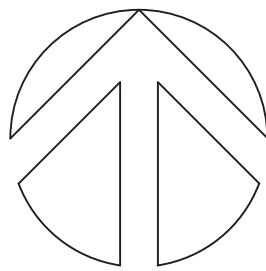


TYPICAL COLOURS & MATERIALS SCHEDULE

- PRE-FINISHED METAL WALL CLADDING COLORBOND "GULLY" OR SIMILAR
- PRE-FINISHED METAL WALL CLADDING COLORBOND "SHALE GREY" OR SIMILAR
- PRE-FINISHED METAL WALL CLADDING COLORBOND "SURFMIST" OR SIMILAR
- PAINTED PRECAST FEATURE WALL "BRONZE" OR SIMILAR
- TRANSLUCENT POLYCARBONATE SHEETING
- PAINTED EXPRESSED FRAMING DARK GREY OR SIMILAR
- PAINTED EXPRESSED FRAMING NAVY OR SIMILAR COLOUR
- POWDERCOATED ROLLER SHUTTER DOOR "IRONSTONE" OR SIMILAR
- POWDER COATED STEEL SLAT FENCE "TIMBER LOOK FINISH" OR SIMILAR
- POWDER COATED METAL CLAD BLADE ELEMENTS RED OR SIMILAR
- POWDER COATED STEEL VERTICAL BLADES "TIMBER LOOK FINISH" OR SIMILAR
- PAINTED COMPRESSED FIBRE CEMENT SHEET CLADDING "WHITE" OR SIMILAR
- PRECAST WALL EXPOSED PRECAST CONCRETE
- ROOF SHEETING ZINCALUME

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G	DA ISSUE	01/05/2020
H	DA ISSUE	18/05/2020
I	DA ISSUE	30/07/2020



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
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RHODES NSW 2138

PHONE 02 9767 2000
FAX 02 9767 2908

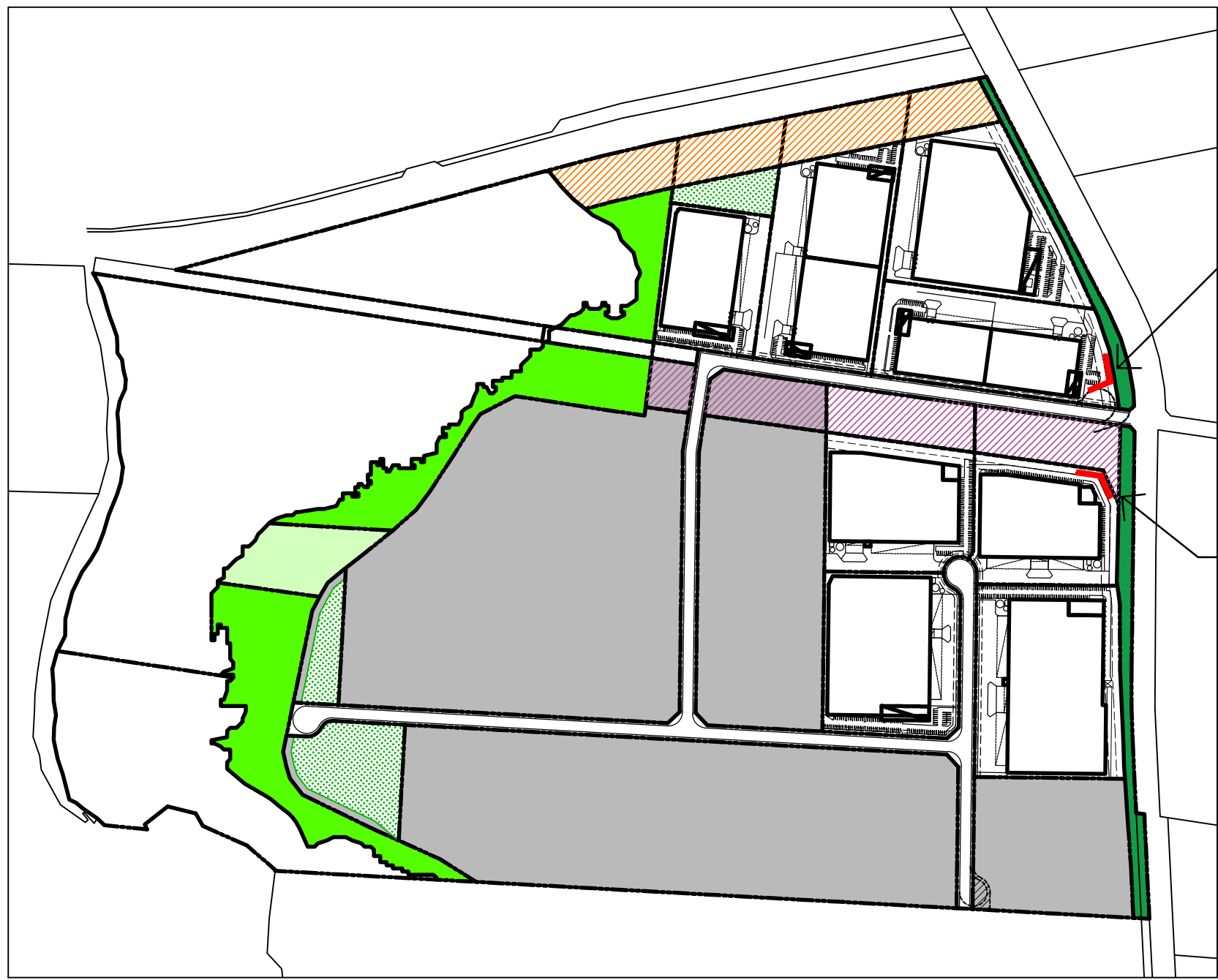
PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kamps Creek
(Lot 24 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
SIGNAGE DETAILS & TYPICAL COLOURS & MATERIALS SCHEDULE

SCALE
DRAWN MP
CHECKED MP
DATE 31/07/20
JOB NUMBER

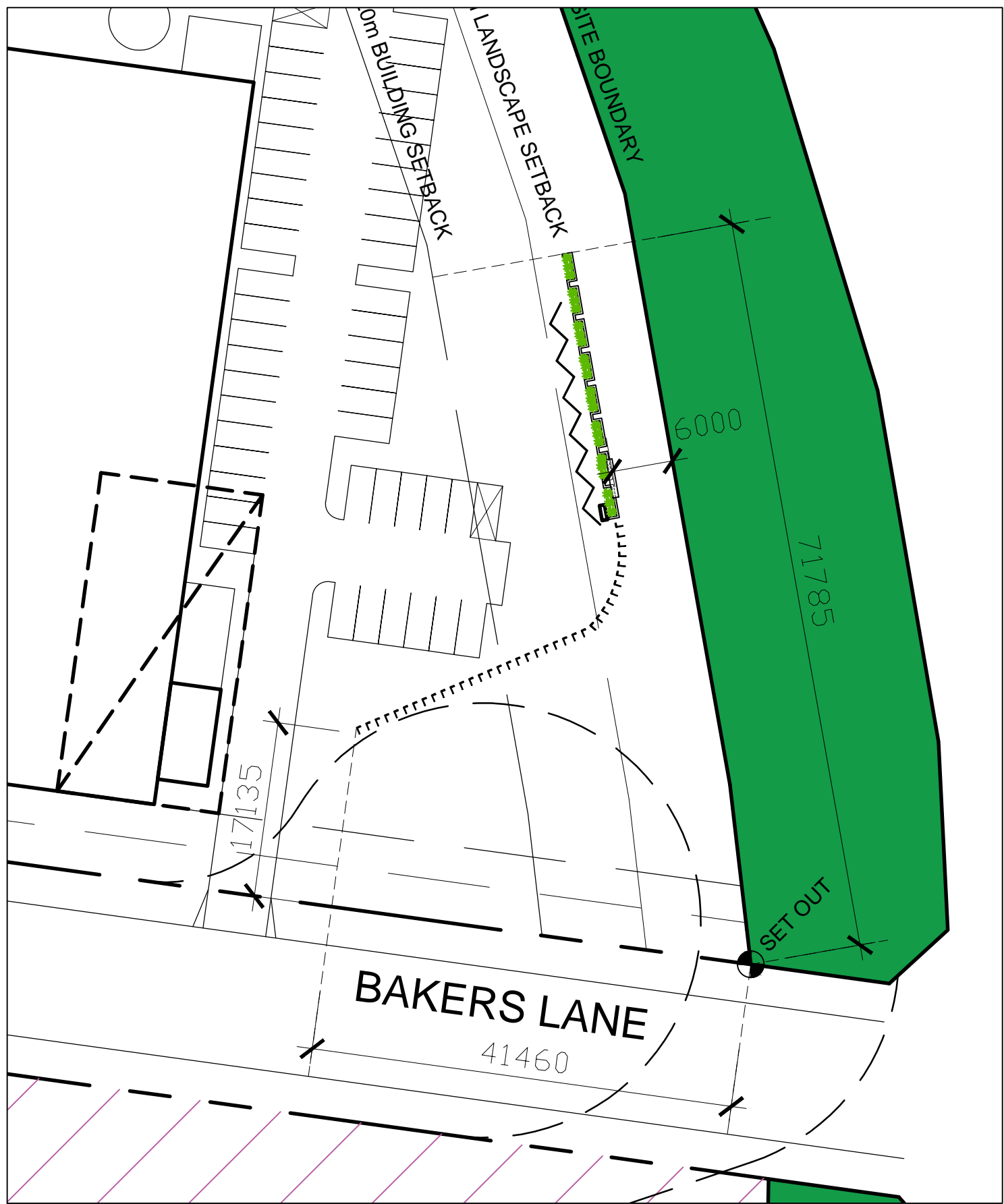
DRAWING NUMBER ISSUE
SP-KC1-DA-501 I



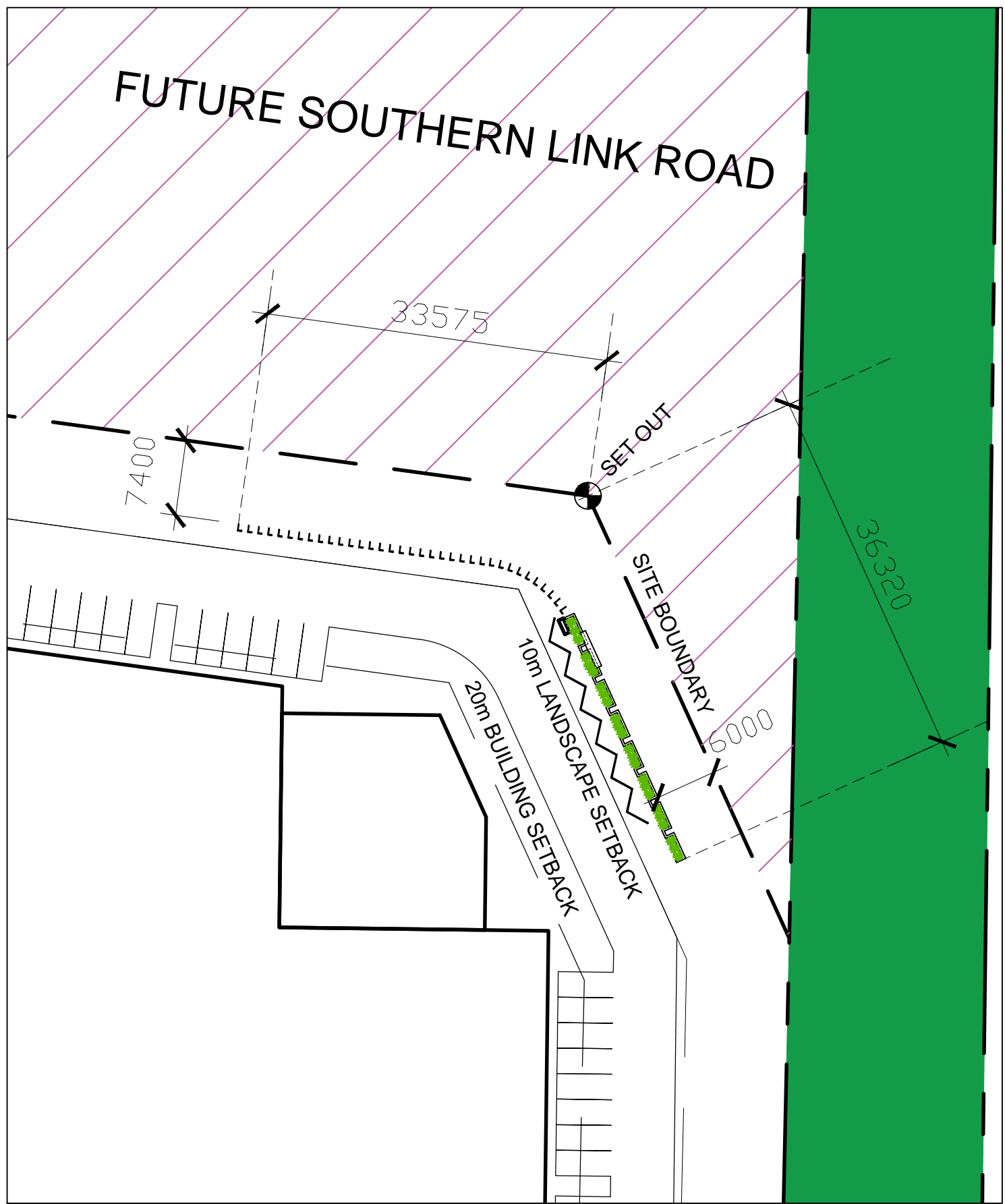
KEY MAP (NOT TO SCALE)

SIGNAGE TO THE NORTH OF BAKERS LANE

SIGNAGE TO THE SOUTH OF BAKERS LANE



NORTHERN ESTATE ENTRY FEATURE DETAIL - SCALE 1:500



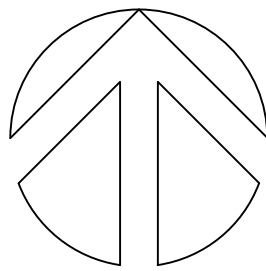
SOUTHERN ESTATE ENTRY FEATURE DETAIL - SCALE 1:500

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E	DA ISSUE	05/05/2010
F	DA ISSUE	21/10/2010
G	DA ISSUE	11/05/2020
H	DA ISSUE	18/05/2020
I	DA ISSUE	31/07/2020



ESTATE ENTRY FEATURES



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mann Road, Kemps Creek
(Lot 54 DP 1118173, Lot X DP 421653, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
ESTATE SIGNAGE
ENTRY FEATURES
SHEET 1

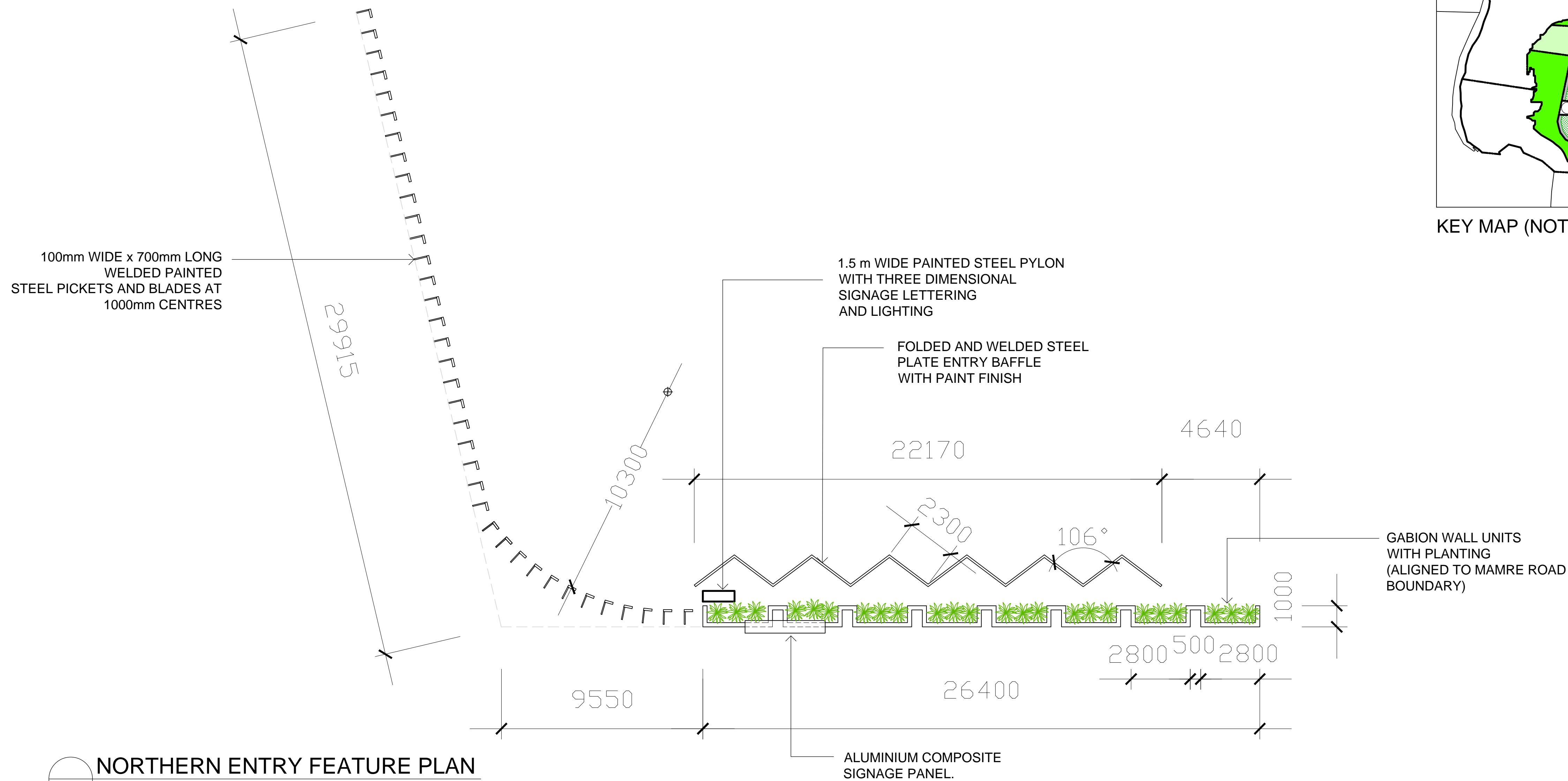
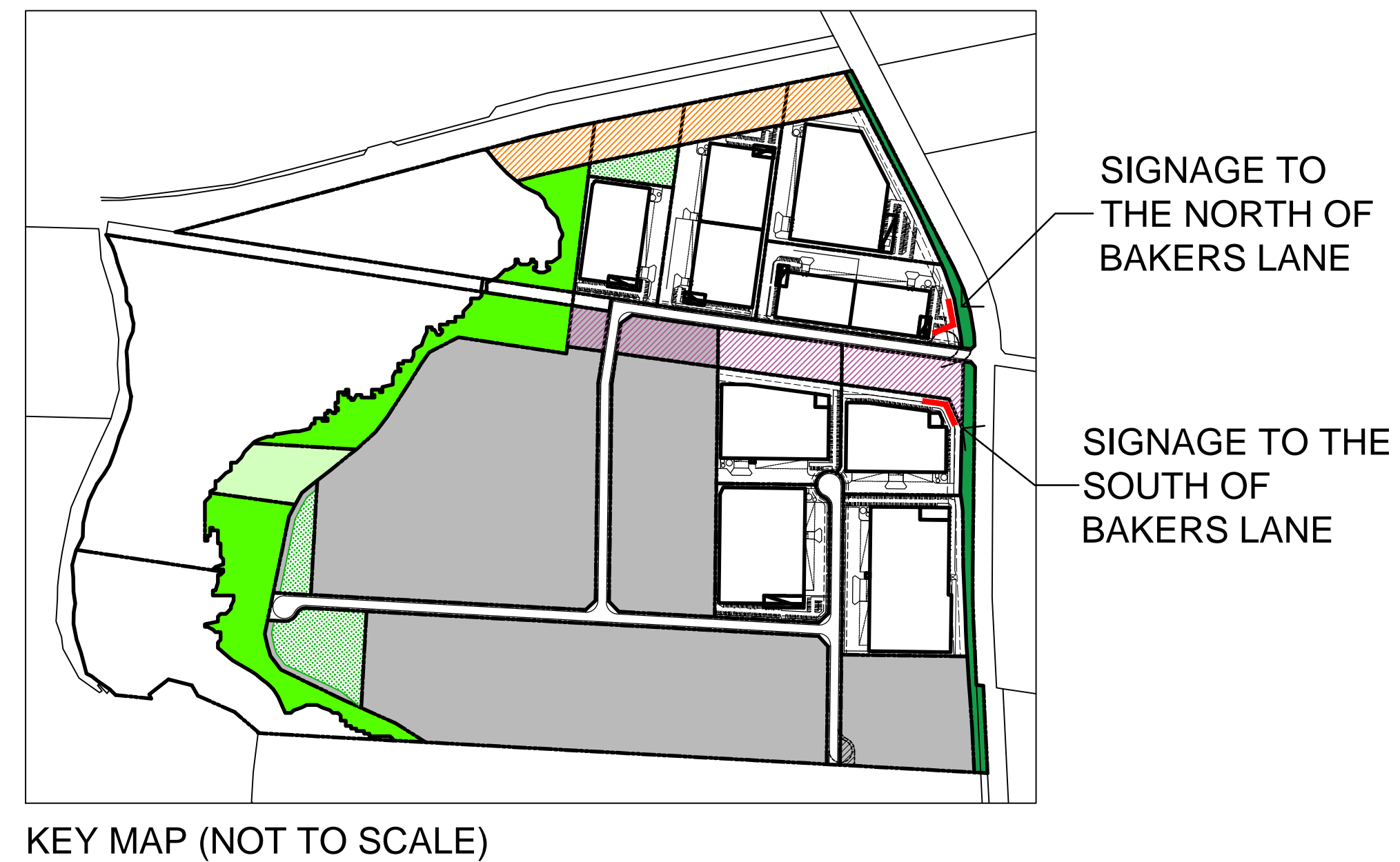
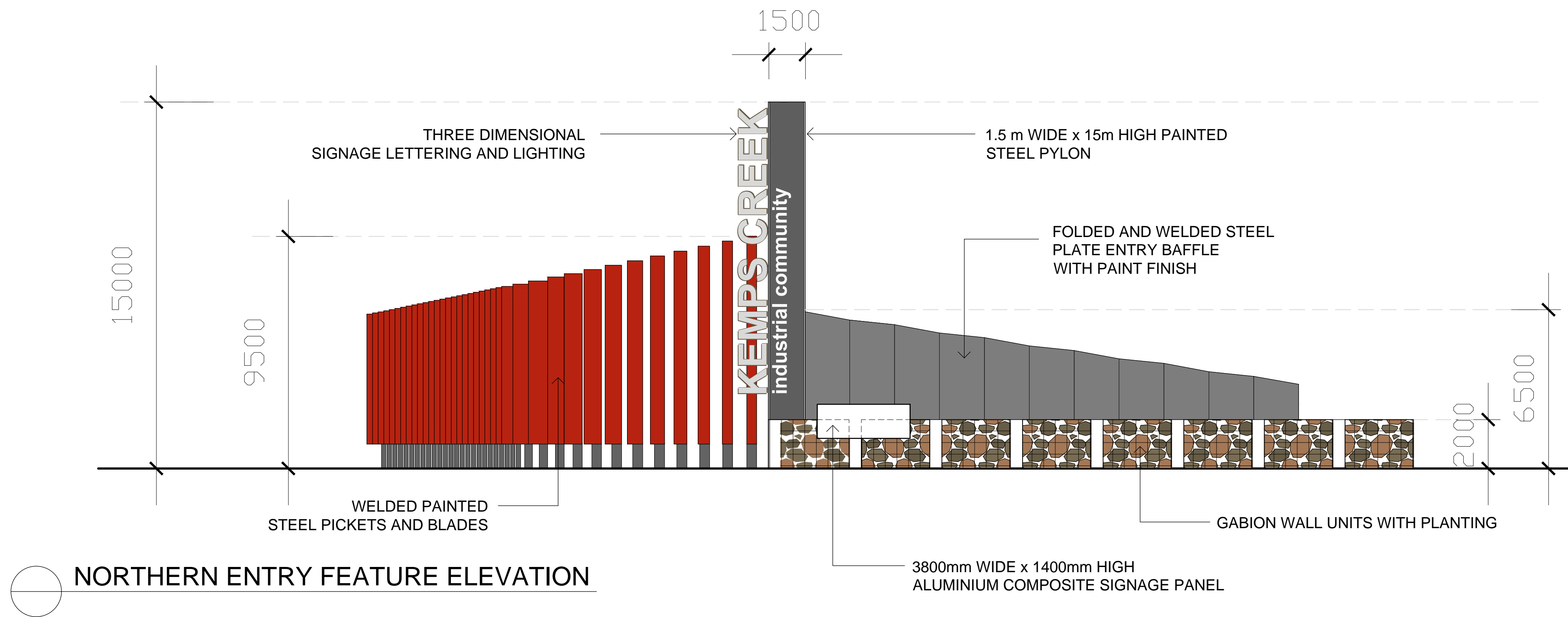
SCALE
DRAWN MP
CHECKED MP
DATE 31/07/20
JOB NUMBER

DRAWING NUMBER ISSUE

SP-KC1-DA-502 I

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I	DA ISSUE	31/07/2020



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

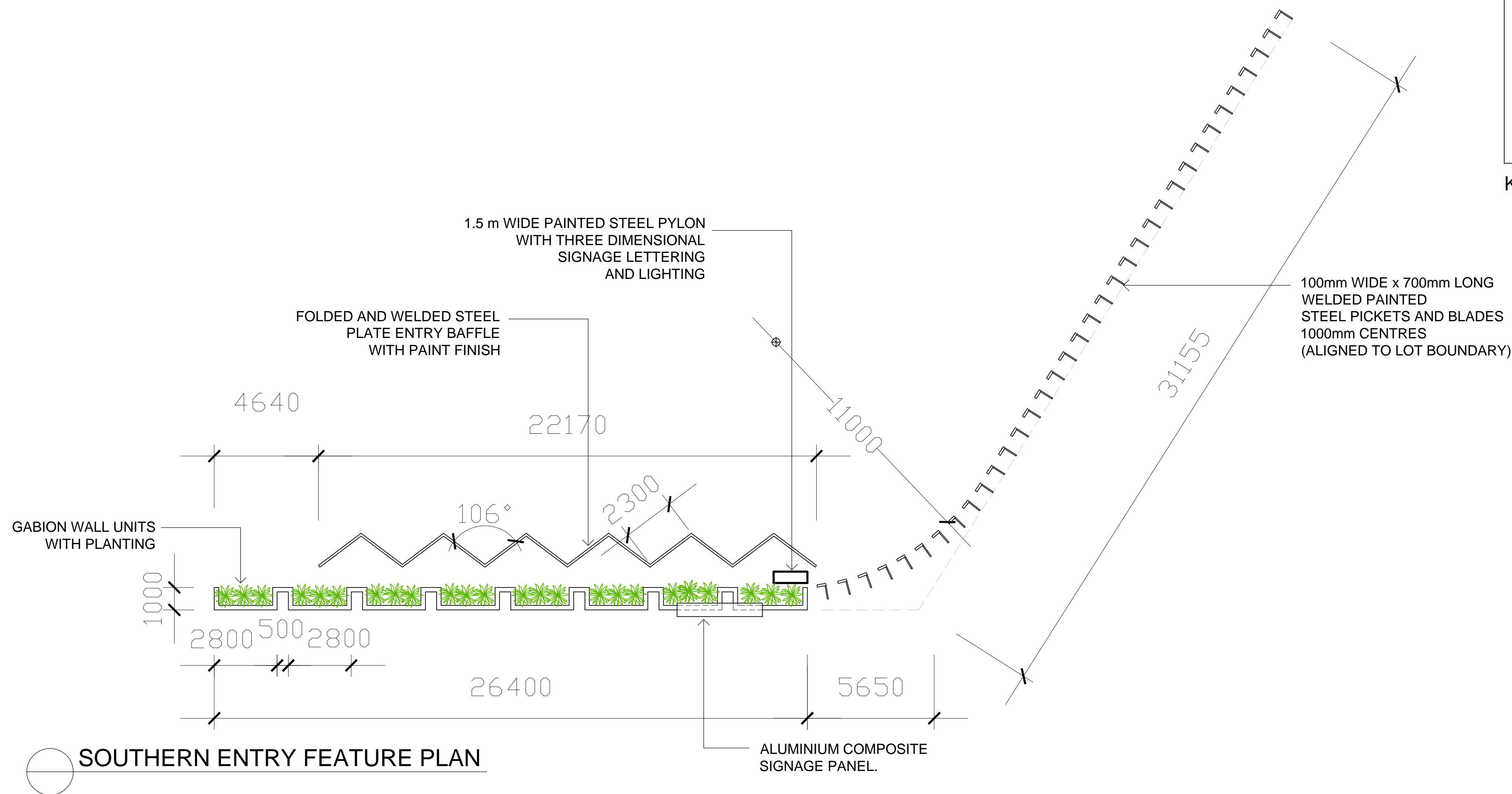
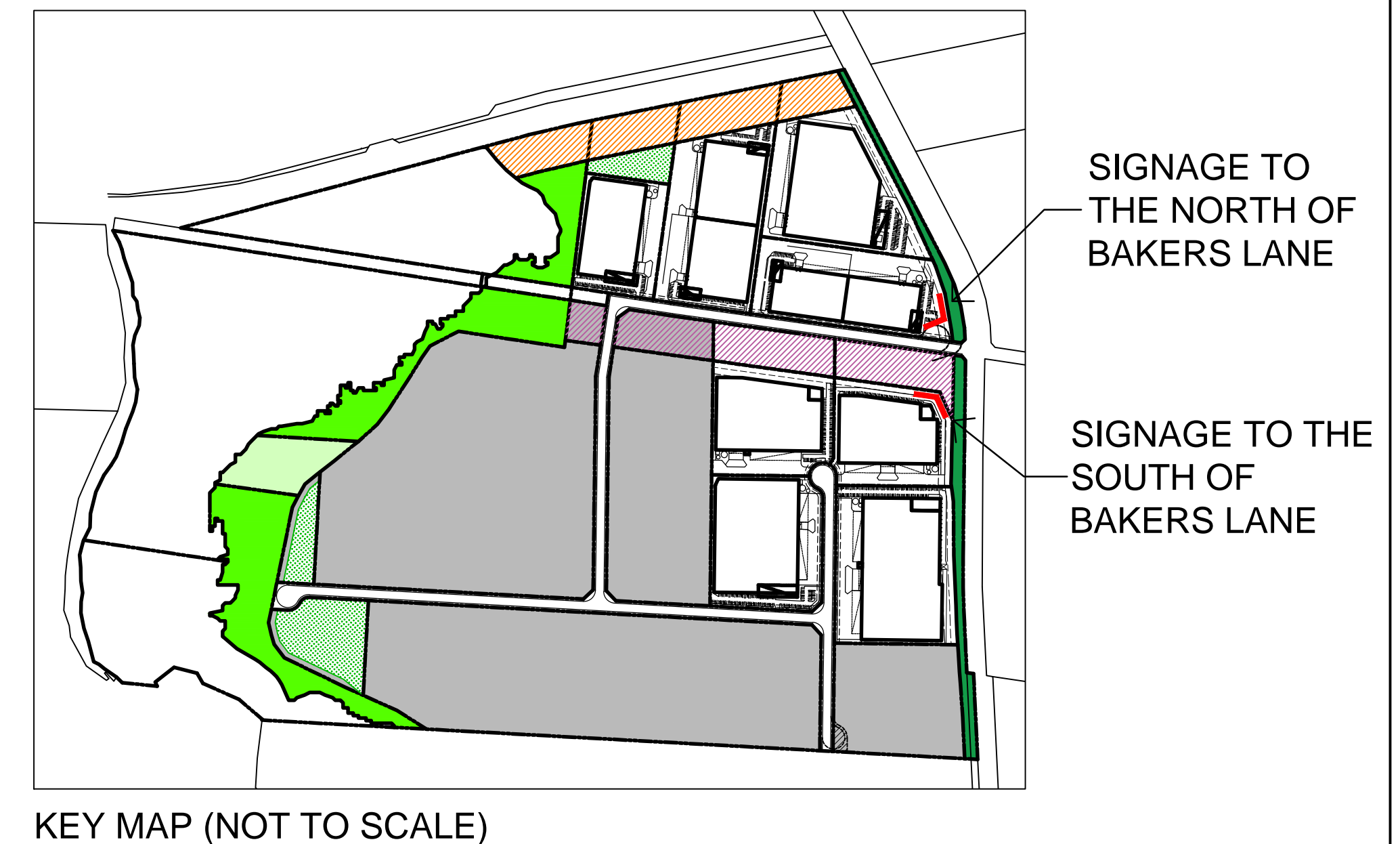
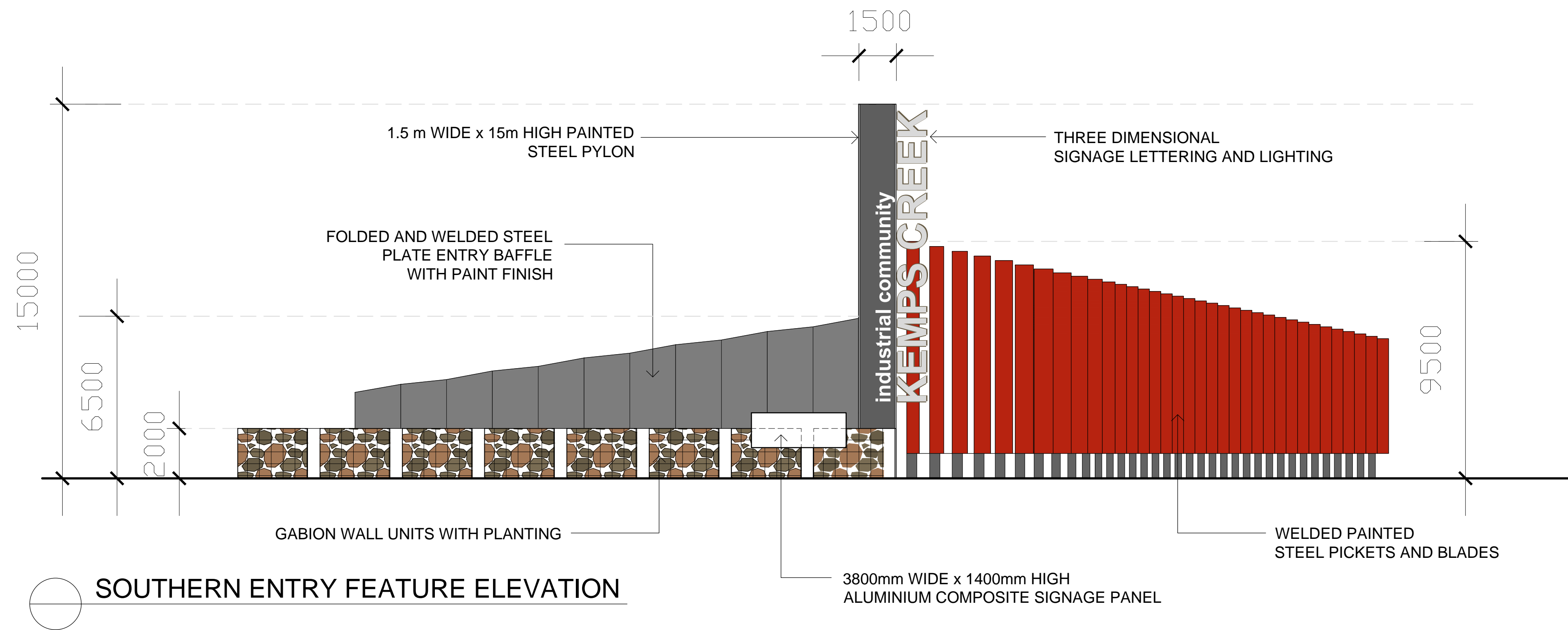
DRAWING TITLE
ESTATE SIGNAGE ENTRY FEATURES SHEET 2

SCALE
DRAWN MP
CHECKED MP
DATE 31/07/20
JOB NUMBER

DRAWING NUMBER
SP-KC1-DA-503

ISSUE
I

REVISION	DESCRIPTION	DATE
E	DA ISSUE	08/05/2010
F	DA ISSUE	21/10/2010
G	DA ISSUE	31/05/2020
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COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
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RHODES NSW 2138
PHONE 02 9767 2000
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PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

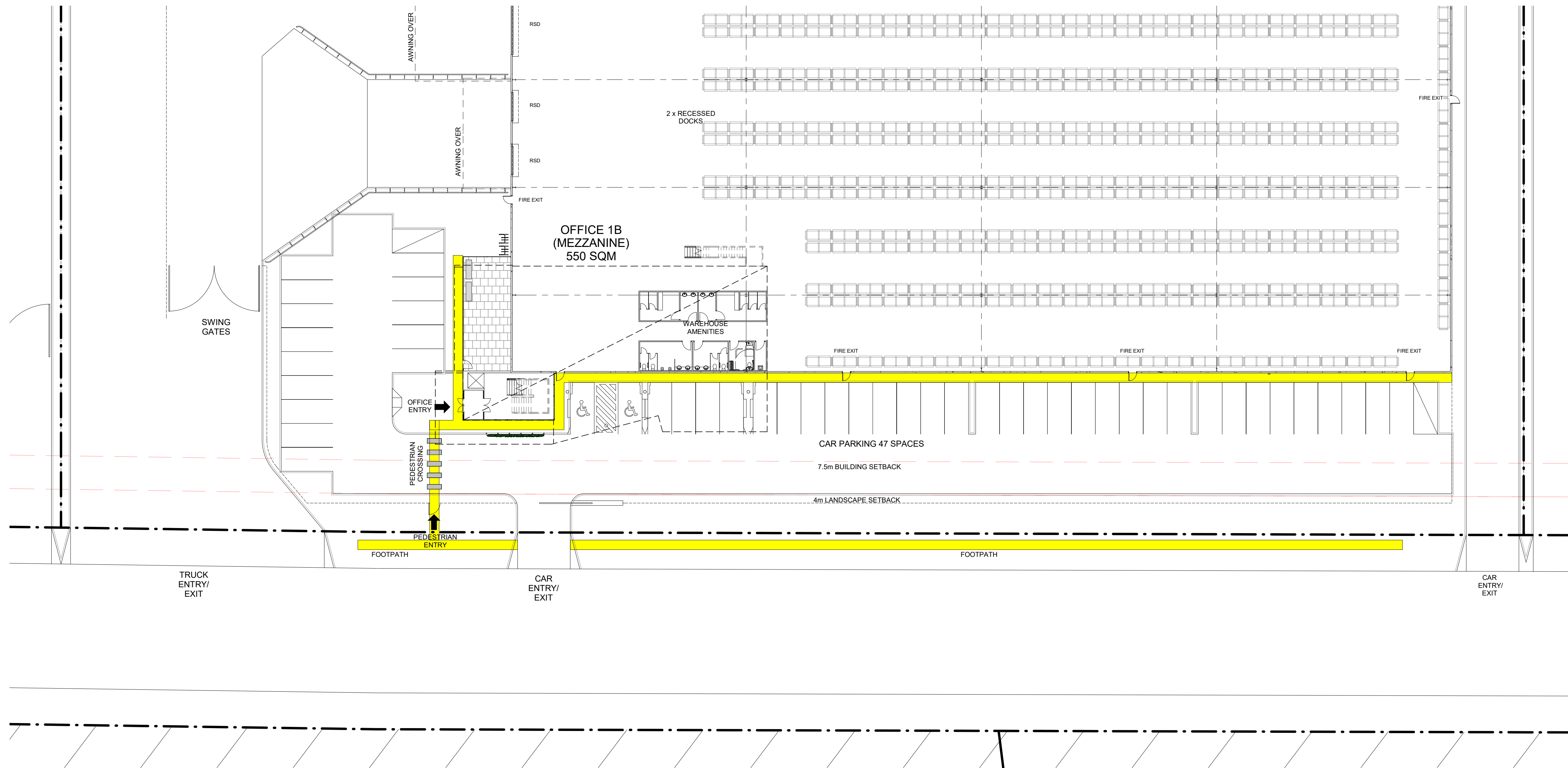
ADDRESS
657-769 Manne Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421653, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
ESTATE SIGNAGE
ENTRY FEATURES
SHEET 3

SCALE
DRAWN MP
CHECKED MP
DATE 31/07/20
JOB NUMBER

DRAWING NUMBER
SP-KC1-DA-504
ISSUE
I

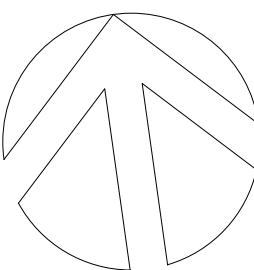
REVISION	DESCRIPTION	DATE
F	DA ISSUE	21/10/2019
G	DA ISSUE	01/05/2020
H	DA ISSUE	18/05/2020
I	DA ISSUE	31/07/2020



1 PEDESTRIAN ACCESS ROUTE
1 : 250

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COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
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RHODES NSW 2138
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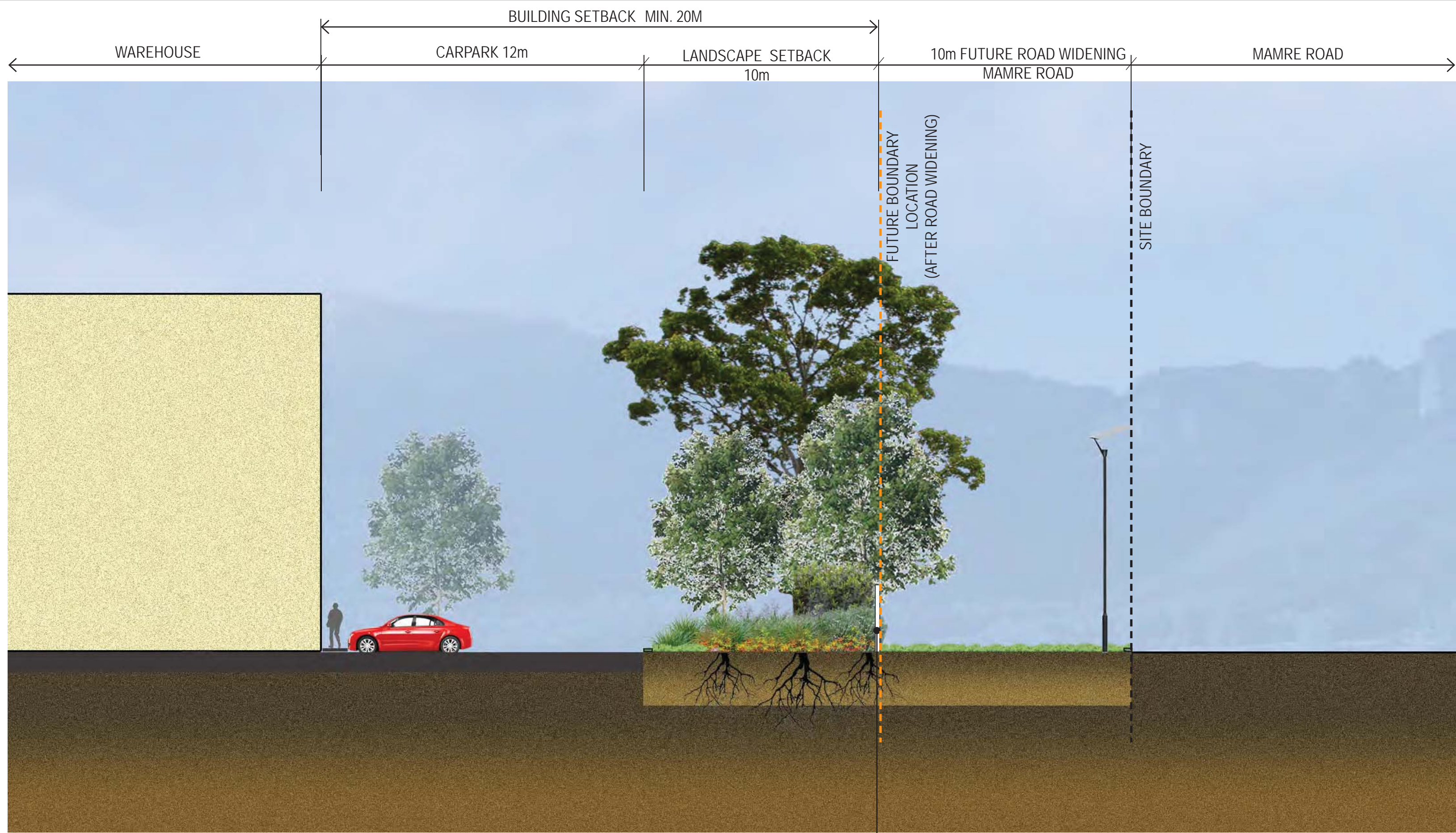
PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

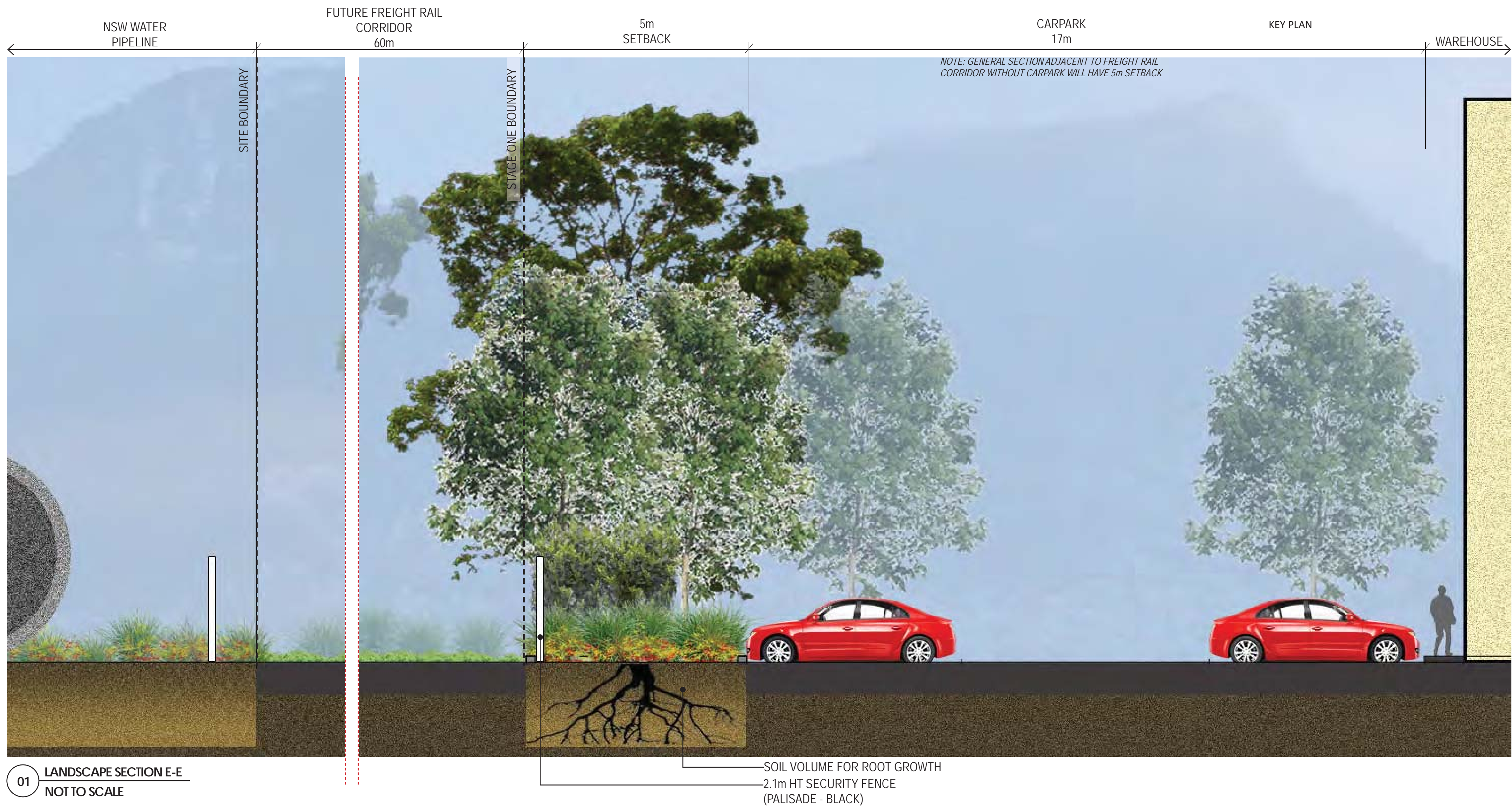
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TYPICAL PEDESTRIAN ACCESS ROUTE

SCALE 1 : 250
DRAWN MP
CHECKED JQ
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER ISSUE
SP-KC1-DA-505 I



01 LANDSCAPE SECTION F-F
NOT TO SCALE



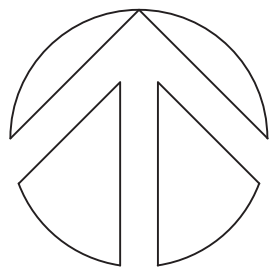
01 LANDSCAPE SECTION E-E
NOT TO SCALE



KEY MAP (NOT TO SCALE)

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1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
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RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kamps Creek
(Lot 24 DP 1118173, Lot X DP 421633, Lot Y DP 421633
& Lot 22 DP 258414)

DRAWING TITLE
LANDSCAPE
SECTIONS EE & FF

SCALE
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CHECKED MP
DATE 31/07/20
JOB NUMBER

DRAWING NUMBER
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ISSUE
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COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP
258414)

DRAWING TITLE
OFFICE 1B PERSPECTIVE

SCALE
DRAWN MP
CHECKED JQ
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER
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I	DA ISSUE	31/07/2020



COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
BUILDING C, LEVEL 3
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
OFFICE 2 PERSPECTIVE

SCALE
DRAWN MP
CHECKED JQ
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER
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COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE
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FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kamps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
OFFICE 3B PERSPECTIVE

SCALE
DRAWN MP
CHECKED JQ
DATE 31/07/2020
JOB NUMBER

DRAWING NUMBER
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ISSUE
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Office 5 - North / East



Office 5 - South / East

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H	DA ISSUE	19/05/2020
I	DA ISSUE	30/07/2020

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nettleon tribe partnership pty ltd ABN 58 161 683 122
117 Willoughby Road, Crows Nest, NSW 2065
t: +61 2 9431 6431
e: sydney@nettleontribe.com.au w: nettleontribe.com.au

FRASERS **ALTIS**
PROPERTY PROPERTY PARTNERS

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BUILDING C, LEVEL 3 FAX 02 9767 2908
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318,
Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
Office 5 Perspectives

SCALE
DRAWN Author
CHECKED Checker
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER ISSUE
SP-KC1-DA-603 I



OFFICE 6 - NORTH VIEW



OFFICE 6 - EAST VIEW

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REVISION	DESCRIPTION	DATE
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I	DA ISSUE	31/07/2020

nettleontribe
nettleon tribe partnership pty ltd ABN 58 161 683 122
117 Willoughby Road, Crows Nest, NSW 2065
t: +61 2 9431 6431
e: sydney@nettleontribe.com.au w: nettleontribe.com.au

FRASERS **ALTIS**
PROPERTY PROPERTY PARTNERS

COMMERCIAL & INDUSTRIAL DIVISION
1 HOMEBUSH BAY DRIVE PHONE 02 9767 2000
BUILDING C, LEVEL 3 FAX 02 9767 2908
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318,
Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
Office 6 Perspective

SCALE
DRAWN Author
CHECKED Checker
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER ISSUE
SP-KC1-DA-604 I



Office 7 - South / East

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EXTERNAL FINISH LEGEND - OFFICE

- 21. PREFINISHED FC - DARK GREY
- 22. PREFINISHED FC - LIGHT GREY
- 23. PREFINISHED FC - TIMBER LOOK
- 24. POWDERCOATED ALUMINIUM WINDOW FRAME - 'ANTHRACITE' OR SIMILAR
- 25. POWDERCOATED ALUMINIUM WINDOW FRAME - 'SILVER METALLIC' OR SIMILAR
- 26. POWDERCOATED ALUMINIUM WINDOW FRAME - RED
- 27. PREFINISHED CORTEN LOOK CLADDIND
- 28. ALUMINIUM TIMBER LOOK BATTENS
- 29. PAINT FINISH - 'SILVER METALLIC' OR SIMILAR
- 30. PAINT FINISH - 'ANTHRACITE' OR SIMILAR
- 31. PRE-FINISHED REC. AREA SCREEN - 'CLASSIC OAK'
- 32. GLAZING PANEL - CLEAR
- 33. GLAZING PANEL - COLOURBACK LIGHT GREY
- 34. GLAZING PANEL - COLOURBACK DARK GREY
- 35. TIMBER LOOK ALUMINIUM PANEL
- 36. GUTTER, CAPPINGS, DOWNPIPES & TANK - 'IRONSTONE' OR SIMILAR

nettletontribe
nettleton tribe partnership pty ltd ABN 58 161 683 122
117 Willoughby Road, Crows Nest, NSW 2065
t: +61 2 9431 6431
e: sydney@nettletontribe.com.au w: nettletontribe.com.au



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PO BOX 3307
RHODES NSW 2138
PHONE 02 9767 2000
FAX 02 9767 2908

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318, Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
Office 7 Perspectives

SCALE	1 : 1
DRAWN	SF
CHECKED	DC
DATE	30/07/2020
JOB NUMBER	10476

DRAWING NUMBER	ISSUE
SP-KC1-DA-605	I

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OFFICE 8 - NORTH

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e: sydney@nettleontribe.com.au w: nettleontribe.com.au



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1 HOMEBUSH BAY DRIVE PHONE 02 9767 2000
BUILDING C, LEVEL 3 FAX 02 9767 2908
RHODES NSW 2138
PO BOX 3307
RHODES NSW 2138

PROJECT
PROPOSED WAREHOUSE, LOGISTICS AND
INDUSTRIAL FACILITIES HUB

ADDRESS
657-769 Mamre Road, Kemps Creek
(Lot 34 DP 1118173, Lot X DP 421633, Lot 1 DP 1018318,
Lot Y DP 421633 & Lot 22 DP 258414)

DRAWING TITLE
Office 8 Perspective

SCALE
DRAWN JJ
CHECKED DC/MC
DATE 30/07/2020
JOB NUMBER 10476

DRAWING NUMBER ISSUE
SP-KC1-DA-606 I