

Response to Community Submissions

SSD-78996460

16-24 Lord Street and 21-27 Roseville Avenue, Roseville

Submitted to Department of Planning, Housing and Infrastructure
on behalf of Hyecorp Property Group

9 April 2026



Acknowledgment of Country

Gyde Consulting acknowledges and pays respect to Aboriginal and Torres Strait Islander peoples past, present, Traditional Custodians and Elders of this nation and the cultural, spiritual and educational practices of Aboriginal and Torres Strait Islander people. We recognise the deep and ongoing connections to Country – the land, water and sky – and the memories, knowledge and diverse values of past and contemporary Aboriginal and Torres Strait communities.

Gyde is committed to learning from Aboriginal and Torres Strait Islander people in the work we do across the country.



Towards Harmony by Aboriginal Artist Adam Laws

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Disclaimer

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Contents

1.	Introduction.....	1
2.	Purpose of this Report.....	1
3.	Analysis of Submissions	2
3.1	Breakdown of Submissions.....	2
3.2	Community Submissions.....	2
4.	Response to Community Submissions	3
4.1	Community Groups	3
4.1.1	Eastside Roseville Action Group	3
4.1.2	Friends of Ku-ring-gai Environment.....	7
4.2	Additional Issues Raised by Community.....	8
5.	Conclusion	21

Appendices

Appendix A	List of Submissions
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1. Introduction

The application (SSD-78996460) was lodged with the Department of Planning, Housing and Infrastructure (DPHI) on 16 April 2025 on behalf of Hyecorp Property Group (Hyecorp) for a residential development at 16-24 Lord Street and 21-27 Roseville Avenue, Roseville.

The State Significant Development Application (SSDA) seeks consent to demolish existing buildings and structure and construct a residential flat building with in-fill affordable housing and basement parking within the Roseville Transport Oriented Development (TOD) Area identified in Part 5 of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP). The proposal has been amended since public exhibition and comprises the following:

- Demolition of existing buildings and structures and removal of selected trees.
- Excavation and construction of a three-level basement.
- Construction of a residential flat building up to nine-storeys in height (RL120.45m) to provide 249 apartments, including affordable housing, residential amenities and services.
- Provision of car parking spaces at basement level and bicycle parking.
- Provision of hard and soft landscaping.
- Associated works for the provision of infrastructure and servicing.

The development is designated as State Significant Development (SSD) under Schedule 1, Section 26A of the *State Environmental Planning Policy (Planning Systems) 2021* (Planning Systems SEPP) as it:

- Relates to development to which Chapter 2, Part 2, Division 1 of the Housing SEPP applies;
- The development relates to residential development with an EDC of more than \$75 million; and
- The development is not prohibited under an environmental planning instrument (EPI).

The SSDA was exhibited for 28 days between Thursday, 1 May 2025 and Wednesday, 28 May 2025. The SSDA Response to Submissions was formally lodged on 13 January 2026 with a re-exhibition period of 14 days from 20 January to 2 February 2026. This Response to Community Submissions report addresses community submissions made during the re-exhibition period.

2. Purpose of this Report

This report has been prepared in response to issues raised in community submission during the public re-exhibition of the proposal. The purpose of this report is to provide a comprehensive response to submissions received from the community and to demonstrate how the project team has evolved the scheme to address this feedback.

The report follows a detailed review and analysis of all submission received during the re-exhibition period. Design amendments and associated updates to technical studies have been coordinated by Hyecorp in consultation with relevant specialists in traffic and transport, heritage, architecture and urban design, ecology, agriculture, landscaping, flooding, acoustics and social impact, to ensure that all technical issues have been properly addressed.

Overall, the report demonstrates that the proposal has been developed through a robust, consultative and evidence-based process, with each stage of review ensuring consistency with State and local planning frameworks. It confirms that all relevant environmental, social, and design considerations raised by the community have been properly assessed, and that the amended proposal achieves a balanced outcome aligned with the strategic objectives of the Housing SEPP and TOD framework. The responses provided in Section 4 of this report have been supplied by Hyecorp, informed by input from the consultant team, and

Section 4.1 responds to issues raised in community submissions regarding the community consultation process itself.

3. Analysis of Submissions

3.1 Breakdown of Submissions

A total of 494 submissions were received during the re-exhibition period.

- 485 submissions object to the proposal (98.97%)
- 8 submissions support the proposal (1.63%)
- 1 submission commenting on the proposal (0.2%)

Submissions were received from residents across the study area and its surrounds, with the highest concentrations from nearby streets in Roseville.

These submissions include the following agencies:

- Ku-ring-gai Council

The following agencies also made submissions, which have been addressed in the Request for Information response package.

- CPHR – DCCEW water response
- Sydney Metro
- Ausgrid
- DCCEW – Heritage NSW
- NSW SES
- TfNSW

3.2 Community Submissions

Analysis of the 493 submissions received shows that concerns were concentrated around a number of recurring themes, generally consistent with matters considered in other SSDAs within the Ku-ring-gai Local Government Area (LGA).

The image below identifies the key issues raised in public submissions, with the most frequently cited matters relating to layout and design (421 mentions), traffic and parking (376), heritage (364), consistency with policies, plans, strategies (361), visual impact (326) and engagement quality (248).

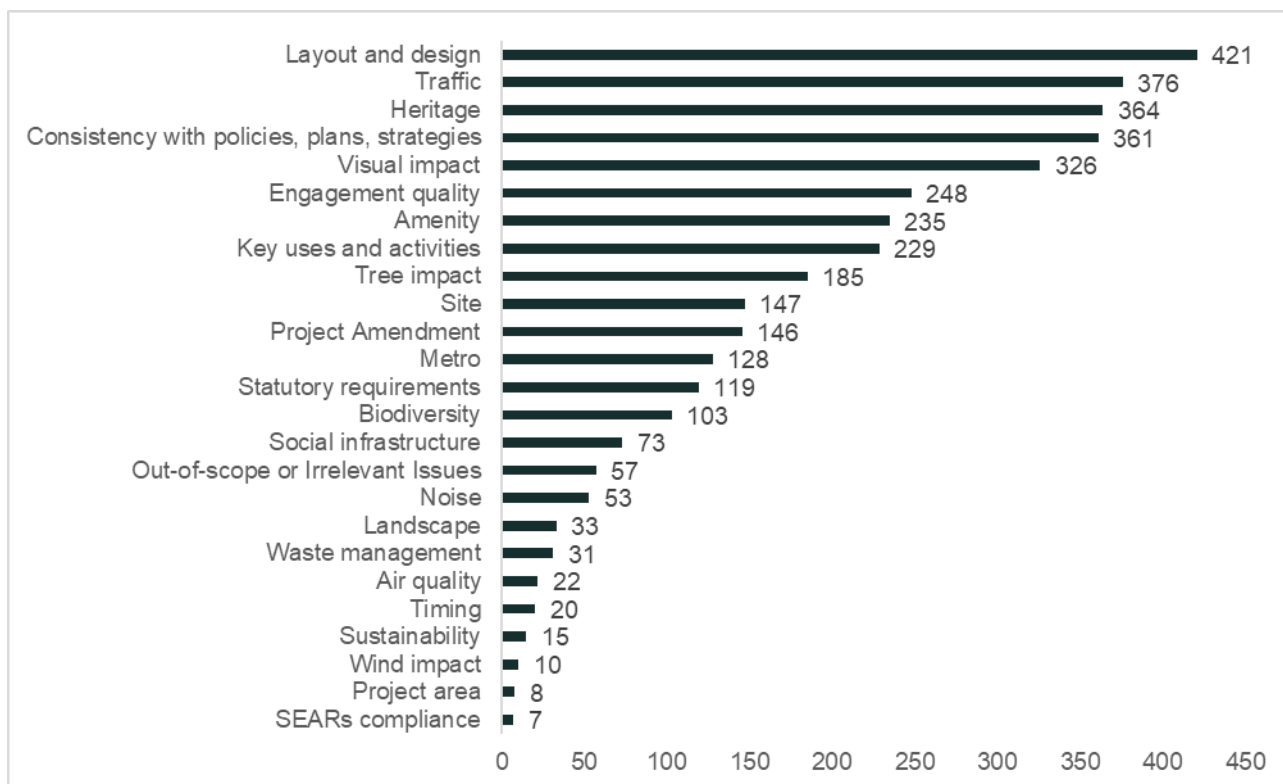


Figure 1 Key issues identified in public submissions (Source: Gyde Consulting)

The submissions have been appended as part of this package. High-level responses to community-raised issues are provided in Section 4.2 of this report.

4. Response to Community Submissions

This section provides a detailed response to key community groups and other matters raised by the community during re-exhibition.

4.1 Community Groups

4.1.1 Eastside Roseville Action Group

We acknowledge the submission made by the Eastside Roseville Action Group (ERAG), including a heritage review by Lisa Trueman Heritage, a peer review by Storey and Gough Lawyers and a planning review by SJB Planning, regarding various aspects of the proposal, the previous response to submissions and the community and stakeholder engagement program delivered by Gyde Consulting for this project.

Heritage

Careful consideration of the heritage significance of the conservation area has occurred. There has been an in-depth assessment of the heritage items that have been listed for demolition, and it has been determined that the demolition of these buildings will not significantly damage the heritage values of the precinct.

The new development has been designed with regard to the setting and streetscape of both the nearby heritage items and the heritage conservation area. It has been designed to integrate with the historic character through its use of scale, massing, setbacks and architectural materiality, ensuring that the development will not detract or overwhelm the surrounding area through its appearance. This potential adverse relationship between the development and the heritage streetscape will also be supplemented by landscaping.

In response to advice from Ku-ring-gai Council and DPHI, there has been a further review of the building design undertaken. This has resulted in a modulation of the design, including a further reduction in the eastern podium element from 4 storeys to 3 storeys (Building A) and 5 storeys to 4 storeys (Building D). The further reduction accentuates the sloping building form, improving the visual relationship between the new development and the building form to the east.

Visual Impact

The bulk and scale of the development are appropriate for the TOD context. The design uses scale, materiality and landscaping to maintain the visual character of the neighbourhood, despite the differing form and scale of the surrounding area.

Future Character

The TOD controls have been removed from the specified parts of the Roseville locality as per the updated LEP and planning framework developed by Ku-ring-gai Council, but the relevant TOD controls remain in effect for the site and continue to apply. Furthermore, the LMR controls continue to apply to the east of the site. The proposal is consistent with the objectives of a TOD context, providing housing around accessible locations while maintaining appropriate design and streetscape compatibility.

Building Height and Setbacks

Height Exceedance

The development has been acknowledged to be of a height differing from surrounding buildings, but it is consistent with the applicable planning controls and is justifiable under the strategic objectives of the planning framework. The eastern podium element of the development has been reviewed and since reduced from 4 to 3 storeys (Building A) and 5 storeys to 4 storeys (Building D).

ADG building separation compliance

Planning circular PS17-001 clarifies that *the ADG is not intended to be and should not be applied as a set of strict development standards*. The intent of the controls relating to building separation is met by the proposal.

Setback requirements

A 6m setback to all property boundaries is provided, and the building has been specifically designed to integrate into the established Roseville streetscape through the use of setbacks that align with street lines and neighbouring setbacks.

Metro 1st Reserve

Very little of the site is within the second reserve zone of the Sydney metro, and what is in this zone are minor works that are not physical developments extending into the area. The design of the building has also been informed by specialist engineering advice, complying with all relevant conditions specified by Sydney Metro. Construction will be undertaken in strict accordance with conditions specified by Sydney Metro.

Community Engagement

We acknowledge the submission made by ERAG, including a peer review by PlanCom, regarding the community and stakeholder engagement program delivered by Gyde Consulting for this project.

Gyde Consulting was contracted by Hyecorp to design and deliver an engagement program in accordance with the *Undertaking Engagement Guidelines for State Significant Projects (March 2024)* (the Guideline).

A number of engagement methods provided the community with access to information about the project and its impacts, and a range of opportunities to provide their feedback to the project team.

This included:

- a dedicated page on the Hyecorp website, <https://www.hyecorp.com.au/our-collection/roseville-ave/>

- a project flyer distributed to the local community, including information about the proposal, a link to the community survey, and Hyecorp contact information
- a community survey available over a three week engagement period
- a community drop in session held at a local venue
- email and phone contact information provided on all collateral

Hyecorp website

A dedicated project webpage was established on the Hyecorp website. The webpage was live throughout the engagement period, but briefly inactivated following lodgement of the Test of Adequacy package to DPHI. The page was reactivated following formal lodgement and remains active to provide project updates to the community.

The website includes artist impressions of the proposal, key features and up-to-date information about the progress of the project through the planning system.

The community survey was also available on the project website for the three weeks engagement period.

Email and phone contact details for Hyecorp project team are also available on the webpage.

Community flyer

A project flyer was developed to provide the local community with information about the project.

The flyer has raised significant comment in the public submissions received during the initial exhibition of the revised design. Given the interest in this matter, a more comprehensive explanation is provided below.

The flyer included a statement of the site location, artist impressions of the proposed development, information about what the proposal would offer and the planning process.

Information about a drop-in session, a survey link and QR code, and email contact information for the project team were also included in the flyer.

Flyers Direct (www.flyersdirect.com.au) were commissioned to distribute flyers to 1,300 local properties from Monday 3 March 2025.

On Friday 14 March 2025, an email from Flyers Direct to Gyde Consulting confirmed that distribution started on Saturday, 8 March and was completed on Tuesday 11 March 2025. Flyers Direct stated that distribution had been delayed due to wet weather.

Due to a low level of attendance at the community information session on Wednesday 12 March 2025, a second project flyer was distributed to obtain community feedback.

Gyde Consulting hand-delivered an additional 200 flyers seeking comments via the online survey to letterboxes in the area surrounding the site on Tuesday 18 March 2025.

The survey was available for a period of three weeks, allowing residents time to respond to the information provided to them following flyer distribution.

Community drop-in session

A community drop-in session was held at the East Lindfield Seniors Centre on Wednesday, 12 March 2025, between 4pm and 6:30pm.

The session was attended by the project architect, the Hyecorp project manager and development manager, and the community and stakeholder engagement manager.

Information boards provided project information, and a range of site plans and documentation, such as shadow diagrams and traffic plans, were available to view and discuss with the project team.

Attendance at the session was low. The drop-in session was attended by five members of the community. It is acknowledged that low attendance not representative of community opinion on the project and that the delay in the distribution of flyers advising of the event may have influenced the low turnout.

Community survey

The community survey was available for a period of three weeks following the issue of the second flyer and was completed by a total of 34 respondents. The survey was advertised in the community flyer under the heading of 'Have Your Say', with both a QR and survey website address, and available on the project webpage.

Engagement with directly impacted residents

Hyecorp has maintained one-on-one engagement with the residents of directly impacted properties neighbouring the site, prior to and during the development of the SSDA. These residents had direct access to the Hyecorp project team to discuss the proposal and its impacts on an ongoing basis.

Engagement Reporting

The engagement undertaken in the development of the State Significant Development Application was developed to meet the requirements of the NSW Government *Undertaking Engagement Guidelines for State Significant Projects (March 2024)*.

The engagement program was developed to provide the community with accessible information about the project and to offer a range of ways for the community to access and provide their feedback.

The Engagement Outcomes Report provides a complete summary of the engagement undertaken, the level of community participation and how the project has responded to issues arising during consultation.

Tree loss (tree 93)

ERAG raised concern that Tree 93 was originally identified in the Arboricultural Impact Assessment (AIA) as a Sydney Blue Gum but has been reclassified as Flooded Gum in the updated AIA, noting that local, state and national mapping sources continue to identify the species as Sydney Blue Gum. ERAG requested independent confirmation of the species identification and clarification that any reclassification has been undertaken in accordance with an appropriate process.

In response, the applicant advises that the species identification has been confirmed by a qualified ecologist. This confirmation is documented in the Arborist Report submitted with the Response to Submissions (RtS).

Flood risk

A comprehensive flood assessment has been undertaken, and it has been determined that the development will not intensify the flooding risk or impacts of the area. Through the use of a stormwater management system, the proposal will maintain existing flood levels.

Traffic and Parking

The capacity of local roads, existing congestion and local movement have been assessed and the impacts of the new development are not expected to exacerbate existing issues or result in unacceptable impacts. The site's proximity to public and active transport options is expected to reduce reliance on private vehicles, reflected in the relatively small, anticipated increase in vehicle movements and the provision of parking.

Affordable Housing and Affordability

The state government has introduced the TOD and Infill-affordable-housing schemes in order to incentivise the delivery of affordable housing in accessible locations and meet the housing supply shortage in NSW. The new development will supply affordable units to the area and encourage affordable housing within the area.

4.1.2 Friends of Ku-ring-gai Environment

We acknowledge the submission made by the Friends of Ku-ring-gai Environment (FOKE), regarding various aspects of the proposal, the previous response to submissions and the community and stakeholder engagement program delivered by Gyde Consulting for this project.

Council's preferred scenario

The TOD controls have been removed from the specified parts of the Roseville locality as per the updated LEP and planning framework developed by Ku-ring-gai Council but the relevant TOD controls remain in effect for the site and continue to apply. The proposal is consistent with the objectives of a Transport-Oriented-Development context, providing housing around accessible locations while maintaining appropriate design and streetscape compatibility.

Height, Scale and Bulk

The height, scale and bulk have been carefully designed in order to limit the effect on surrounding houses and streetscape while maintaining a form consistent with the future growth and objectives of the TOD context. The eastern podium has been reduced further from 4 to 3 storeys (Building A) and 5 storeys to 4 storeys (Building D).

Built Form and Urban Design

Shadow and solar access analysis has been undertaken to assess the impacts on amenity on neighbouring properties and this analysis has confirmed that the overshadowing will remain within acceptable limits.

Heritage

The design of the building has been carefully considered to reduce impacts on the heritage conservation area and respond to the character of the area through compatible design choices. This has been done to ensure that the overall heritage significance and character is preserved and continued.

Visual Impact

The bulk and scale of the development are appropriate for TOD context. The design uses scale, materiality and landscaping to maintain visual character of the neighbourhood, despite the differing form and scale of the surrounding area.

Traffic and Parking

The capacity of local roads, existing congestion and local movement have been assessed and the impacts of the new development are not expected to exacerbate existing issues or result in unacceptable impacts. The site's proximity to public and active transport options is expected to reduce reliance on private vehicles, reflected in the relatively small, anticipated increase in vehicle movements and the provision of parking.

Construction Noise & Vibrations

Where possible, there will be the use of low-noise machinery, acoustic barriers where appropriate and the adherence to restricted work hours. Vibration monitoring will also be conducted to ensure levels remain below thresholds that could affect adjacent structures.

Environmental Concerns and Biodiversity

Significant trees will be retained and there has been design refinements in order to safeguard the survival of these trees and of the trees removed, many are either exotic species or planting synonymous with garden suburbs. There is extensive new planting proposed, much of which are native vegetation that will support biodiversity and provide habitat for native animals.

The proposal features deep soil zones that will allow for large trees, the trees in this zone have also been reviewed and amended to species that may grow larger than those previously proposed, as advised by the project landscape consultant.

Affordable Housing

The state government has introduced the TOD and Infill-affordable-housing schemes in order to incentivise the delivery of affordable housing in accessible locations and meet the housing supply shortage in NSW. The new development will supply affordable units to the area and encourage affordable housing within the area.

Water Management

Any required localised infrastructure upgrades or augmentation works will be delivered as part of the development. The design of the new development also adopts sustainability measures to reduce demand on external infrastructure.

Social Impact

The proposal is not projected to place overwhelming strain on local infrastructure and the site is currently serviced by existing infrastructure with capacity for future growth. In the event that a consent for the project is issued, the relevant development contributions will be paid. It is anticipated that this contribution will be allocated to the provision of new and upgraded community infrastructure by Council.

4.2 Additional Issues Raised by Community

Further issues raised by the community have been addressed in Table 1 below. For further information, refer to the supporting inputs provided by specialist consultants.

Table 1 Public Submissions

Theme	Response
Height, Scale and Form of Buildings	
The proposed height is excessive relative to planning controls and surrounding built form.	<p>The development is acknowledged to be of a scale that exceeds the prevailing building heights and massing of existing buildings. The development has been designed with regard to the planning framework that applies under the TOD controls that apply to the site and achieves an appropriate built form outcome through considered massing, setbacks, and design detailing.</p> <p>A further review of the design of the building has been undertaken to respond to advice from Ku-ring-gai Council and DPHI. Additional modulation, including a further reduction in the eastern podium element from 4 to 3 storeys (Building A) and 5 storeys to 4 storeys (Building D), has been introduced to accentuate the sloping building form and to further improve the visual relationship of the new development and the smaller building form to the east (Scout Hall).</p>
The proposed development is significantly larger than surrounding buildings and will dominate the streetscape.	<p>The proposed design introduces a form that differs from established neighbouring buildings. This approach is inevitable with the TOD controls. Nonetheless, the proposal has been designed to align with neighbouring setbacks, street lines and podium heights are carefully modulated to create a coherent streetscape even though the architectural expression of the building differs from that of surrounding buildings.</p>

Theme	Response
<p>The bulk and scale of the development is inconsistent with the low-density residential character of Roseville.</p>	<p>Although the proposal introduces a contemporary built form, the bulk and scale are appropriate when assessed against the objectives of the TOD planning controls. The design mitigates visual impact through articulation, material variation, and landscaping, maintaining consistency with the desired character of the Roseville locality.</p>
<p>The development introduces an abrupt transition between the proposed apartment buildings and adjoining single-storey dwellings.</p>	<p>The proposal satisfies the intent of the planning controls relating to built form transition. The combination of setbacks, height modulation, and landscape buffering ensures that the development integrates appropriately with the adjoining lower-scale residential properties.</p>
<p>The proposal represents overdevelopment of the site relative to the size of the amalgamated lots.</p>	<p>The proposed floorspace ratio is entirely consistent with that envisaged for the site under the TOD controls and satisfies other relevant controls relating to deep soil, landscape and open space provision.</p>
<p>The development does not appropriately respond to the established scale and character of the surrounding neighbourhood.</p>	<p>The proposal is of a different scale and massing to existing development, but is nonetheless compatible with the established built form of the surrounding neighbourhood. The design adopts a built form, setbacks, and articulation that integrates with the existing development pattern, and the heavy use of landscaping will ensure that it does not detract from the character of the Roseville locality.</p>
<p>The architectural form and massing are inconsistent with the heritage character of the area.</p>	<p>While the proposal introduces a contemporary architectural expression, the form and massing have been designed to respond to the heritage character of the area. This is achieved through the modulation of building elements, articulation of facades, and the use of materials and colours that are compatible with the heritage context in which the development is located, thereby reducing visual impact and maintaining the established character.</p> <p>A further review of the design of the building has been undertaken to respond to advice from Kuring gai Council and DPHI. Additional modulation, including a further reduction in the eastern podium element from 4 to 3 storeys (Building A), has been introduced to accentuate the sloping building form and to further improve the visual relationship of the new development and the smaller building form to the east (Scout Hall).</p>
<p>Site</p>	
<p>The proposed development is not suitable for the site given surrounding heritage conservation areas and low-density zoning.</p>	<p>While the proposal introduces a contemporary architectural expression, the form and massing have been designed to respond to the heritage character of the area. This is achieved through the modulation of building elements, the articulation of facades, and the use of materials and colours that are compatible with the heritage context in which the development</p>

Theme	Response
	is located, thereby reducing visual impact and maintaining the established character.
The development would create an isolated high-density building within a predominantly low-density area.	Although the proposal introduces a contemporary built form, the bulk and scale are appropriate when assessed against the objectives of the TOD planning controls. The design mitigates visual impact through articulation, material variation, and landscaping, maintaining consistency with the desired character of the Roseville locality.
The proposal does not appropriately respond to the physical constraints of the site, including proximity to the Sydney Metro tunnel.	The development has been designed with full consideration of the site's physical constraints, including its proximity to the Sydney Metro tunnel. Specialist engineering advice has informed the building design, footing systems, and construction methodology to ensure there are no adverse impacts on the tunnel infrastructure. The proposal will comply with all relevant conditions specified by Sydney Metro and will be constructed with appropriate safeguards during construction.
The site selection does not align with areas identified for higher density development within Roseville.	The TOD controls continue to apply to the site. The scale of development proposed is consistent with applicable planning controls.
Layout and Design	
The proposed building separation distances do not comply with the Apartment Design Guide.	<p>The development has been designed to ensure that adequate building separation distances are observed. A 6m setback to all property boundaries is provided. Visual privacy to surrounding buildings is addressed through planting and balcony screening elements.</p> <p>Planning circular PS17-001 clarifies that the ADG is <i>not intended to be and should not be applied as a set of strict development standards</i>. The intent of the controls relating to building separation is met by the proposal.</p>
The development does not provide adequate setbacks from adjoining properties.	<p>The development has been designed to ensure that adequate building separation distances are observed. A 6m setback to all property boundaries is provided. Visual privacy to surrounding buildings is addressed through planting and balcony screening elements.</p> <p>Planning circular PS17-001 clarifies that the ADG is <i>not intended to be and should not be applied as a set of strict development standards</i>. The intent of the controls relating to building separation are met by the proposal.</p>
The building layout results in overlooking of neighbouring dwellings and private open space.	A 6m setback to all property boundaries is provided. Visual privacy to surrounding buildings is addressed through planting and balcony screening elements.

Theme	Response
<p>The proposal does not provide appropriate transitions between buildings of different heights.</p>	<p>The development has been designed to ensure that adequate building separation distances are observed. A 6m setback to all property boundaries is provided. Visual privacy to surrounding buildings is addressed through planting and balcony screening elements.</p> <p>Planning circular PS17-001 clarifies that the ADG is <i>not intended to be and should not be applied as a set of strict development standards</i>. The intent of the controls relating to building separation are met by the proposal.</p>
<p>The development footprint and basement design reduce opportunities for landscaping and deep soil planting.</p>	<p>Generous deep soil zones are provided. Existing large trees are retained on site, and additional opportunities for large tree planting are embedded in the landscape strategy. This is achieved through the unconventional 'L' shaped basement design, which has been purposefully included to allow for retention of significant trees.</p>
<p>Amenity</p>	
<p>The development will result in significant overshadowing of neighbouring properties.</p>	<p>A comprehensive shadow analysis has been undertaken to assess the impact of the development on neighbouring properties. The analysis indicates that while some additional overshadowing will occur, it remains within acceptable limits. The design incorporates setbacks and building articulation to minimise shadow impacts and maintain reasonable solar access to adjoining properties.</p> <p>Supplementary shadow information is provided with respect to the properties immediately to the west of the proposed development. This analysis confirms that the level of overshadowing of the living spaces of neighbouring properties remains within acceptable limits. This is evidenced in the analysis contained in the Urban Design Report prepared by the project architect.</p>
<p>The proposal will reduce solar access to adjoining dwellings and private open space areas.</p>	<p>Comprehensive overshadowing and solar analyses have been undertaken to assess the impact of the development on neighbouring properties. The analysis indicates that while some additional overshadowing/loss of solar access will occur, it remains within acceptable limits. The design incorporates setbacks and building articulation to minimise impacts and maintain reasonable solar access to adjoining properties.</p> <p>Supplementary shadow information is provided with respect to the properties immediately to the west of the proposed development. This analysis confirms that the level of overshadowing of the living spaces of neighbouring properties remains within acceptable limits.</p>

Theme	Response
<p>The development will result in loss of privacy for surrounding residents due to overlooking from balconies and upper-level apartments.</p>	<p>The development has been designed to ensure that adequate building separation distances are observed. A 6m setback to all property boundaries is provided. This increases to 9m for the upper levels of the building. Visual privacy to surrounding buildings is addressed through planting and balcony screening elements. View lines are directed over buildings rather than into adjoining properties.</p>
<p>The scale and proximity of the buildings will create visual dominance and reduce residential amenity.</p>	<p>The proposed development has been carefully designed to respond to its context, with building scale and setbacks arranged to minimise visual bulk and maintain a balanced streetscape. Variations in height, articulation, and landscaping elements help break down the perceived mass of the buildings, reducing any sense of dominance. Adequate separation distances have been incorporated to protect privacy, access to sunlight, and outlook for neighbouring properties, ensuring that residential amenity is appropriately maintained.</p>
<p>Increased residential density will result in increased noise and activity within the surrounding area.</p>	<p>While the proposal will introduce additional residents to the area, increased density does not inherently result in unacceptable noise or disruption. The development has been designed in accordance with relevant TOD planning controls and with regard to the controls that apply to surrounding properties. The design incorporates appropriate building orientation, internal layouts, and acoustic treatments to minimise noise impacts on both occupants and neighbouring properties.</p> <p>Furthermore, moderate increases in activity are consistent with the intended character of a growing urban area and can contribute positively to passive surveillance, safety, and local vitality. The scale of the development is not expected to generate noise levels beyond those typically associated with residential environments, and overall residential amenity within the surrounding area will be maintained.</p>
<p>Traffic</p>	
<p>The development will increase traffic congestion on surrounding local streets.</p>	<p>The potential traffic impacts of the development have been assessed and are not expected to result in unacceptable congestion on surrounding local streets. The anticipated increase in vehicle movements is relatively modest and can be accommodated within the existing road network, which has sufficient capacity for the projected demand.</p> <p>The proposal also incorporates appropriate on-site parking, access arrangements, and safe vehicle circulation to minimise any impact on nearby streets. In addition, the site's accessibility to public transport,</p>

Theme	Response
	<p>walking, and cycling options is expected to reduce reliance on private vehicles. The development is unlikely to generate significant traffic congestion or adversely affect the operation of the local road network.</p>
<p>The local road network has limited capacity to accommodate additional traffic generated by the development.</p>	<p>The capacity of the local road network has been considered as part of the assessment of the proposal, and it is not expected that the development will generate traffic volumes beyond what the network can reasonably accommodate. The anticipated increase in vehicle movements is relatively small and consistent with the scale and zoning of the site.</p> <p>The surrounding road network is designed to support gradual growth and redevelopment, and the additional traffic generated by the proposal will be distributed across the network without causing significant disruption to its operation. Furthermore, the site's accessibility to public transport and active transport options is expected to reduce reliance on private vehicles.</p> <p>The development is unlikely to place undue strain on the local road network or result in unacceptable traffic impacts.</p>
<p>Existing congestion near Roseville Station and surrounding roads will be exacerbated by the proposal.</p>	<p>The proposal is not expected to materially exacerbate existing congestion near Roseville Station or the surrounding road network. The anticipated increase in traffic generated by the development is modest and has been assessed as capable of being accommodated within the existing road capacity.</p> <p>Importantly, the site's proximity to the train station and other public transport options is likely to reduce reliance on private vehicles, with a significant proportion of trips expected to occur via public transport, walking, or cycling. This transit-oriented location is intended to support higher-density development while limiting additional traffic impacts.</p> <p>The development is unlikely to result in a noticeable increase in congestion, and the operation of the surrounding road network, including areas near the train station, will continue to function effectively.</p>
<p>The proposed parking provision may increase vehicle usage and traffic within the area.</p>	<p>The proposed parking provision is consistent with applicable planning controls and is designed to meet, rather than exceed, the reasonable needs of future residents and visitors. It is not expected to encourage excessive car use, but rather to prevent overspill parking in surrounding streets.</p>

Theme	Response
	<p>The development's location, with access to public transport, walking, and cycling options, supports reduced reliance on private vehicles. In addition, the provision of appropriate parking is balanced with measures that promote alternative transport modes, ensuring that traffic generation remains within anticipated and acceptable levels.</p> <p>The proposal will not result in a significant increase in vehicle usage or adverse traffic impacts within the area.</p>
<p>Access arrangements and traffic movements associated with the development may impact local safety and circulation.</p>	<p>The proposed access arrangements have been designed to ensure safe and efficient vehicle and pedestrian movement, in accordance with relevant standards and guidelines. Access points are appropriately located to maintain clear sightlines, minimise conflict with existing traffic flows, and support safe entry and exit for vehicles.</p> <p>Internal circulation has been carefully planned to provide logical and safe vehicle movements within the site, while also prioritising pedestrian safety. The expected traffic volumes associated with the development are relatively low and are not anticipated to adversely affect the safety or function of surrounding streets.</p> <p>The proposal will maintain safe and effective local circulation, and no significant adverse impacts on traffic safety are expected.</p>
<p>Heritage</p>	
<p>The development will result in demolition of dwellings that contribute to the heritage conservation area.</p>	<p>The proposal has given careful consideration to the heritage significance of the conservation area and the contribution of existing dwellings. Detailed assessment has determined that the buildings proposed for demolition do not make a significant or intact contribution to the heritage values of the precinct.</p>
<p>The scale and design of the development are incompatible with the surrounding heritage character.</p>	<p>The design of the new development responds to the established character of the area through appropriate scale, form, and materiality, ensuring that the overall heritage significance of the conservation area is preserved. A design analysis has been completed by the project architects which thoroughly assesses and considers the proposal within the established context and additional analysis has been provided by the project heritage consultant.</p> <p>A further review of the design of the building has been undertaken to respond to advice from Kuring gai Council and DPHI. Additional modulation, including a further reduction in the eastern podium</p>

Theme	Response
	<p>element from 4 to 3 storeys (Building A), has been introduced to accentuate the sloping building form and to further improve the visual relationship of the new development and the smaller building form to the east (Scout Hall).</p>
<p>The proposal will adversely affect the setting of nearby heritage items and heritage conservation areas.</p>	<p>The proposal has been designed with careful regard to the setting of nearby heritage items and the broader heritage conservation area. The building form, scale, and setbacks have been developed to ensure that the development sits comfortably within its context and does not visually overwhelm or detract from heritage elements.</p> <p>View corridors, streetscape relationships, and the established character of the area have been considered in the design process, with articulation and material selection used to provide a complementary, rather than competing, built form. Landscaping also assists in softening the interface between the development and surrounding heritage features.</p> <p>A further review of the design of the building has been undertaken to respond to advice from Kuring gai Council and DPHI. Additional modulation, including a further reduction in the eastern podium element from 4 to 3 storeys (Building A), has been introduced to accentuate the sloping building form and to further improve the visual relationship of the new development and the smaller building form to the east (Scout Hall).</p>
<p>The development will diminish the historic character and streetscape of Roseville.</p>	<p>The proposal has been carefully designed to respect and integrate within the historic character and streetscape of Roseville. Its scale, massing, and architectural detailing respond to the existing rhythm and form of the area, ensuring that new buildings do not dominate the established streetscape.</p> <p>Materials, finishes, and landscaping have been selected to reflect the local context and soften the transition between the development and surrounding properties.</p> <p>A further review of the design of the building has been undertaken to respond to advice from Kuring gai Council and DPHI. Additional modulation, including a further reduction in the eastern podium element from 4 to 3 storeys (Building A) and 5 storeys to 4 storeys (Building D), has been introduced to accentuate the sloping building form and to further improve the visual relationship of the new development and the smaller building form to the east (Scout Hall).</p>

Theme	Response
Landscape/Tree Impact	
<p>The development will result in the removal of a large number of mature trees on the site.</p>	<p>The majority of trees and vegetation on site consist of hedges and planting synonymous with suburban gardens. Significant trees are retained and further design refinement has been undertaken to further safeguard the survival of these trees during the construction and following completion of the development.</p> <p>Further work has been completed to ensure that the street tree on Lord Street (T20) previously identified for removal can be retained. This has involved relocation of the substation to the southwest corner of the development.</p>
<p>Tree removal will reduce local biodiversity and habitat for native fauna.</p>	<p>Vegetation removal is necessary for the proposal. The existing trees within the site are primarily exotic species. New planting is proposed, species selection includes a variety of species, including native vegetation, which will provide habitat for fauna. Further work has been completed to ensure that the street tree on Lord Street (T20) previously identified for removal can be retained. This has involved relocation of the substation to the southwest corner of the development.</p>
<p>Loss of vegetation will reduce tree canopy and contribute to urban heat impacts.</p>	<p>Extensive tree planting is proposed. Upon completion of the development, tree canopy coverage will increase. Further work has been completed to ensure that the street tree on Lord Street (T20) previously identified for removal can be retained. This has involved relocation of the substation to the southwest corner of the development.</p>
<p>The proposal does not provide sufficient deep soil areas for meaningful tree planting.</p>	<p>Generous deep soil zones are proposed and allow for large trees. A further review of tree species has been completed in response to comments from Council. Alternative tree species are proposed that have the potential to grow larger than those previously identified.</p>
<p>The extent of basement excavation limits opportunities for canopy tree retention and replacement planting.</p>	<p>Basement excavation is restrained and allows for the retention of significant trees and opportunities for new planting. This has been achieved by creating an unconventional U-shaped design.</p>
<p>Replacement landscaping is unlikely to compensate for the loss of mature vegetation on the site.</p>	<p>The site comprises suburban homes with manicured gardens. The majority of plants to be removed consist of exotic species. The landscape strategy is integral to the design concept for the project and includes a rich diversity of planting that will complement the building form and help to integrate the new building within the streetscape.</p>

Theme	Response
Social Infrastructure	
<p>The development will increase local population without corresponding upgrades to community infrastructure.</p>	<p>In the event that a consent for the project is issued, the relevant development contributions will be paid. It is anticipated that this contribution will be allocated to the provision of new and upgraded community infrastructure by the Council.</p>
<p>Existing public services and facilities may experience increased demand as a result of the development.</p>	<p>The proposal is not expected to place undue pressure on public services or result in a significant reduction in their availability or quality for the community. The scale of the proposal is moderate and consistent with the existing planning framework for the area, meaning any additional demand is expected to be incremental and manageable.</p> <p>The site is well-serviced by existing infrastructure, including schools, parks, community facilities, and utilities, which have the capacity to accommodate additional residents. Furthermore, the development contributes to the efficient use of existing services and supports the ongoing viability of local facilities.</p>
Consistency with Policies, Plans and Strategies	
<p>The proposal is inconsistent with Ku-ring-gai Council's preferred planning framework for the area.</p>	<p>Kuring gai Council's preferred planning framework was amended prior to finalisation and adoption. The adopted controls recognise the site as a State Significant Development site. The relevant TOD controls continue to apply.</p>
<p>The development does not align with recently adopted planning strategies for Roseville.</p>	<p>Since the lodgement of the application, the Ku-ring-gai LEP has been updated to reflect the Council's preferred planning framework. The adopted controls recognise the site as a TOD site. The TOD controls have been removed from specified parts of the Roseville locality, but remain in effect for the site.</p>
<p>The proposal is inconsistent with the intended density and zoning for the site.</p>	<p>The proposal is consistent with the intended density and zoning for the site. The site is identified for higher-density development within a Transport-Oriented Development context, and the proposal aligns with these strategic objectives of the controls by providing additional housing while maintaining appropriate scale, setbacks, and streetscape compatibility. Consequently, the development is consistent with both the zoning and the intended density envisaged for the site.</p>
Engagement Quality	
<p>Community consultation undertaken by the proponent was insufficient.</p>	<p>The engagement process was designed and delivered in line with the <i>NSW Government Undertaking Engagement Guidelines for State Significant Projects</i> (March 2024). Activities were proportional to the scale of the proposal and provided multiple avenues for feedback (website, survey, project flyer, direct contact). The engagement met all statutory requirements, providing clear, accessible project information and a</p>

Theme	Response
<p>Local residents were not adequately informed or engaged during preparation of the proposal.</p>	<p>variety of opportunities for input throughout the consultation period.</p> <p>Flyers Direct were commissioned to distribute flyers to 1,300 local properties commencing 3 March 2025, providing information about the proposal, survey link, and details of the community drop-in session. Because of low attendance, 200 new flyers were hand-delivered by Gyde Consulting on 18 March 2025. The community survey remained open for three weeks, allowing residents sufficient time to respond. These measures exceeded standard notification practices for projects of this scale.</p> <p>A community drop-in session was held on 12 March 2025 at East Lindfield Seniors Centre, staffed by members of the Hycorp project team, including the architect, development manager and the engagement manager.</p> <p>Public submissions have indicated that residents did not have sufficient opportunity to comment on the proposal and were not aware of the community consultation session.</p> <p>As this is an important issue to residents, as evidenced by the large number of comments on this matter, a more comprehensive response on this matter is provided here.</p> <p>The drop-in session was only one of a number of opportunities for residents to provide feedback. As noted above, extended flyer distribution was implemented to increase awareness and participation in the ongoing survey.</p>
<p>Community concerns raised during consultation have not been adequately addressed in the revised proposal.</p>	<p>The revised proposal was updated in response to feedback received during the consultation process. Key concerns raised by the community, including matters relating to building scale, landscaping, and amenity, were reviewed and addressed through targeted design refinements and mitigation measures.</p> <p>It has not been possible to accommodate every individual comment, noting that some comments called for significant reductions in building height and scale well below the TOD controls. The revised proposal represents a balanced approach that responds to community input, aligns with planning controls, and maintains high-quality outcomes for both future residents and the surrounding neighbourhood.</p>
<p>Sustainability</p>	
<p>The proposal does not adequately address environmental sustainability outcomes.</p>	<p>The proposal demonstrates a considered approach to environmental sustainability through the integration of design strategies that reduce resource consumption and minimise environmental impacts.</p>

Theme	Response
	<p>Measures include energy-efficient building systems, water-sensitive urban design, and the use of environmentally sustainable materials. The built form is complemented with generous landscaped zones that will provide habitat for native fauna.</p> <p>In addition, the development promotes sustainable transport by providing convenient access to public transport, walking, and cycling, helping to reduce reliance on private vehicles. These measures ensure that the proposal achieves positive environmental outcomes in line with current planning and sustainability objectives.</p>
<p>Loss of vegetation and increased hard surfaces may contribute to urban heat and environmental impacts.</p>	<p>The development has been designed to minimise the impact of vegetation loss and increased hard surfaces on the local environment. Where vegetation removal is unavoidable, substantial replacement planting and landscaping are proposed to maintain canopy cover, support biodiversity, and improve microclimate conditions.</p> <p>Hard surfaces have been carefully managed, with permeable paving, landscaped areas, and tree planting incorporated to reduce heat retention, manage stormwater, and mitigate potential urban heat effects. These measures ensure the proposal achieves a sustainable outcome while maintaining environmental amenity for the surrounding area.</p> <p>Further design refinement has been completed to ensure that a street tree on Lord Street (T20, previously proposed for removal) can be retained. This has involved the relocation of the substation to the southwest corner of the building.</p>
Metro	
<p>The development's proximity to the Sydney Metro tunnel may create engineering and safety concerns.</p>	<p>A small section of the site is within the second reserve zone of the Sydney Metro tunnels. Works proposed within this part of the site are extremely minor, involving tree removal, stormwater management and landscaping. Basements and other physical development do not extend into this area.</p> <p>The full application has been referred to Sydney Metro for review and comment, and have provided conditions for inclusion in any future consent.</p>
<p>Construction associated with the development may impact Sydney Metro infrastructure.</p>	<p>Construction of the project will adhere to all requirements specified by Sydney Metro to ensure that adverse impacts on the tunnel do not arise.</p>

Theme	Response
Project Amendment	
<p>Amendments made in the Response to Submissions do not adequately address the key concerns raised by the community.</p>	<p>The revised proposal was updated in response to feedback received during the consultation process. Key concerns raised by the community, including matters relating to building scale, landscaping, and amenity, were reviewed and addressed through targeted design refinements and mitigation measures.</p> <p>It has not been possible to accommodate every individual comment, noting that some comments called for significant reductions in building height and scale well below the development forms achievable under the TOD controls. The revised proposal represents a balanced approach that responds to community input, aligns with planning controls, and maintains high-quality outcomes for both future residents and the surrounding neighbourhood.</p>
<p>The changes to building height and dwelling numbers are considered minor and do not significantly reduce impacts.</p>	<p>It has not been possible to accommodate some comments, particularly those requesting substantial reductions in building height and scale well below the building forms achievable under the TOD controls. The revised proposal represents a balanced approach that responds to community input, remains consistent with planning controls, and delivers high-quality outcomes for both future residents and the surrounding neighbourhood.</p>

5. Conclusion

The report summarises the key matters raised in submissions, provides considered responses to those matters, and outlines the design and documentation changes that have occurred since exhibition.

Preparation of this Response to Community Submissions report has involved a detailed review, collation and analysis of all community feedback received through the exhibition process. Information from relevant technical reports has been synthesised to ensure that responses accurately reflect the most current design iteration and associated expert findings. Together, this demonstrates that community and agency input have been properly considered and integrated into the final proposal.

Ultimately, the project delivers a high-quality, sustainable residential development that makes efficient use of an accessible, well-serviced site and contributes to housing diversity and affordability within the Ku-ring-gai LGA. On this basis, it is considered that the proposal satisfactorily addresses all matters raised during re-exhibition and merits approval by DPHI.

Appendix A

List of Submissions

GYDE