

SIRIUS SITE

2-60 CUMBERLAND ST, THE ROCKS

LANDSCAPE DOCUMENTATION

SSDA

DRAWING REGISTER

Dwg No.	Drawing Title	Size	Scale
L-DA-01	Cover Page	A1	N/A
L-DA-08	Landscape Plan - BASEMENT B4-B3	A1	N/A
L-DA-09	Landscape Plan - BASEMENT B2-B1	A1	1:100
L-DA-10	Landscape Plan - LEVEL 01-03	A1	1:100
L-DA-11	Landscape Plan - LEVEL 03-05	A1	1:100
L-DA-12	Consolidated Ground Floor / Public Domain Plan	A1	1:100
L-DA-13	Landscape Plan - LEVEL 05-07	A1	1:100
L-DA-14	Landscape Plan - LEVEL 07-09	A1	1:100
L-DA-15	Landscape Plan - LEVEL 09-11	A1	1:100
L-DA-16	Landscape Plan - LEVEL 11-13	A1	1:100
L-DA-17	Landscape Plan - LEVEL 13-15	A1	1:100
L-DA-18	Landscape Plan - LEVEL 15-17	A1	1:100
L-DA-19	Landscape Plan - LEVEL 18-19	A1	1:100
L-DA-20	Landscape Plan - LEVEL 20-21	A1	1:100
L-DA-21	Landscape Plan - LEVEL 24-25	A1	1:100
L-DA-22	Landscape Plan - LEVEL 27	A1	1:100
L-DA-23	Consolidated Roof Plan	A1	1:100
L-DA-24	Typical Private Roof Terrace	A1	1:100
L-DA-25	Typical non-Accessible Green Roof	A1	1:50
L-DA-26	Planting Palette - TREES	A1	1:50
L-DA-27	Planting Palette - GROUND FLOOR & COURTYARDS	A1	1:100
L-DA-28	Planting Palette - GREEN ROOFS	A1	1:100
L-DA-29	Boundary Wall / Fence Plan	A1	N/A
L-DA-30	Cumberland St Elevation	A1	N/A
L-DA-31	Site Canopy Coverage Plan	A1	1:300
L-DA-32	Roof Garden Access Methodology	A1	N/A

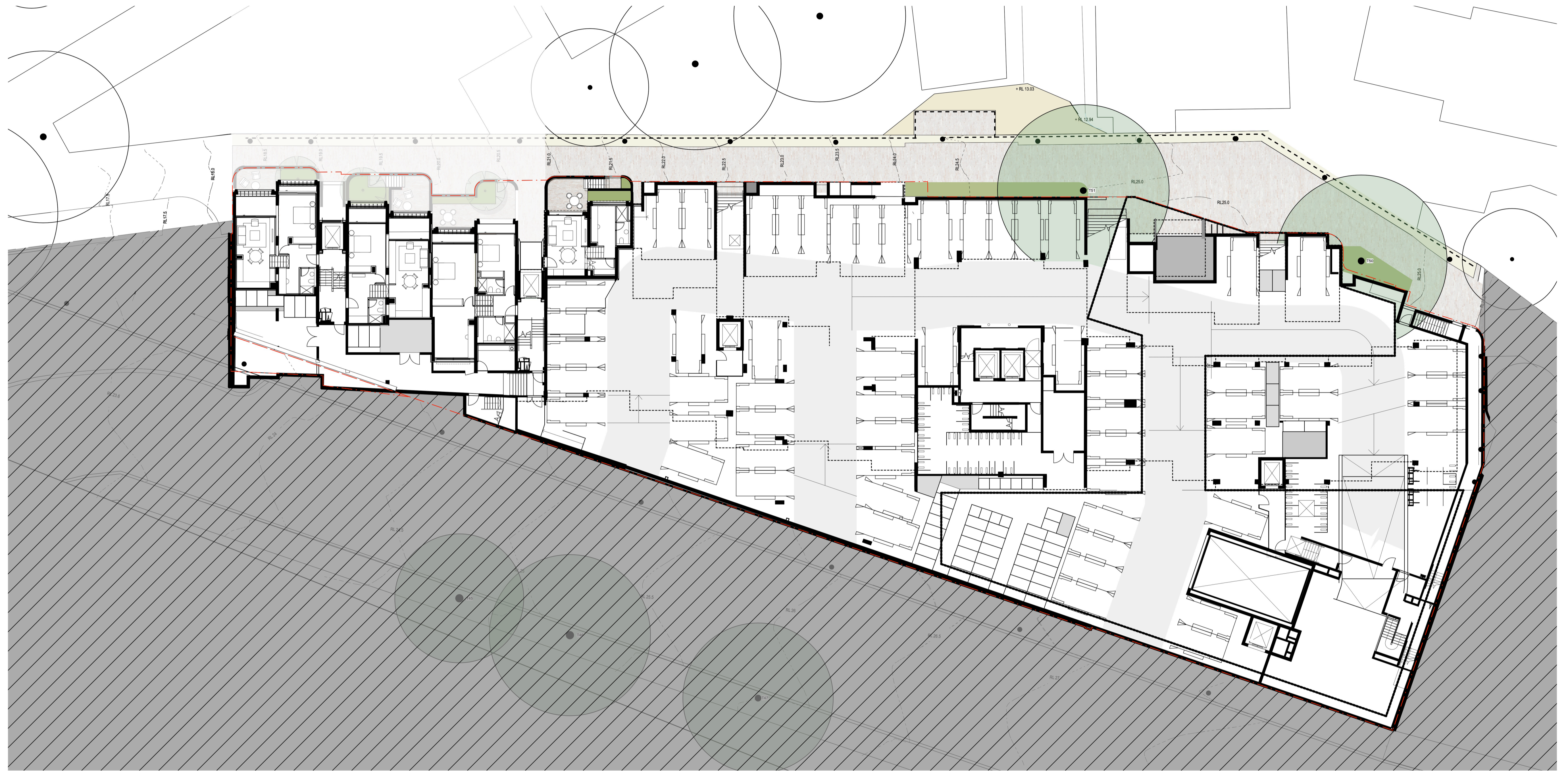
GENERAL NOTES

- * FOR DEVELOPMENT APPLICATION ONLY
- * Do not scale from drawings
- * Larger scale drawings and written dimensions take preference
- * All dimensions in mm unless otherwise stated.
- * All tree dimensions and RLs in metres.
- * Use figured dimensions only.
- * Verify all dimensions on site before the commencement of any works.
- * Contractors shall locate and protect all services prior to construction.
- * All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
- * Structural Details shall be subject to Engineer's Specifications.
- * Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- * All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
- * Protect all adjoining property building, walls and paving. Damaged elements are to be replaced.
- * No responsibility will be taken by 360 degrees. for any variations in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
- * Service location on plans are indicative only . 360 accepts no responsibility for the accuracy of service location. it is the responsibility of the contractor to determine service locations prior to the commencement of work. Any damages remains the responsibility of the contractor.
- * This Drawing is copyright to 360 degrees.

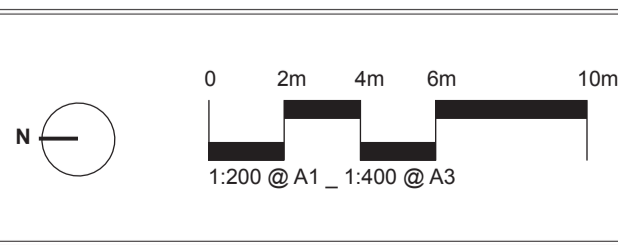
LOCATION PLAN



ISS.	AMENDMENT	DATE	BY	IMPORTANT NOTES	CLIENT	ARCHITECT	CHECKED	DWG. TITLE
B	DRAFT SSDA	04.08.20	LB	Do not scale from drawings All dimensions to be stated to the attention of the Landscape Architect Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated. All tree dimensions and RLs in metres. Verify all dimensions on site before the commencement of any works. Contractors shall locate and protect all services prior to construction. Structural Details shall be subject to Engineer's Specifications. Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications. All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications. The responsibility for the accuracy of service location is the responsibility of the contractor to determine service locations prior to the commencement of work. Any damages remains the responsibility of the contractor. This Drawing is copyright to 360 degrees.	Sirius Developments Pty Ltd	BVN	LB	Cover Page
C	DRAFT SSDA	07.08.20	LB					PROJECT
D	DRAFT SSDA	24.09.20	LB					SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS
E	DRAFT SSDA	16.10.20	LB					
F	SSDA	27.10.20	LB					
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB					
					SCALE N/A	DRAWN LB	ISSUE SSDA	



ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings.
 All dimensions are to be taken to the centerline of the Landscape Architect.
 Larger scale drawings and within dimensions take preference. All dimensions in mm unless otherwise stated.
 All dimensions and levels are in meters.
 All levels are in meters above sea level.
 Verify all dimensions on site before the commencement of any work.
 Construction and materials to be used shall be approved by the Council.
 All work shall be carried out in accordance with the Council's and Local Government Regulations.
 The Council's and Local Government Regulations shall be applied to the design and construction of the project.
 All work shall be carried out in accordance with the Council's and Local Government Regulations.
 The Council's and Local Government Regulations shall be applied to the design and construction of the project.
 All work shall be carried out in accordance with the Council's and Local Government Regulations.
 The Council's and Local Government Regulations shall be applied to the design and construction of the project.

CLIENT
 Sirius
 Developments
 Pty Ltd

ARCHITECT

 BWN

CHECKED
 LB

SCALE
 1:200@A1

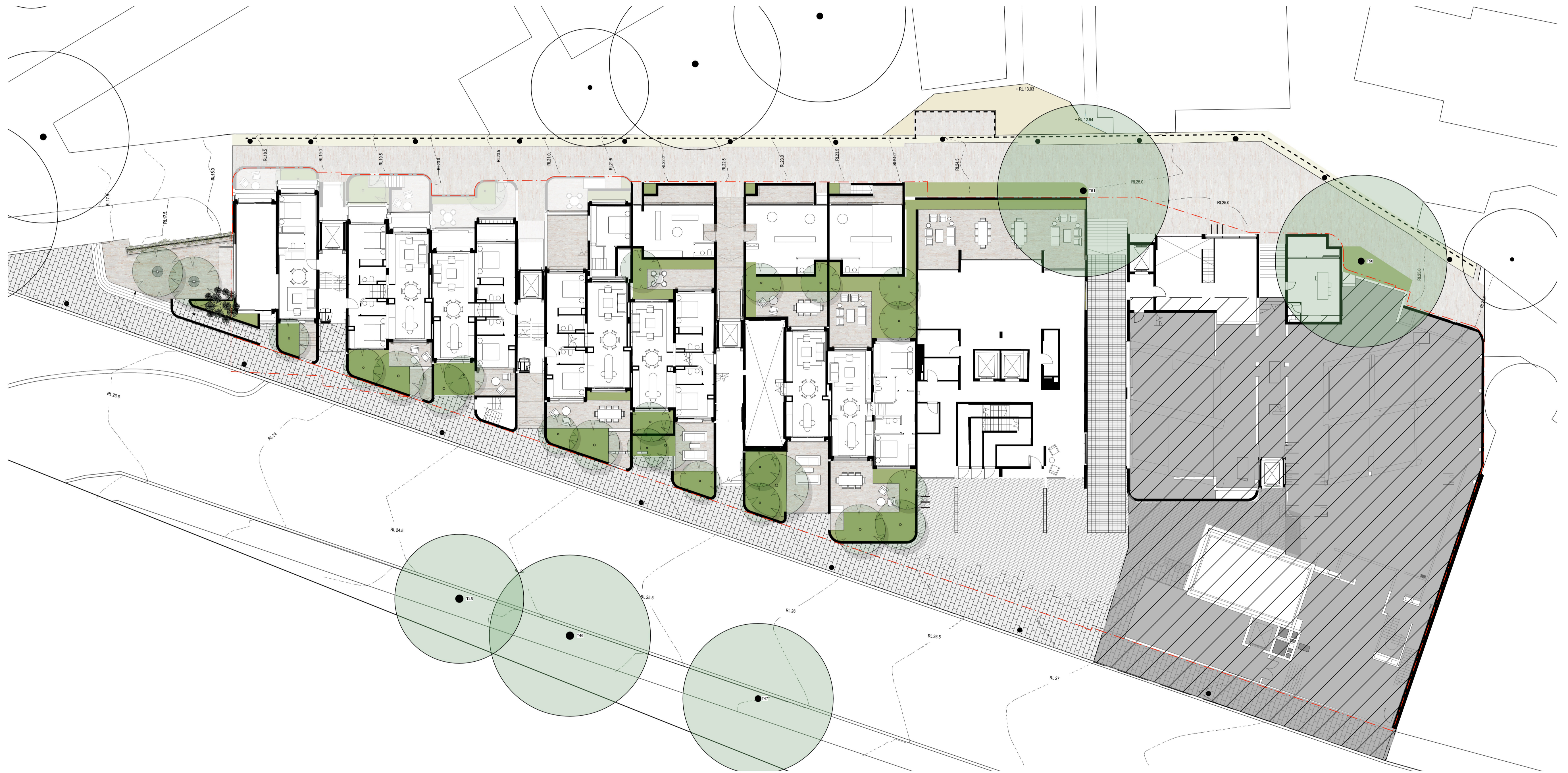
DRAWN
 LB

ISSUE
 SSDA

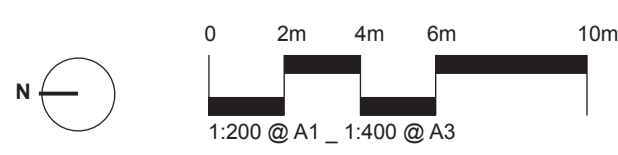
DWG. TITLE
Landscape Plan - BASEMENT B2-B1
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
 Level 1, 1 Marys Place
 Bunnings Hill NSW 2010
 t +61 2 9550 2800
 w www.360.net.au
 ABRN 60 146 901 382

L-DA-09




ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings.
 All dimensions are to be taken to the centerline of the Landscape Architect.
 Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
 All dimensions and RLs in meters.
 Use metric units only.
 Verify all dimensions on site before the commencement of any works.
 Construction and material details are to be confirmed with the Engineer.
 Detailed Details shall be subject to Engineer's Specifications.
 All work shall be carried out in accordance with the Australian Standard AS/NZS 4576:2012.
 The responsibility for the design and construction of the works shall remain with the Client.
 This Drawing is copyright © 2020 BVM.

CLIENT
 Sirius
 Developments
 Pty Ltd

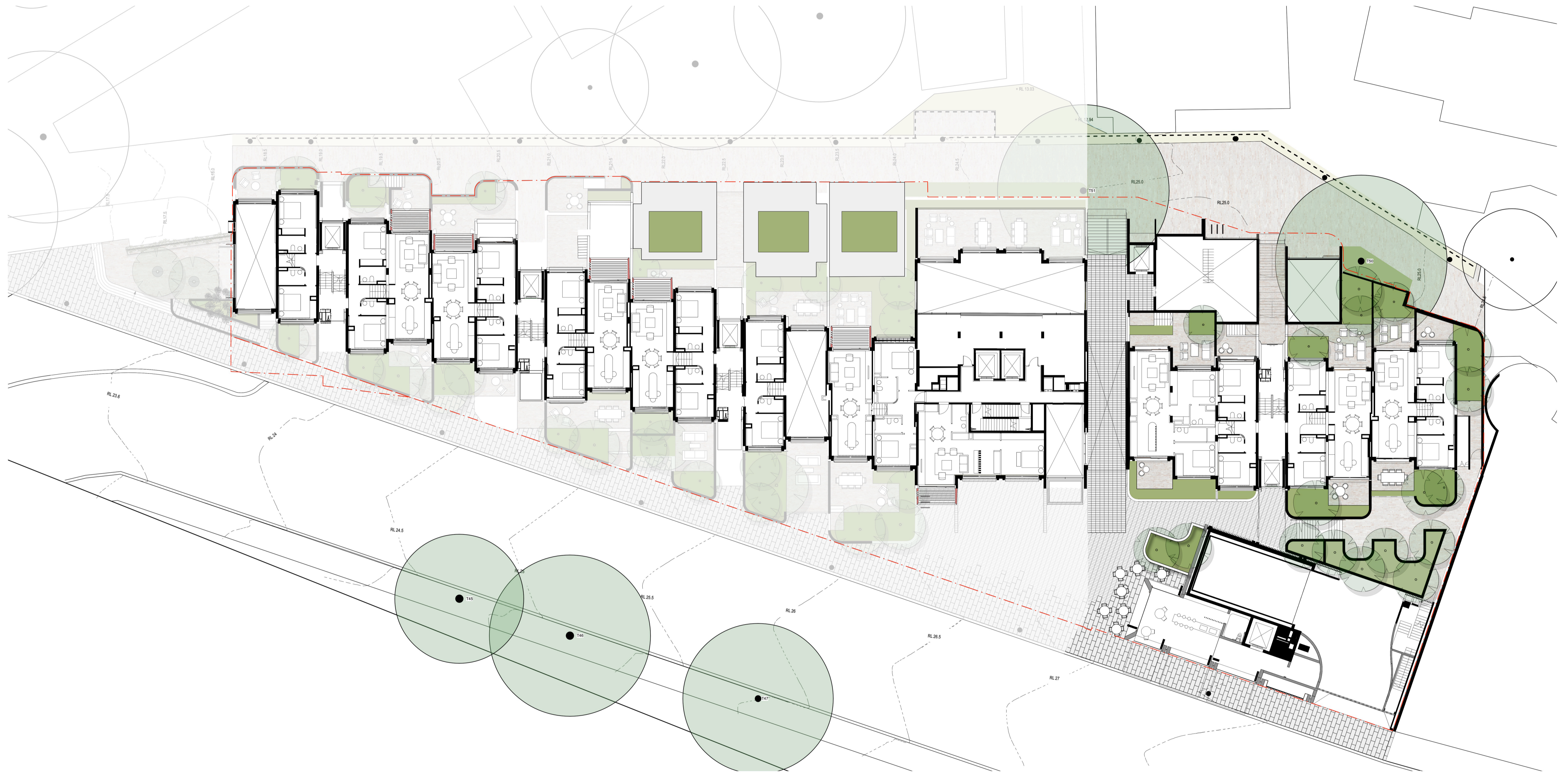
ARCHITECT


CHECKED
 LB

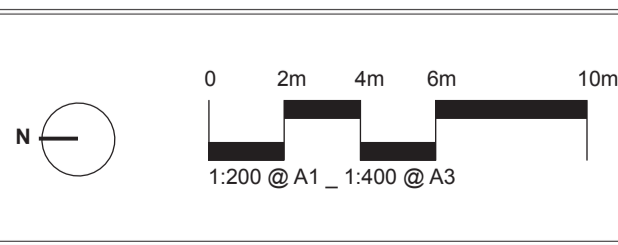
DRAWN
 LB

ISSUE
 SSDA

DWG. TITLE
Landscape Plan - LEVEL 01-03
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings.
 All dimensions are to be checked by the client.
 Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
 All dimensions and RLs in metres.
 Use metric units only.
 All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
 All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
 All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
 All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
 This Drawing is copyright © 2021 BUN.

CLIENT
 Sirius
 Developments
 Pty Ltd

ARCHITECT
 BUN

CHECKED
 LB

ISSUE
 SSDA

DWG. TITLE
Landscape Plan - LEVEL 03-05
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



LEGEND

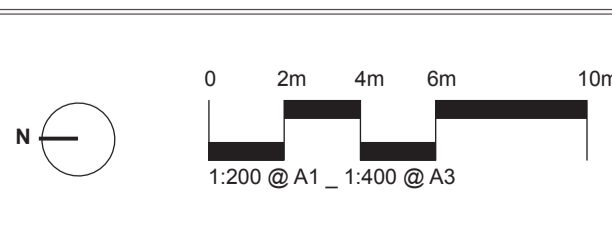
- 1 Public amenity upgrade - Elevated brick paved terrace to maximise views across Sydney Harbour
- 2 Steps up from footpath to public terrace
- 3 1:14 compliant ramp up from footpath to public terrace
- 4 Wall to ramp, potential signage opportunity
- 5 Parapet wall with palisade fence on top (to match existing)
- 6 Brick seat integrated with parapet wall and planted arbour over
- 7 2 x Feature shade trees to courtyard park
- 8 Private courtyards with landscaping for privacy
- 9 Articulated boundary security/privacy treatment - combination of brick wall and steel palisade fence
- 10 Basement fire stair
- 11 Private Lobby entry
- 12 New brick paving to Gloucester Walk - specification and format to be detailed and agreed with Property NSW
- 13 Retain existing edge treatment to Gloucester Walk, including:
- Stone edge, Palisade fence/balustrade, Lighting and Security cameras
- 14 Retain existing Plane Trees (T50 and T51). Refer to Arboricultural Report
- 15 Public Through Site Link from Cumberland St to Gloucester Walk. Potential to integrate artwork
- Refer artwork strategy prepared by UAP
- 16 Through site link lift adjacent steps
- 17 Phillip room external terrace with garden to edge parapet
- 18 Generous public forecourt with small format Bluestone paving treatment to match City of Sydney
- integrated public art to plaza forecourt (refer artwork strategy prepared by UAP)
- 19 Retail space (cafe) at ground level of Cumberland St Building with outdoor dining
- 20 Raised planter with seating edge to provide informal seating to cafe and soften the built form of Cumberland Building
- 21 Egress through to Lift Lobby 5
- 22 Communal garden retreat with social seating spaces (resident access only)
- 23 Fire egress path
- 24 Blue Stone paving to footpath
- 25 Extension of Bluestone paving within plaza forecourt
- 26 Smart Pole street lights to City of Sydney Specification - refer electrical/civil engineers documentation
- 27 Vehicle Driveway crossover to City of Sydney Specification - refer civil engineers documentation
- 28 12 x visitor bicycle parking (6 within forecourt fronting Cumberland St, and 6 adjacent the throughsite link on Gloucester Walk)

NOTE

Details of paving treatment around the site shall be developed in consultation with PMNSW, with final details being submitted to PMNSW for approval prior to the issue of final LOC or CC. Particular attention shall be paid to the following:

- The use of smaller paving sizes (modules) from City of Sydney palette to better reflect the Rocks' fine grain character.
- Details of specific materials to be used in all public domain areas.
- Details of paving treatment proposed for all transition zones.

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings for dimensions to be checked by the client. All dimensions are in millimetres unless otherwise stated. Larger scale drawings and within dimensions take preference. All dimensions in millimetres unless otherwise stated. All dimensions and sizes in metric.
 All work shall be carried out in accordance with the Australian Standard AS/NZS 1546:2011 and Local Government Regulations. All work shall be carried out in accordance with the Australian Standard AS/NZS 1546:2011 and Local Government Regulations. All work shall be carried out in accordance with the Australian Standard AS/NZS 1546:2011 and Local Government Regulations. All work shall be carried out in accordance with the Australian Standard AS/NZS 1546:2011 and Local Government Regulations.

CLIENT
Sirius Developments Pty Ltd

ARCHITECT
BVN

CHECKED
LB

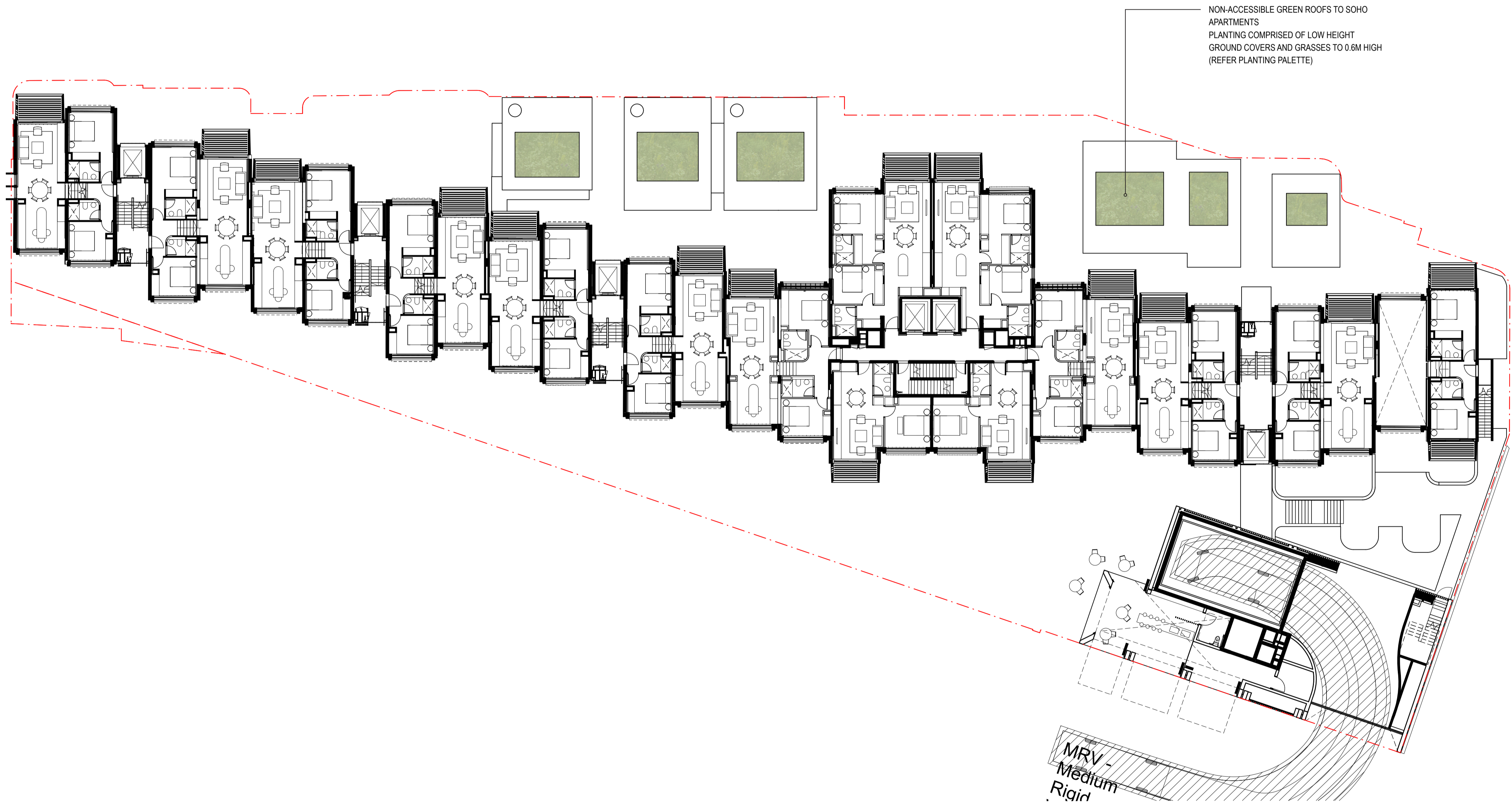
SCALE
1:50

DRAWN
LB

ISSUE
SSDA

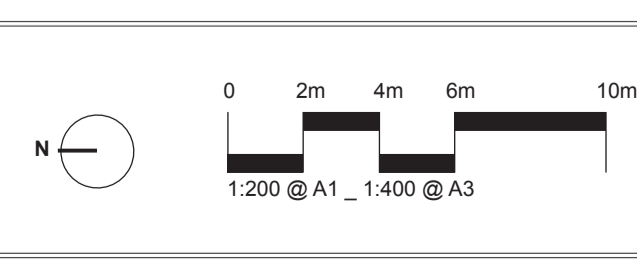
DWG. TITLE
Consolidated Groundfloor / Public Domain Plan

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



NOTE
 Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

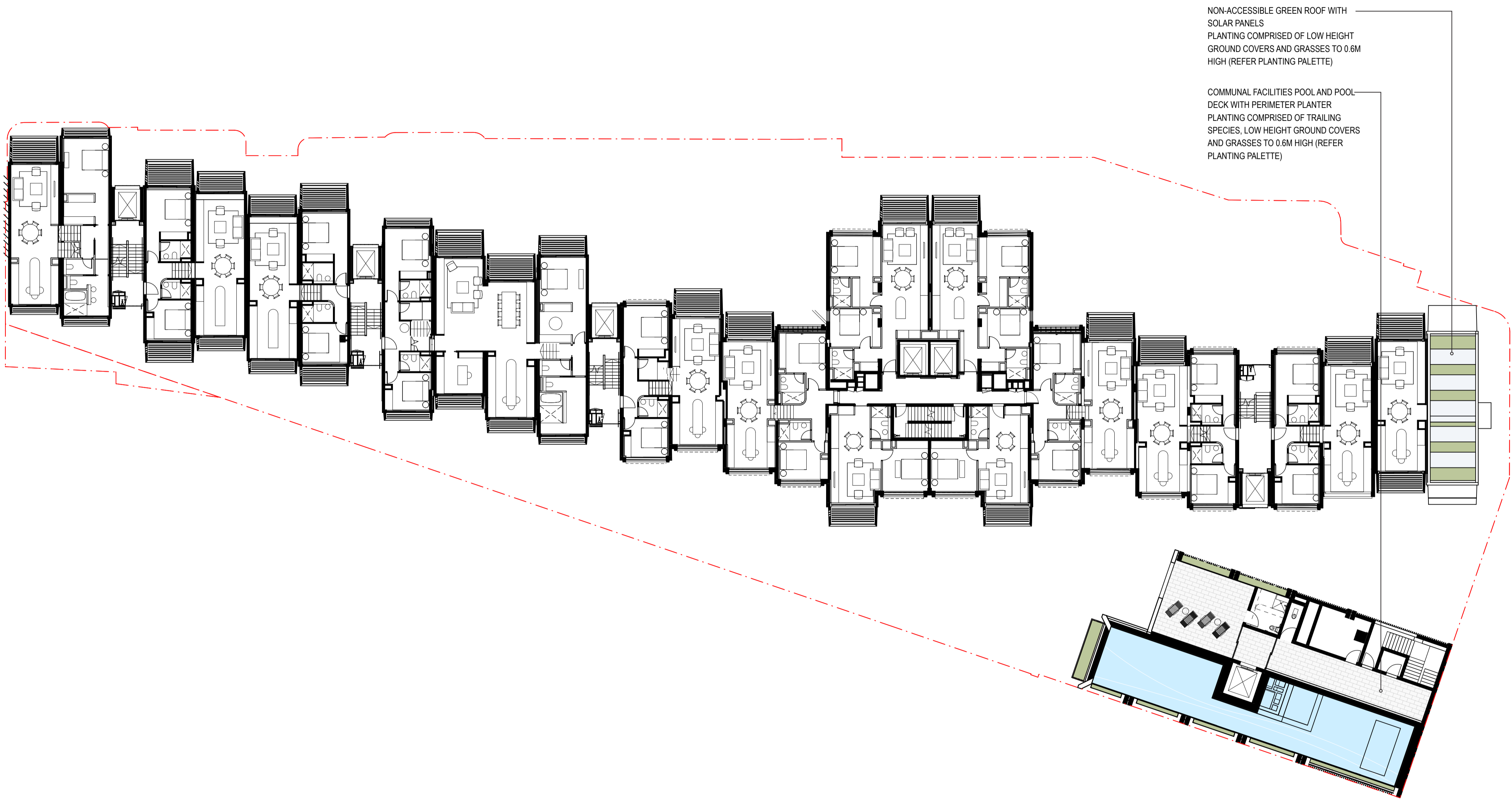
ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings.
 All dimensions to be stated to the satisfaction of the Landscape Architect.
 Larger scale drawings and within dimensions take preference. All dimensions in mm unless otherwise stated.
 All 3D dimensions and 2D in meters.
 Use metric units only.
 Verify all dimensions on site before the commencement of any work.
 Construction and materials shall be as per the specifications.
 All work shall be carried out in accordance with the Australian Standard AS/NZS 4586:2001 and Local Government Regulations.
 The responsibility for the design, construction, maintenance, and general satisfaction without prejudice from the Project Engineer or Landscape Architect.
 This Drawing is copyright © 2021 BUN.

CLIENT Sirius Developments Pty Ltd	ARCHITECT BUN	CHECKED LB
SCALE N/A	DRAWN LB	ISSUE SSDA

DWG. TITLE
Landscape Plan - LEVEL 05-07
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

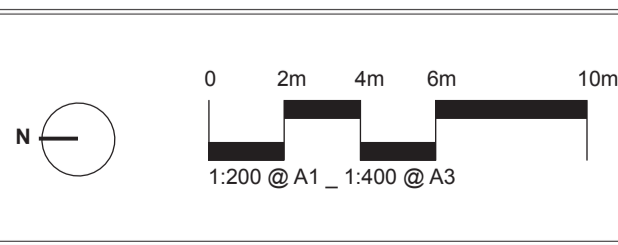


NON-ACCESSIBLE GREEN ROOF WITH SOLAR PANELS
PLANTING COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

COMMUNAL FACILITIES POOL AND POOL DECK WITH PERIMETER PLANTER
PLANTING COMPRISED OF TRAILING SPECIES, LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be stated to the satisfaction of the Landscape Architect.
Larger scale drawings and within dimensions take preference. All dimensions in mm unless otherwise stated.
All 2D dimensions and 3D in meters.
Use metric units only.
Verify all dimensions on site before the commencement of any works.
Construction and materials shall be as per the specifications.
Without Ovals shall be subject to Engineer's Specifications.
Engineer's Specifications shall be subject to Engineer's Specifications.
All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Engineer's Specifications.
The responsibility for the design shall remain with the Project Engineer of Landscape Architect.
This Drawing is copyright © 2021 BUN.

CLIENT
Sirius
Developments
Pty Ltd

ARCHITECT
BUN

CHECKED
LB

DWG. TITLE
Landscape Plan - LEVEL 07-09

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



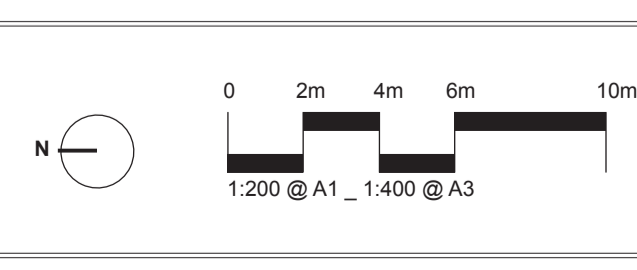
PRIVATE ROOF TERRACE WITH SPA, AND PERIMETER PLANTERS, COMPRISED OF TRAILING SPECIES, LOW HEIGHT GROUND COVERS AND GRASSES TO 1.0M HIGH, AND TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

NON-ACCESSIBLE GREEN ROOF WITH SOLAR PANELS, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

NON-ACCESSIBLE GREEN ROOF, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be stated to the satisfaction of the Landscape Architect.
Larger scale drawings and within dimensions take preference. All dimensions in mm unless otherwise stated.
All 2D dimensions and 3D in meters.
Use metric units only.
Verify all dimensions on site before the commencement of any work.
Construction and materials shall be provided in accordance with the specifications.
Without Ovals shall be subject to Engineer's Specifications.
Engineer's Specifications shall be subject to Engineer's Specifications.
All work shall be carried out in accordance with the specifications.
The responsibility for the design, construction, materials, methods, and general installation, without prejudice from the Project Engineer or Landscape Architect.
This Drawing is copyright © 2021 BUN.

CLIENT
Sirius
Developments
Pty Ltd

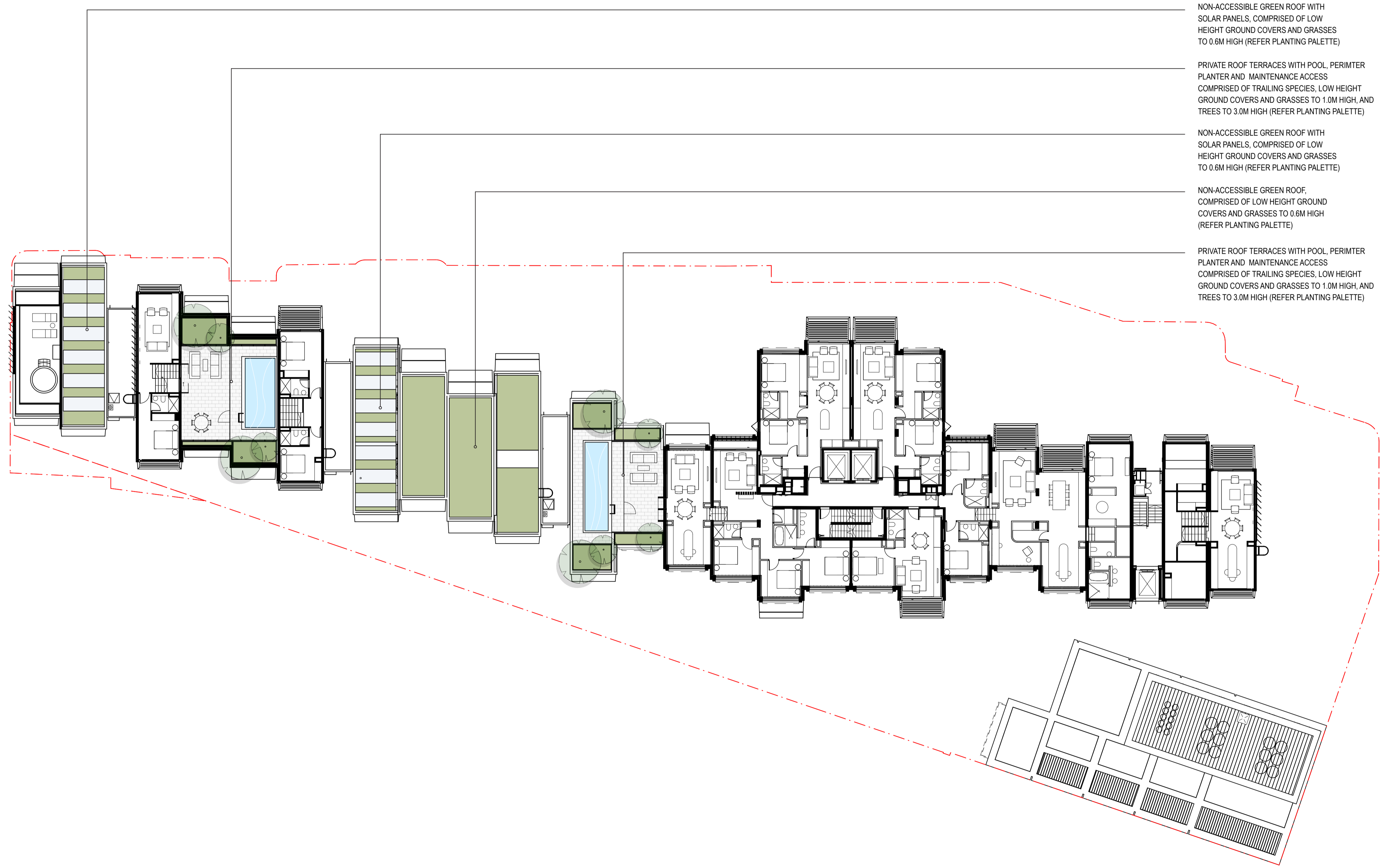
ARCHITECT
BUN

CHECKED
LB

DRAWN
LB

ISSUE
SSDA

DWG. TITLE
Landscape Plan - LEVEL 09-11
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



NON-ACCESSIBLE GREEN ROOF WITH SOLAR PANELS, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

PRIVATE ROOF TERRACES WITH POOL, PERIMTER PLANTER AND MAINTENANCE ACCESS COMPRISED OF TRAILING SPECIES, LOW HEIGHT GROUND COVERS AND GRASSES TO 1.0M HIGH, AND TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

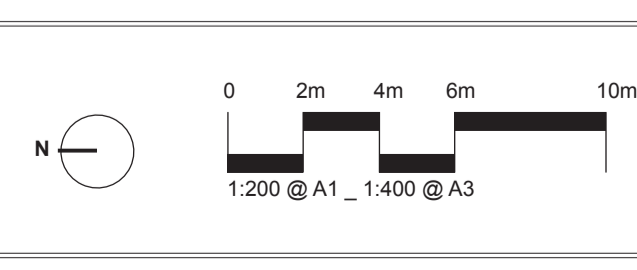
NON-ACCESSIBLE GREEN ROOF WITH SOLAR PANELS, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

NON-ACCESSIBLE GREEN ROOF, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

PRIVATE ROOF TERRACES WITH POOL, PERIMTER PLANTER AND MAINTENANCE ACCESS COMPRISED OF TRAILING SPECIES, LOW HEIGHT GROUND COVERS AND GRASSES TO 1.0M HIGH, AND TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

NOTE
 Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

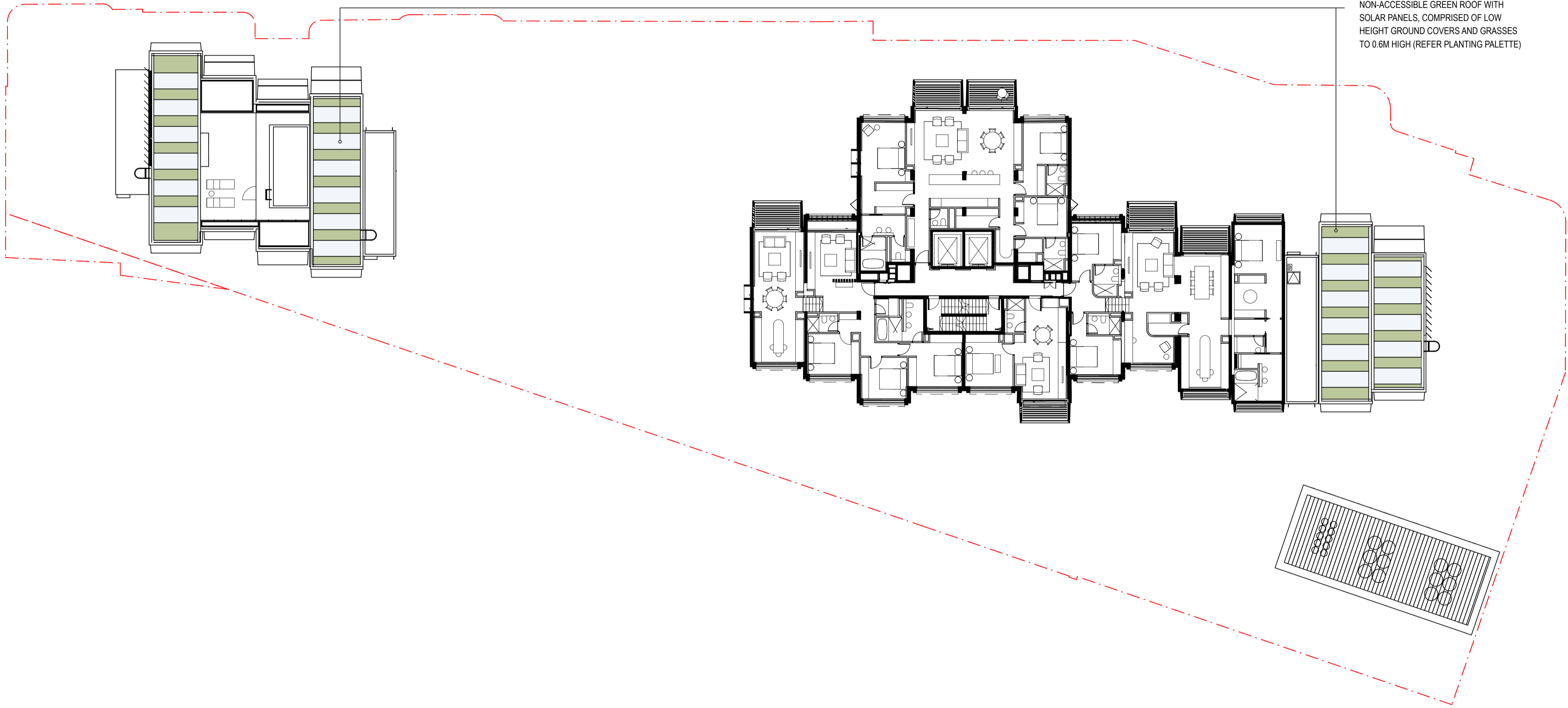
ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings.
 All dimensions to be checked to the satisfaction of the Landscape Architect.
 Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
 All 2D dimensions and 3D in meters.
 Use metric units only.
 Verify all dimensions on site before the commencement of any works.
 Construction and materials shall be provided in accordance with the specifications.
 All work shall be carried out in accordance with AS/NZS 4801 and Local Government Regulations.
 All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Equipment Specifications.
 The responsibility for the design shall remain with the Project Engineer or Landscape Architect.
 This Drawing is copyright © 2021 BUNNIP.

CLIENT: Sirius Developments Pty Ltd
 ARCHITECT: BUNNIP
 CHECKED: LB
 DRAWN: LB
 SCALE: 1:100
 ISSUE: SSDA

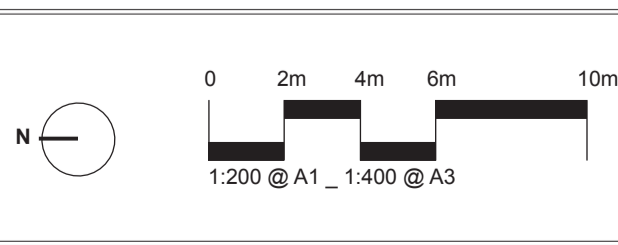
DWG. TITLE: Landscape Plan - LEVEL 11-13
 PROJECT: SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



NON-ACCESSIBLE GREEN ROOF WITH SOLAR PANELS, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

NOTE
 Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings.
 All dimensions to be stated to the satisfaction of the Landscape Architect.
 Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
 All 2D dimensions and 3D in meters.
 Use metric units only.
 Verify all dimensions on site before the commencement of any works.
 Construction and material details are to be confirmed with the Engineer.
 Structural Details shall be subject to Engineer's Approval.
 Engineer's Approval shall be subject to Engineer's Approval.
 All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Engineer's Specifications.
 The responsibility for the design shall remain with the Designer. For any variations in design, construction methods, materials specified, and general substitution without permission from the Project Engineer or Landscape Architect.
 This Drawing is copyright © 2021 BUN.

CLIENT
 Sirius
 Developments
 Pty Ltd

ARCHITECT
 BUN

CHECKED
 LB

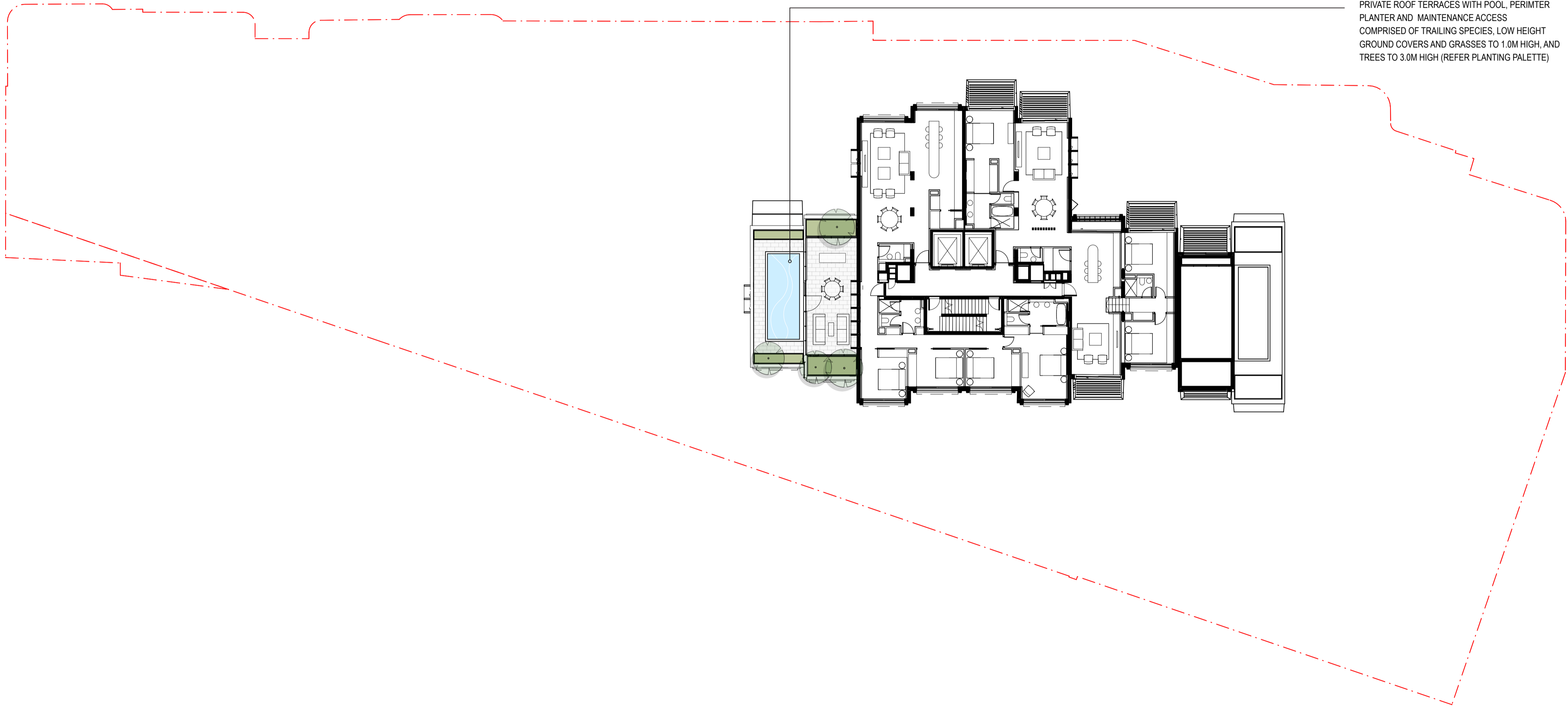
DWG. TITLE
Landscape Plan - LEVEL 13-15

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

SCALE
 1:100

DRAWN
 LB

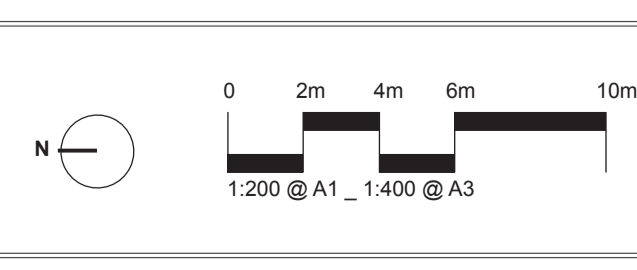
ISSUE
 SSDA



PRIVATE ROOF TERRACES WITH POOL, PERIMTER PLANTER AND MAINTENANCE ACCESS COMPRISED OF TRAILING SPECIES, LOW HEIGHT GROUND COVERS AND GRASSES TO 1.0M HIGH, AND TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

NOTE
 Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



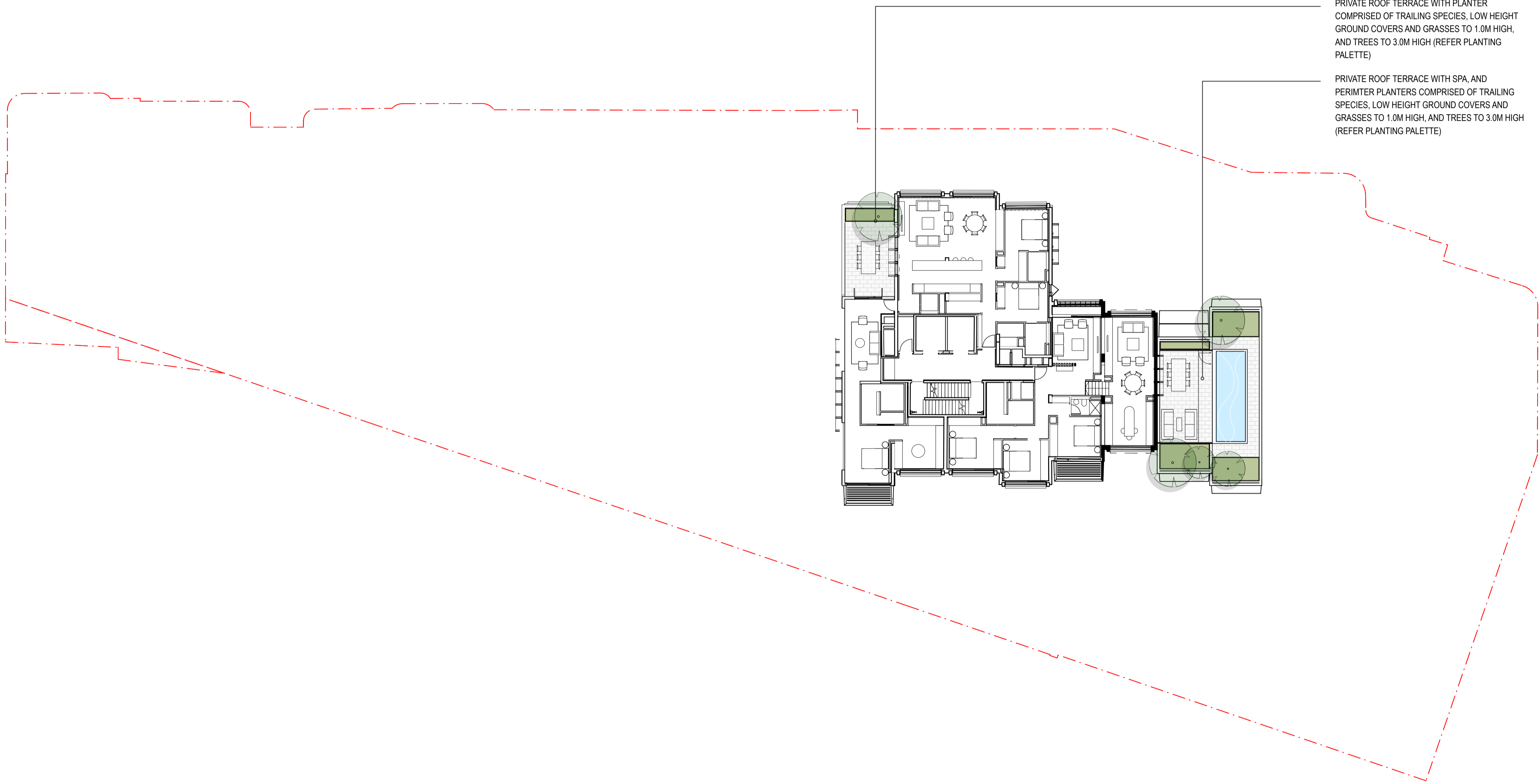
IMPORTANT NOTES:
 Do not scale from drawings. All dimensions to be stated to the satisfaction of the Landscape Architect. Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All 2D dimensions and 3D in meters.
 Use metric units only.
 Verify all dimensions on site before the commencement of any works.
 Construction and material details shall be provided to the satisfaction of the Landscape Architect.
 All work shall be carried out in accordance with applicable Australian and Local Government Regulations.
 The responsibility for the design and construction of any works shall be the responsibility of the Landscape Architect.
 The responsibility for the design and construction of any works shall be the responsibility of the Landscape Architect.
 The responsibility for the design and construction of any works shall be the responsibility of the Landscape Architect.

CLIENT	Sirius Developments Pty Ltd
ARCHITECT	BVN
CHECKED	LB
SCALE	N/A
DRAWN	LB
ISSUE	SSDA

DWG. TITLE
Landscape Plan - LEVEL 15-17
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

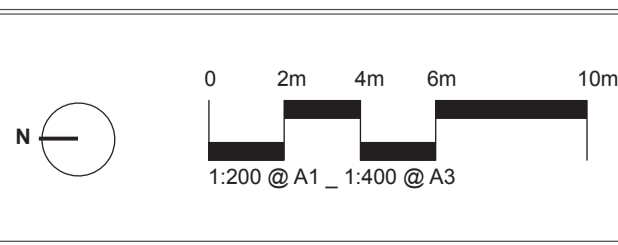
360
 Level 1, 1 Marys Place
 Bunnings Hill NSW 2110
 t +61 2 9550 2800
 w www.360.net.au
 AEN 50 148 901 382

L-DA-018



NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be stated to the satisfaction of the Landscape Architect.
Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
All 300 dimensions and 500 dimensions.
Use metric units only.
Verify all dimensions on site before the commencement of any work.
Construction and material specifications are to be confirmed with the Client.
Without Details shall be subject to Engineer's Specifications.
Engineer's Specifications shall be subject to Engineer's Specifications.
All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Engineer's Specifications.
The responsibility for the design shall remain with the Designer. For any variations in design, construction methods, materials specified, and general specifications without approval from the Project Engineer or Landscape Architect.
This Drawing is copyright © 2021 Designer.

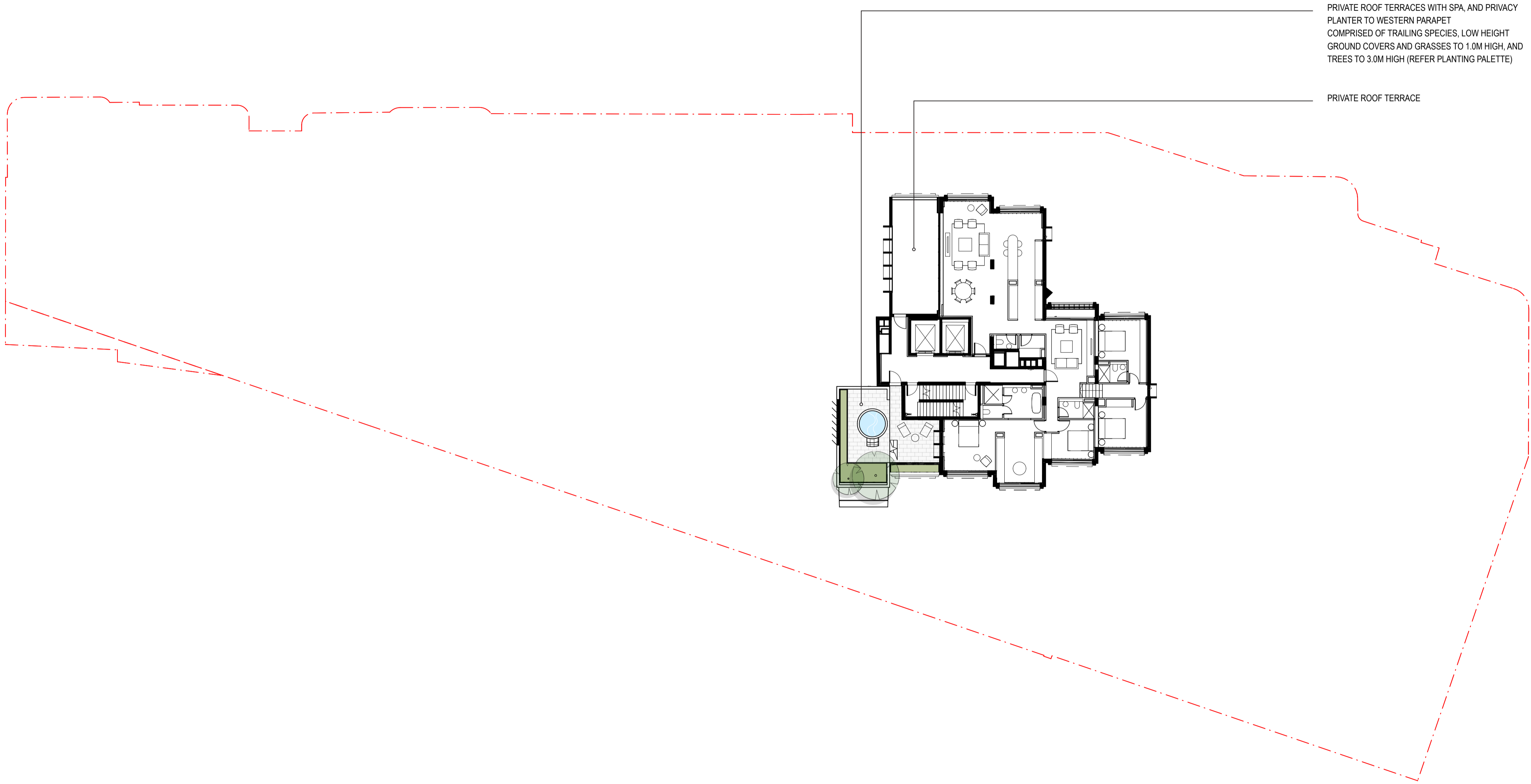
CLIENT
Sirius
Developments
Pty Ltd

ARCHITECT
BVN

CHECKED
LB

DWG. TITLE
Landscape Plan - LEVEL 18-19

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

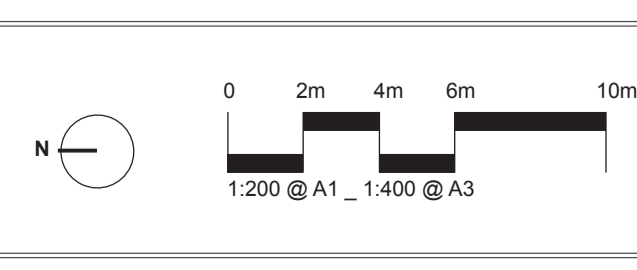


PRIVATE ROOF TERRACES WITH SPA, AND PRIVACY PLANTER TO WESTERN PARAPET COMPRISED OF TRAILING SPECIES, LOW HEIGHT GROUND COVERS AND GRASSES TO 1.0M HIGH, AND TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

PRIVATE ROOF TERRACE

NOTE
 Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



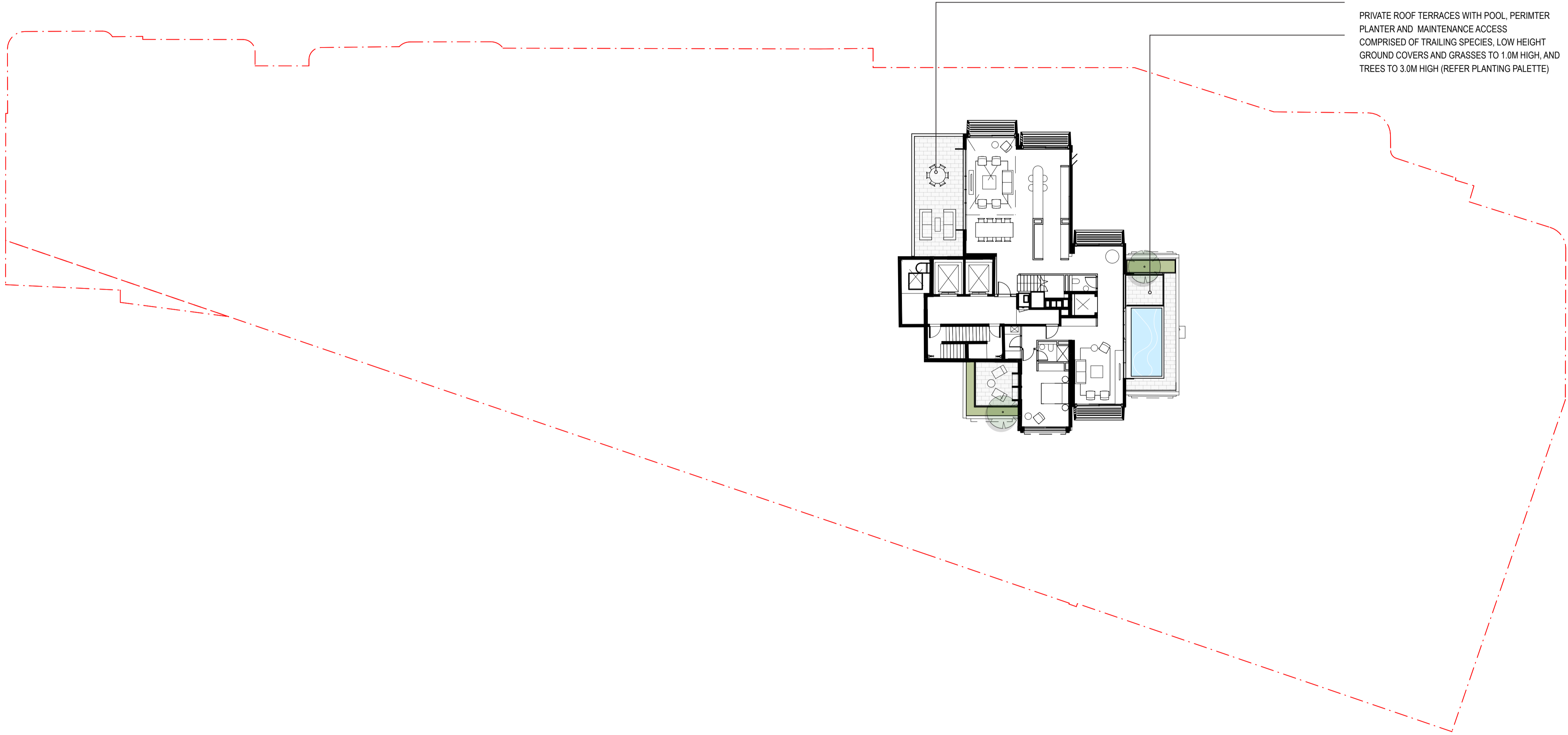
IMPORTANT NOTES:
 Do not scale from drawings. All dimensions to be stated to the attention of the Landscape Architect. Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All 2D dimensions and 3D in meters.
 Use metric units only.
 Verify all dimensions on site before the commencement of any works.
 Construction and materials to be specified on drawings prior to construction.
 All work shall be carried out in accordance with local, state and local government regulations.
 Specialist details shall be subject to Engineer's Specialist Engineer's Signatures.
 Engineer's Name, Firm Name, Signature shall be subject to Professional Engineer's Signatures.
 All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Equipment's Specifications.
 The responsibility for the design shall remain with the Designer. For any variations in design, construction methods, materials specified, and general specifications without approval from the Project Engineer or Landscape Architect.
 This Drawing is copyright © 2021 BSW.

CLIENT Sirius Developments Pty Ltd	ARCHITECT BVN	CHECKED LB
SCALE N/A	DRAWN LB	ISSUE SSDA

DWG. TITLE
Landscape Plan - LEVEL 20-21
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
 Level 1, 1 Marys Place
 Bunnings Hill NSW 2110
 p +61 2 9550 2801
 w www.360.net.au
 AEN 50 148 901 382

L-DA-020

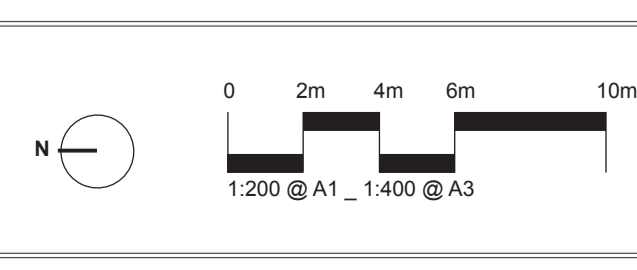


PRIVATE ROOF TERRACE WITH PLANTER
 COMPRISED OF TRAILING SPECIES, LOW HEIGHT
 GROUND COVERS AND GRASSES TO 1.0M HIGH, AND
 TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

PRIVATE ROOF TERRACES WITH POOL, PERIMTER
 PLANTER AND MAINTENANCE ACCESS
 COMPRISED OF TRAILING SPECIES, LOW HEIGHT
 GROUND COVERS AND GRASSES TO 1.0M HIGH, AND
 TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

NOTE
 Roof Garden maintenance via sequence of static line
 connections and fixed ladders and manholes. Refer to
 maintenance access diagram for method and sequence
 of access to each roof

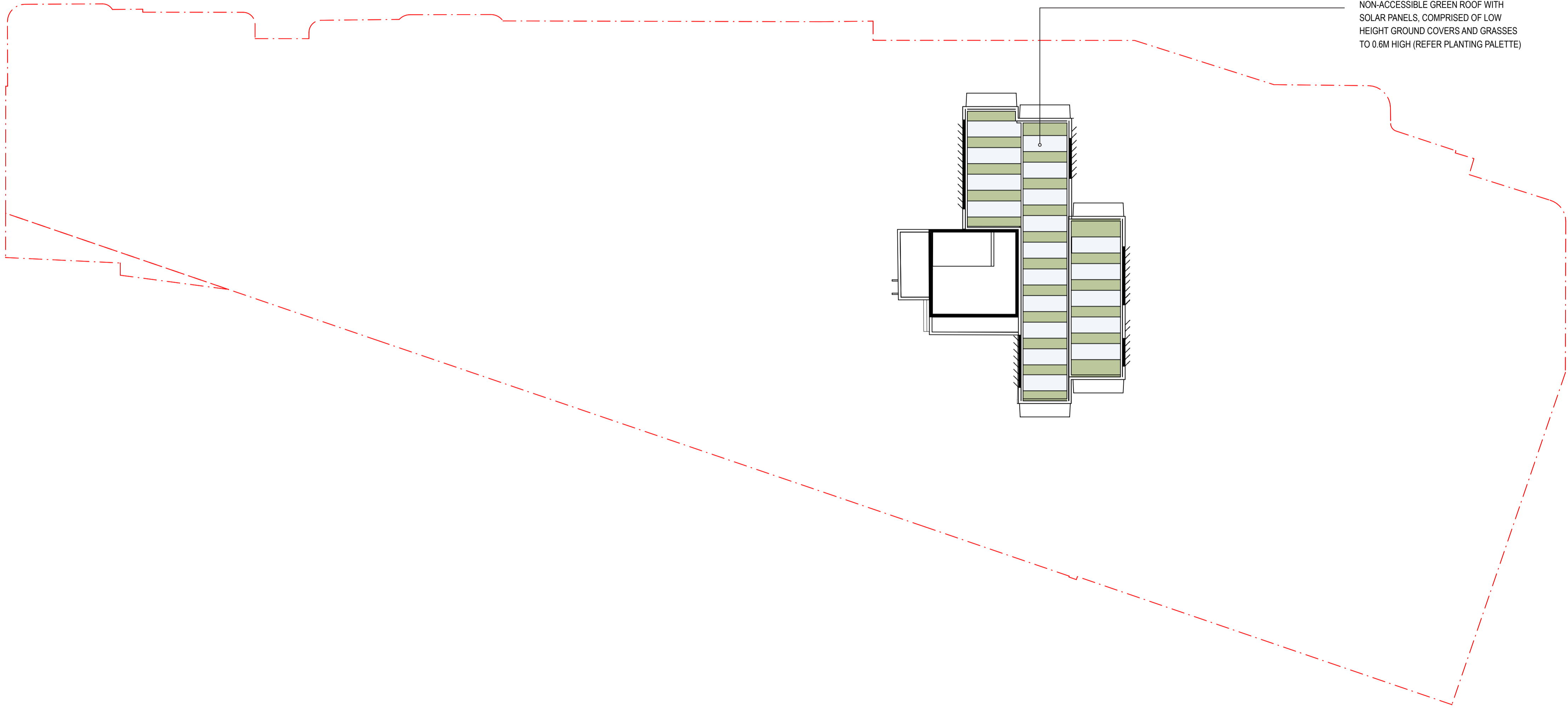
ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings
 All dimensions to be stated to the nearest 10mm unless otherwise stated.
 Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
 All dimensions and B/L to include.
 Use metric units only.
 All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
 Engineer's Name: Patrick O'Brien (AS/NZS 1546) License No: 12345
 All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Equipment Specifications.
 The responsibility for the design is solely that of the designer. For any variation in design, construction method, materials specified, and general installation without approval from the Project Engineer or Landscape Architect.
 This Drawing is copyright © 2021 BUN.

CLIENT Sirius Developments Pty Ltd	ARCHITECT BUN	CHECKED LB
SCALE N/A	DRAWN LB	ISSUE SSDA

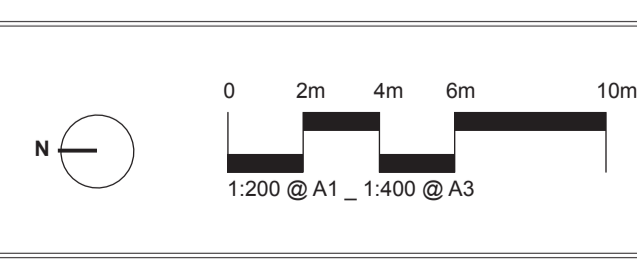
DWG. TITLE
Landscape Plan - LEVEL 24-25
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



NON-ACCESSIBLE GREEN ROOF WITH SOLAR PANELS, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be stated to the nearest 10mm unless otherwise stated.
Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
All dimensions and B.S.P. notes.
Use metric units only.
All work shall be carried out in accordance with D.M.P., D.P.P. and Local Government Regulations.
Obtain all necessary permits and approvals prior to construction.
Verify all dimensions on site before the commencement of any work.
Construction shall be carried out in accordance with the approved plans.
Structural Details shall be subject to Engineer's Signatures.
Obtain all necessary permits and approvals prior to construction.
All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Equipment Specifications.
The responsibility for the design shall remain with the Designer. For any variation in design, construction method, materials specified, and general specifications without approval from the Project Engineer or Landscape Architect.
This Drawing is copyright © 2021 BUN.

CLIENT
Sirius
Developments
Pty Ltd

ARCHITECT
BUN

CHECKED
LB

DWG. TITLE
Landscape Plan - LEVEL 27

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

SCALE
N/A

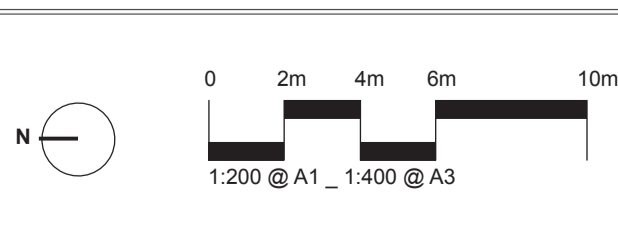
DRAWN
LB

ISSUE
SSDA




NOTE
 Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings.
 All dimensions to be stated to the satisfaction of the Landscape Architect.
 Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
 All dimensions and BGA in metric.
 Use metric units only.
 Verify all dimensions on site before the commencement of any works.
 Construction shall be in accordance with the specifications.
 All work shall be carried out in accordance with the Australian Standard AS/NZS 4576:2012 and Local Government Regulations.
 All work shall be carried out in accordance with the Australian Standard AS/NZS 4576:2012 and Local Government Regulations.
 The responsibility for the design, construction, materials, methods, and general supervision without prejudice from the Project Engineer or Landscape Architect.
 This Drawing is copyright © 2021 BUN.

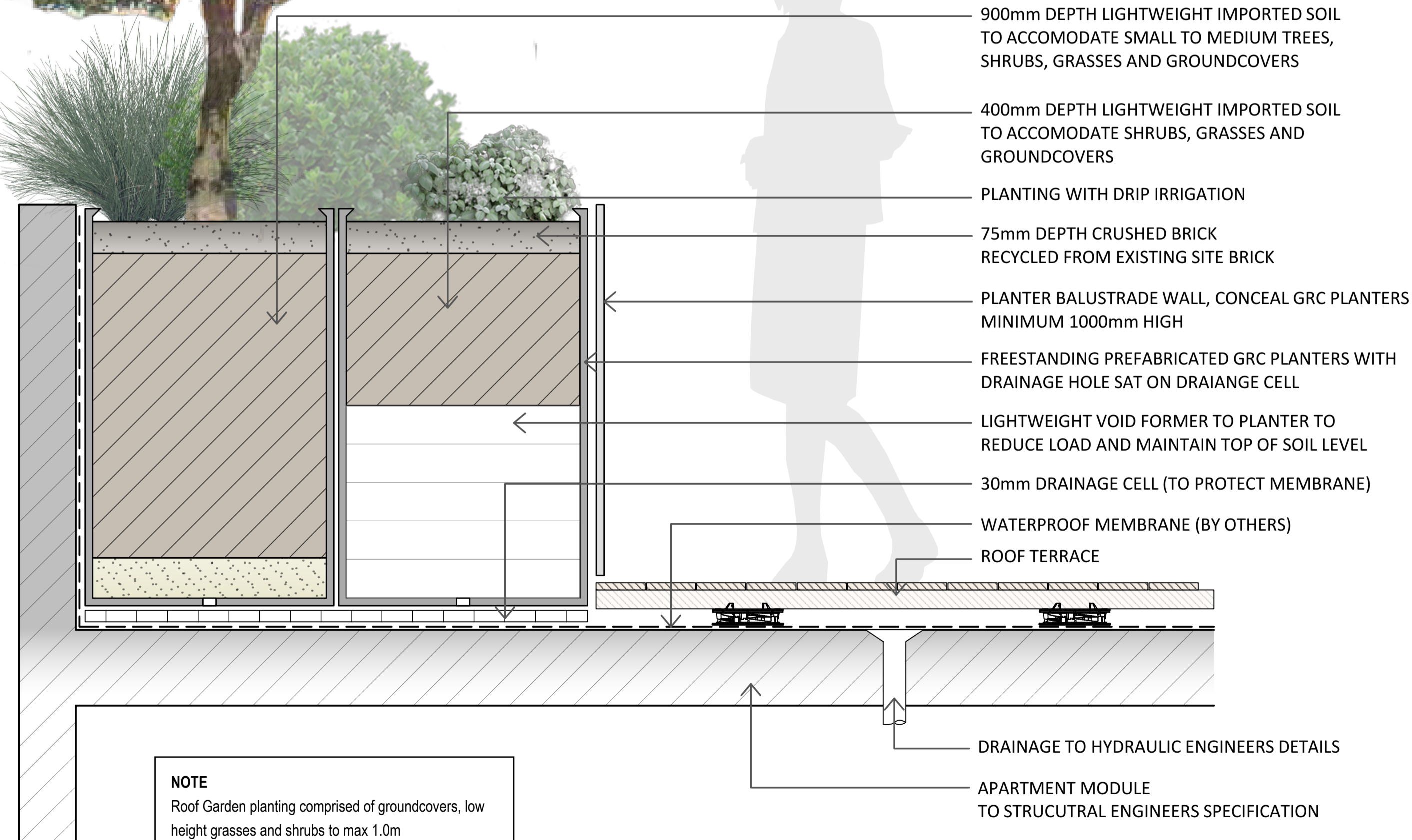
CLIENT
 Sirius
 Developments
 Pty Ltd

ARCHITECT


CHECKED
 LB

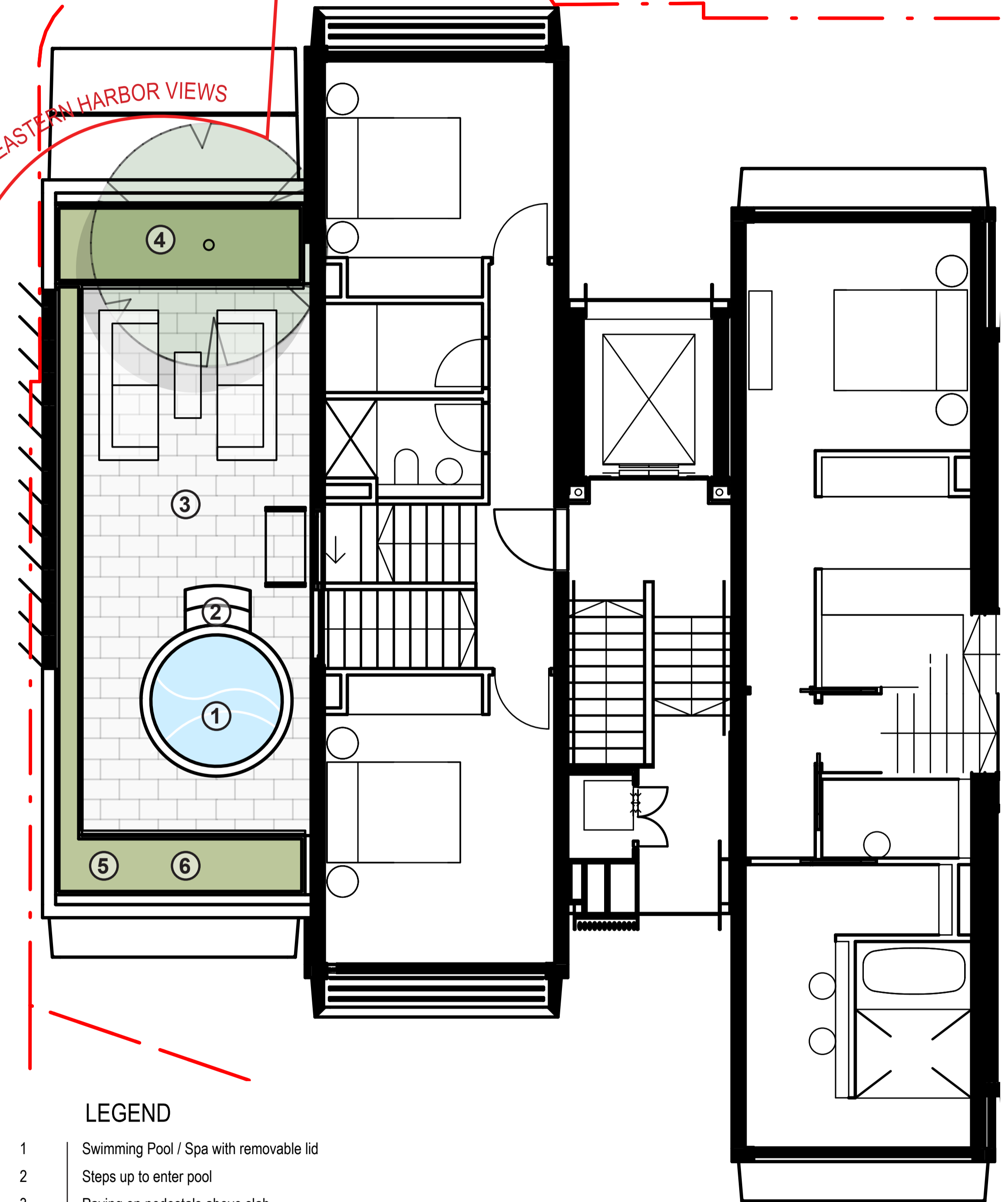
DWG. TITLE
CONSOLIDATED ROOF PLAN

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



NOTE
 Roof Garden planting comprised of groundcovers, low height grasses and shrubs to max 1.0m
 Trees to maximum 3.0m located according to wind report requirements, and positioned to maintain critical view corridors from the Harbour Bridge to the Opera House

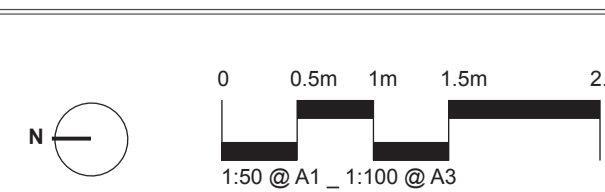
EASTERN HARBOR VIEWS



LEGEND

- 1 Swimming Pool / Spa with removable lid
- 2 Steps up to enter pool
- 3 Paving on pedestals above slab
- 4 Raised planter (1m soil profile) forms balustrade to parapet
- 5 Landscape to western parapet to provide privacy, planting to to max 1.0m high , trees to max 3.0m high (trees positioned to satisfy wind report requirements while maintaining clear view corridor from Harbour Bridge to Opera House
- 6 Garden level with pool coping (min 1200mm to satisfy compliance within pool)

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES:
 Do not scale from drawings
 All dimensions to be shown to the absorption of the Landscape Architect
 Larger scale drawings and within dimensions take preference. All dimensions in mm unless otherwise stated.
 All 2D dimensions and 3D in meters.
 Use metric measurements only.
 Verify all dimensions on site before the commencement of any works.
 Construction and installation of groundworks prior to construction.
 All work shall be carried out in accordance with DA, DCU and Local Government Regulations.
 Structural Details shall be subject to Engineer's Design Review.
 Engineer's Design Review shall be subject to Professional Engineer's Signatures.
 All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Engineer's Design Details.
 The responsibility for the design shall remain with the Landscape Architect.
 The responsibility for the design shall remain with the Landscape Architect.
 The responsibility for the design shall remain with the Landscape Architect.
 The responsibility for the design shall remain with the Landscape Architect.

CLIENT
 Sirius
 Developments
 Pty Ltd

ARCHITECT
 BVA

CHECKED
 LB

DWG. TITLE
TYPICAL PRIVATE ROOF TERRACE
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

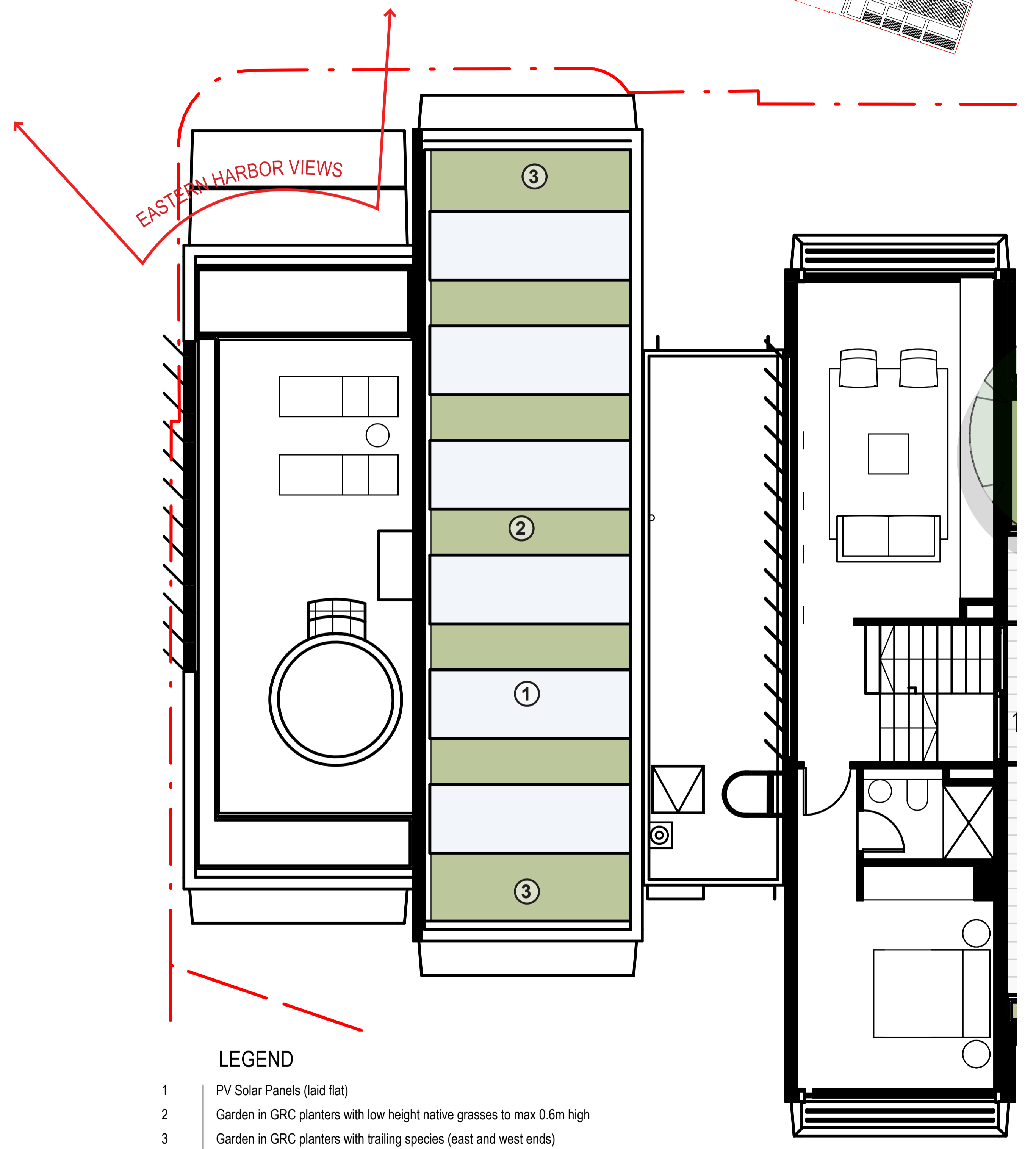
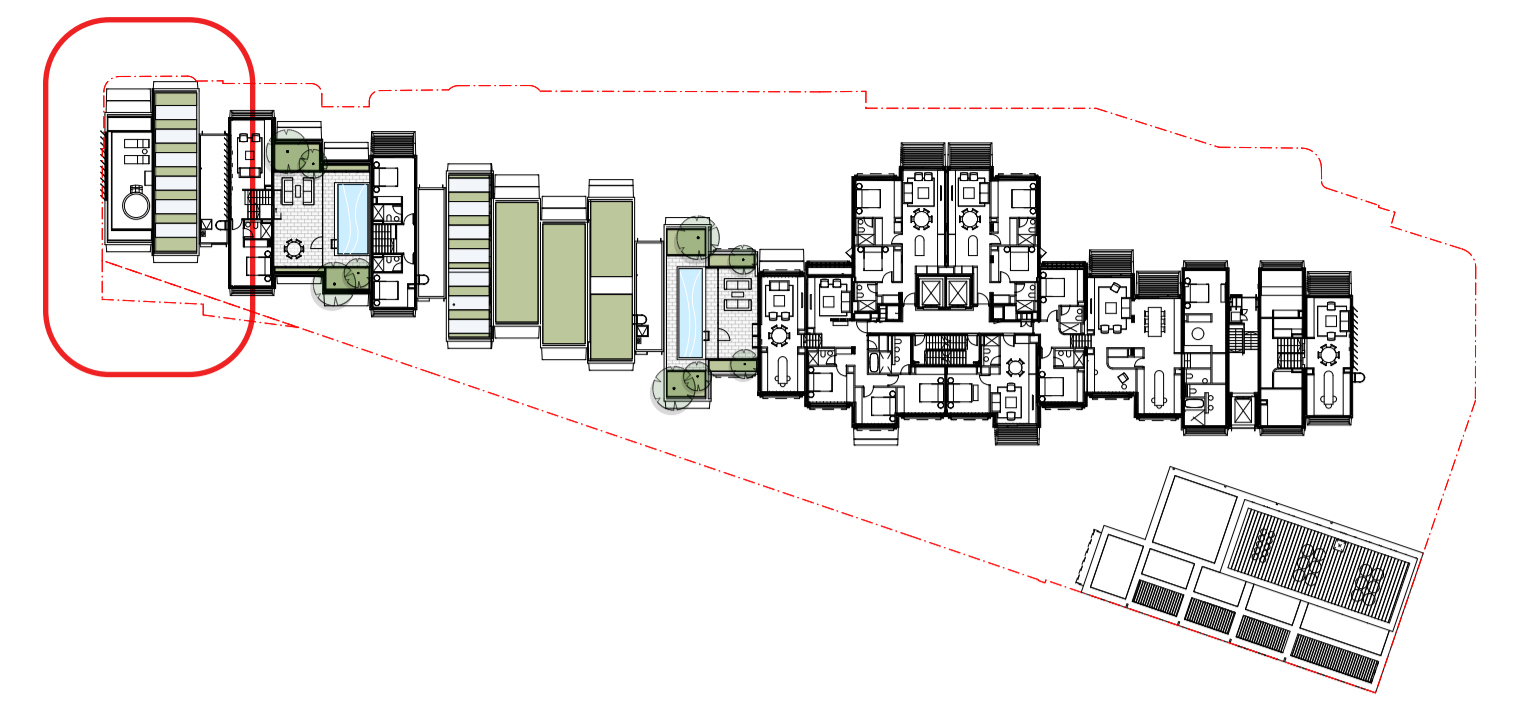
SCALE
 N/A

DRAWN
 LB

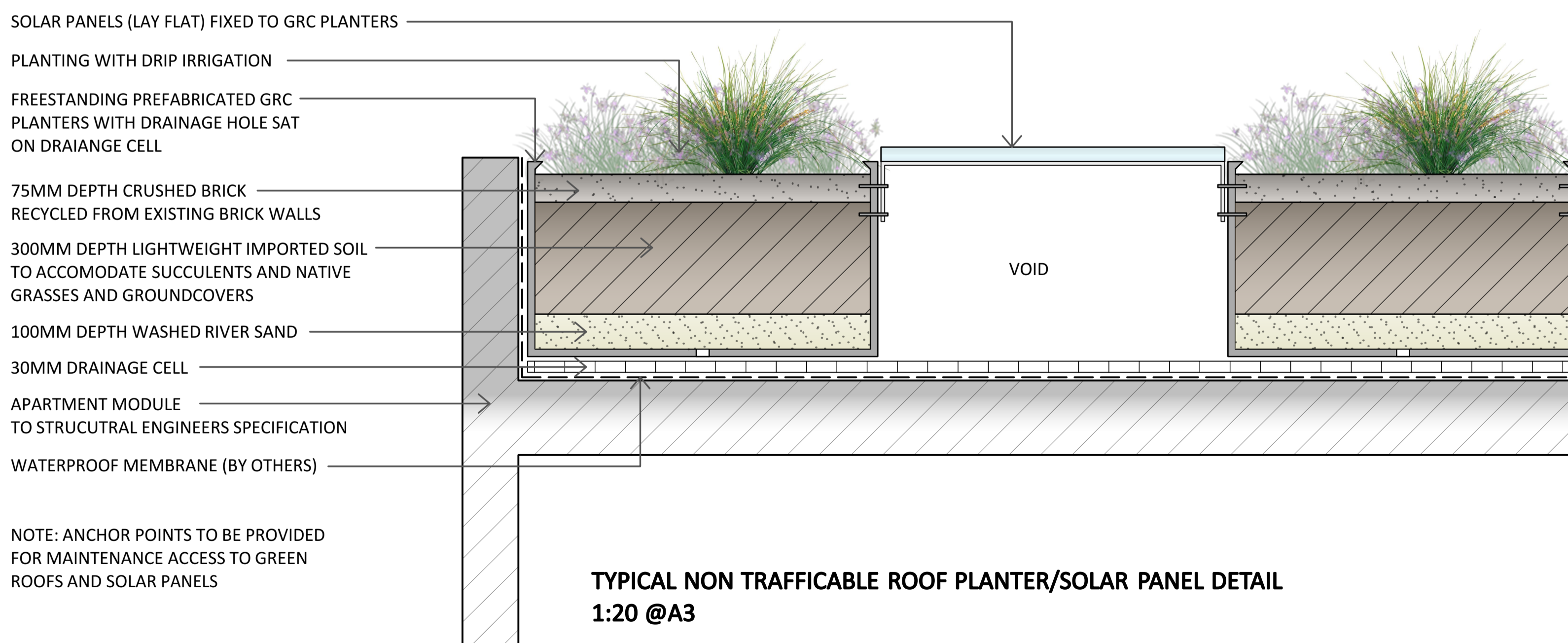
ISSUE
 SSDA

360
 Level 1, 3 Marys Place
 Bunnings Hillside NSW 1510
 t +61 2 9550 2800
 w www.360.net.au
 ABRN 60 148 901 382

L-DA-024



NOTE
Roof Garden planting comprised of groundcovers, and low height grasses to max 0.6m



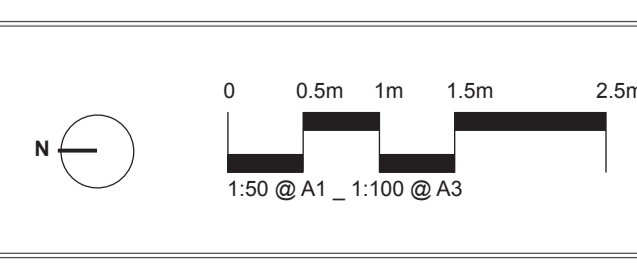
NOTE: ANCHOR POINTS TO BE PROVIDED FOR MAINTENANCE ACCESS TO GREEN ROOFS AND SOLAR PANELS

**TYPICAL NON TRAFFICABLE ROOF PLANTER/SOLAR PANEL DETAIL
1:20 @A3**

LEGEND

- 1 PV Solar Panels (laid flat)
- 2 Garden in GRC planters with low height native grasses to max 0.6m high
- 3 Garden in GRC planters with trailing species (east and west ends)

ISS.	AMENDMENT	DATE	BY
B	DRAFT SSDA	04.08.20	LB
C	DRAFT SSDA	07.08.20	LB
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB



IMPORTANT NOTES
Do not scale from drawings. All dimensions to be stated to the absolute of the Landscape Architect. Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All 2D dimensions and 3D dimensions. All 3D dimensions to be stated. Verify all dimensions on site before the commencement of any works. Construction and material specifications shall be as per the specifications. Without Oath shall be subject to Engineer's Specifications. Engineer's Specifications shall be subject to the Engineer's Specifications. All work shall be carried out in a professional manner by Qualified Tradesperson according to Landscape Drawings and Engineer's Specifications. The responsibility for the design is 100% retained by the Landscape Architect. The responsibility for the design, construction, materials, methods, and general construction without permission from the Project Engineer or Landscape Architect. This Drawing is copyright © 2021 BVM.

CLIENT
Sirius Developments Pty Ltd

ARCHITECT
BVM

CHECKED
LB

SCALE
N/A

DRAWN
LB

ISSUE
SSDA

DWG. TITLE
TYPICAL NON-ACCESSIBLE GREEN ROOF

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

