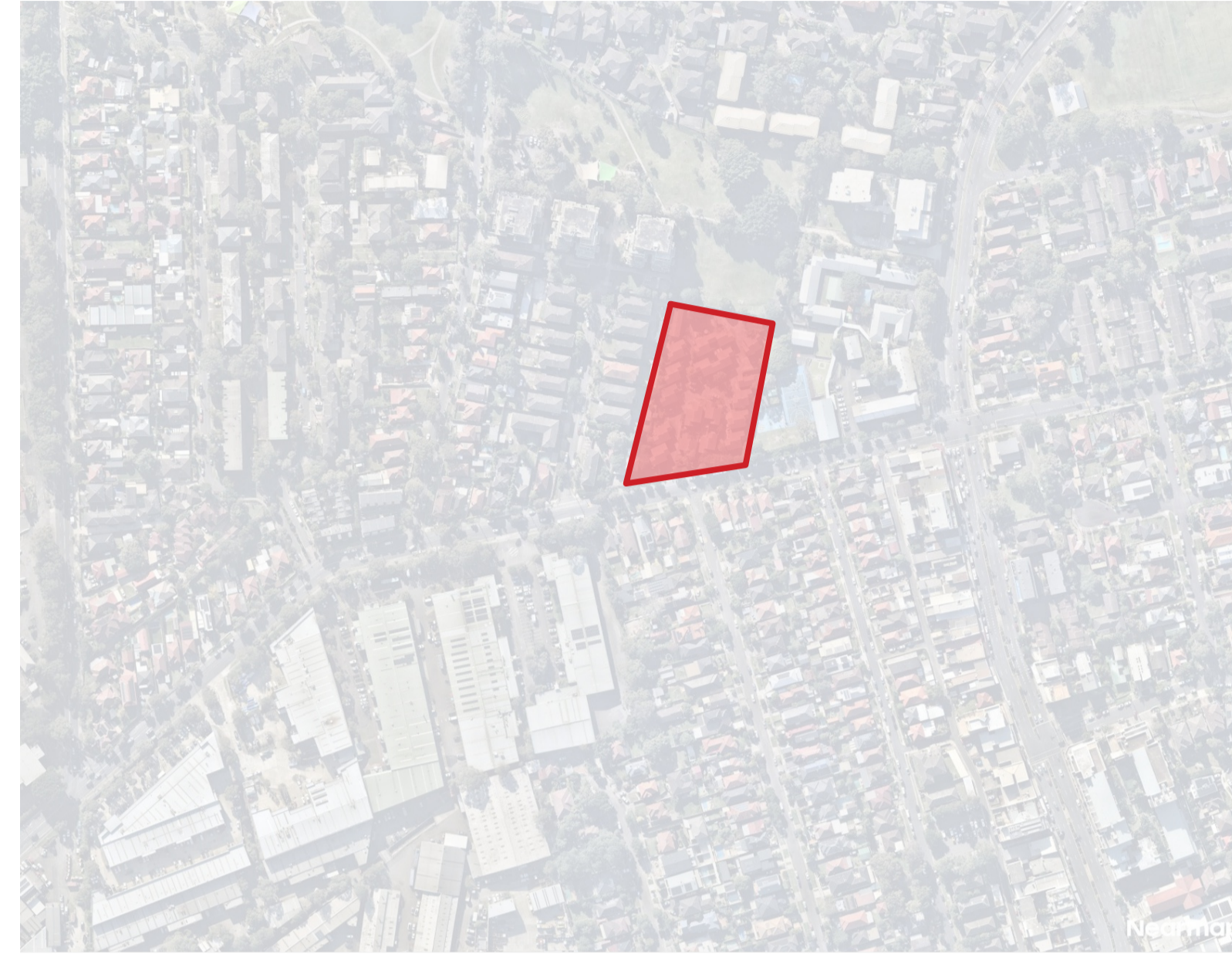


68-80 BEAUCHAMP ROAD, HILLSDALE

STATE SIGNIFICANT DEVELOPMENT APPLICATION

2025010: LANDSCAPE ARCHITECTURAL DRAWING LIST

Sheet Number	Sheet Name	Revision
LD-DA000	COVER SHEET & DESIGN STATEMENT	2
LD-DA001	PLANTING SCHEDULE & LEGENDS	2
LD-DA002	TREE MANAGEMENT PLAN	2
LD-DA003	COMPLIANCE DIAGRAMS	2
LD-DA100	GROUND FLOOR LANDSCAPE PLAN	2
LD-DA200	GROUND FLOOR PLANTING PLAN	2
LD-DA400	SECTION AA	2
LD-DA401	SECTION BB	2
LD-DA900	TYPICAL DETAILS & OUTLINE SPECIFICATION & MAINTENANCE	2



LANDSCAPE SSSA DESIGN STATEMENT

Objectives:

- to increase the number of indigenous species planted in the region
- to eliminate the use of noxious weeds of potentially invasive species in developments
- to use plants in such a way to foster energy efficient development that relies on passive energy principles for heating and cooling
- to reduce maintenance and water consumption through appropriate species selection
- to create buffer zones and add to existing areas of remnant vegetation with locally indigenous species.

Principles

- Enhance the appearance and amenity of the proposed residential development by sensitively integrating architecture and landscape through effective site planning and landscape design.
- Consolidate the open space into a coherent landscape treatment that provides visual amenity from above and below.
- Take forward the landscape principles and urban design principles established by the DCP by Bayside Council to Establish a visually and environmentally sensitive landscape, complimentary to the architectural vision and greater urban setting, while providing high quality private spaces for residents and visitors.
- Provide new tree planting that ameliorates the building scale and offers environmental benefit through micro climate.
- Create a vibrant Community Open Space with both integrated seating areas & engaging social gathering spaces

Streetscapes

Subject to ongoing discussions and design development, associated streetscapes has been considered as part of the development offer to ensure seamless transitions throughout the ground plane.

Access, Egress & Connectivity

All fire exits are located near or adjacent to key pathways, pedestrian links and streetscapes promoting safe egress and evacuation if and when required. Definition of a hierarchy of pedestrian pathways has been created to ensure numerous access points and circulation options for the local community.

CPTED, Safety & Visibility

All raised edges & planter walls are at seating height or lower allowing clear sight-lines and visibility throughout the ground plane. Trees are used to frame spaces and ensure clear visibility to and from the streetscape at all times. Regular congregation spaces enables passive surveillance to all areas, discouraging undesired behaviour and possible blind spots.

Universal Access & DDA Compliance

The ground plane offers full universal accessibility to all reception and lobby at maximum 1:14 and 1:20 grades have been implemented to ensure access for all is achieved.

Soil Depths on Podiums & Permanent Planting

Deep soil areas have been maxmised with mass native tree planting where feasible throughout the project. Planting area on ground floor have a minimum 150mm including slab setdowns. All planters on podiums have a minimum soil depth of 200mm including slab setdowns. This allows planter walls to be at low heights promoting visual permeability and ADG soil depths for trees achieved through additional 1:3 mounding to raised planter beds

For deep soil calculations - refer to architectural design report

NOTE:

- DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF IN DOUBT OBTAIN WRITTEN ADVICE FROM LANDFORM OR WHERE APPLICABLE VIA THE PRINCIPAL'S REPRESENTATIVE.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE MINIMUM SETTING OUT REQUIREMENTS.
- ALL DIMENSIONS SHOULD BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORKS. NOTIFY THE PRINCIPALS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES
- ALL LANDSCAPE DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
- INSTALLATION OF SYSTEMS AND PROPRIETARY PRODUCTS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION.
- DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING SERVICES

No	Revision	Note: * Indicates signatures on original issue of drawing or last revision of drawing	Drawn	Job Manager	Project Director	Date
2		STATE SIGNIFICANT DEVELOPMENT APPLICATION RTS	RH	RI	RI	03.03.26
1		STATE SIGNIFICANT DEVELOPMENT APPLICATION	RH	RI	RI	29.10.25

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Approved (Project Director)	CR	Date	14.05.25
Scale			

Client **HOMES NSW**
Project **68-80 BEAUCHAMP RD, HILLSDALE**
Title **COVER SHEET AND DESIGN STATEMENT**

Original Size **A1** Drawing No: **LD-DA000**

Rev: 2

PLANT SCHEDULE DEVELOPMENT APPLICATION						
CODE	SPECIES	COMMON NAME	ORIGIN	POT SIZE	EST. MATURE HT	INS TALL SIZE
PROPOSED STREET TREES						
ANG cos	Angophora costata	Sydney red gum	Native	100L	15-25m	N/A
COR gum	Corymbia gummifera	Red bloodwood	Native	100L	15-20m	N/A
PROPOSED TREES						
LIV aus	Livistona australis	Cabbage Palm	Native	400L	12-15m	N/A
CYA coo	Cyathea cooperi	Australian Tree Fern	Native	75L	6-12m	N/A
COR gum	Corymbia gummifera	Red bloodwood	Native	100L	15-20m	N/A
DIC ant	Dicksonia antarctica	Soft Tree Fern	Native	45L	6-12m	N/A
BAN ser	Banksia serrata	Old Man Banksia	Native	100L	4-6m	N/A
EUC cam	Eucalyptus camfieldii	Camfield's Stringybark	Native	100L	4-9m	N/A
BAC cit	Backhousia citriodora	Lemon Myrtle	Native	100L	4-7m	N/A
BRA rup	Brachychiton rupestris	Queensland Bottle Tree	Native	100L	10-15m	N/A
ELA ret	Eleocharis reticulata	Blueberry Ash	Native	100L	6-10m	N/A
ACA fal	Acacia falcata	Sickle Wattle	Native	45L	2-5m	N/A
ACA ret	Acacia retinodes	Silver Wattle	Native	45L	2-5m	N/A
TRI lau	Tristanopsis laurina	Water Gum	Native	100L	6-8m	N/A
XAN	Xanthorrhoea	Grass Tree	Native	1.5m Trunk	4-6m	N/A

MIX TYPE 1 - SHADE/ PART SHADE						
SHRUBS						
ACA myr	Acacia myrtifolia	Myrtle wattle	Native	200mm	1-3m	500mm
ASP nid	Asplenium nidus	Bird's nest fern	Native	200mm	1-1.5m	300mm
BAN spi	Banksia spinulosa	Hairpin Banksia	Native	300mm	1-3m	300mm
BUR spi	Bursaria spinosa	Native Blackthorn	Native	200mm	1m x 1m	300mm
DOR exc	Dorothy's excelsa	Gymea Lily	Native	300mm	1-3m	300mm
GOO ova	Goodenia ovata	Hop goodenia	Native	150mm	0.2m x 0.6m	100mm
SPI ser	Spinifex sericeus	Hairy Spinifex	Native	150mm	0.2m x 0.6m	100mm
SYZ pan	Syzygium paniculatum	Lilly Pilly	Native	150mm	1-3m	100mm
ZIE smi	Zenia smithii	Sandfly ziena	Native	300mm	1-1.5m	300mm
GRASSES						
ART mil	Arthropodium milleflorum	Vanilla Lily	Native	150mm	60cm x 60cm	200mm
DIA cae	Dianella caerulea	Cassa Blue	Native	150mm	60cm x 60cm	100mm
LOM lon	Lomandra longifolia 'Tanika'	Matt Rush	Native	150mm	60cm x 60cm	200mm
POA lab	Poa labillardierei	Common Tussock-grass	Native	150mm	100cm x 60cm	200mm
THE tri	Themeda triandra	Kangaroo Grass	Native	150mm	0.2m x 0.6m	100mm
CLIMBERS + GROUNDCOVERS						
CAS gla	Casuarina glauca	Cousin it	Native	150mm	0.3m x 1m	100mm
DIC rep	Dichondra repens	Kidneyweed	Native	150mm	0.2m x 0.6m	100mm
MYO par	Myoporum parvifolium 'yareena'	Creeping Boobialla	Native	150mm	0.2m x 5m	100mm
PAN pan	Pandorea pandorana	Wonga Wonga Vine	Native	150mm	0.2m x 5m	100mm
VIO hed	Viola hederacea	Native Violet	Native	150mm	0.2m x 0.5m	100mm

MIX TYPE 2 - FULL SUN/ PART SHADE						
SHRUBS						
BAN spi	Banksia spinulosa	Hairpin Banksia	Native	300mm	1-3m	300mm
BAU rub	Bauera rubioides	River Rose	Native	200mm	1-1.5m	300mm
CAL dub	Calochlaena dubia	Soft Bracken	Native	150mm	0.4m x 1m	100mm
HAK ser	Hakea sericea	Bushy Needlewood	Native	300mm	1-3m	300mm
OZO dio	Ozothamnus diosmifolius	Rice Flower	Native	200mm	1-1.5m	300mm
GRASSES						
ALP cae	Alpinia caerulea	Native Ginger	Native	200mm	1-3m	500mm
CAR gla	Carpobrotus glaucescens 'CAR10'	Aussie Rambler	Native	150mm	200mm	100mm
CRO exa	Crocea exalata	Waxflower	Native	150mm	0.3m x 0.7m	100mm
SPI ser	Spinifex sericeus	Hairy Spinifex	Native	150mm	0.2m x 0.6m	100mm
THE aus	Themeda triandra	Kangaroo Grass	Native	150mm	0.2m x 0.6m	100mm
LOM lon	Lomandra longifolia 'Tanika'	Matt Rush	Native	150mm	60cm x 60cm	200mm
POA lab	Poa labillardierei	Common Tussock-grass	Native	150mm	100cm x 60cm	200mm
ASP nid	Asplenium nidus	Bird's nest fern	Native	200mm	1-1.5m	300mm
DIC cri	Dichelachne crinita	Longhair Plume Grass	Native	200mm	1-1.5m	300mm
DOR exc	Dorothy's excelsa	Gymea Lily	Native	300mm	1-3m	300mm
CLIMBERS + GROUNDCOVERS						
CAS gla	Casuarina glauca	Cousin it	Native	150mm	0.3m x 1m	100mm
CIS ant	Cissus antarctica	Kangaroo vine	Native	150mm	0.2m x 0.6m	100mm
CIS ant	Cissus antarctica	Kangaroo vine	Native	150mm	0.2m x 0.6m	100mm
DIC rep	Dichondra repens	Kidneyweed	Native	150mm	0.2m x 0.6m	100mm
MYO par	Myoporum parvifolium 'yareena'	Creeping Boobialla	Native	150mm	0.2m x 5m	100mm
MYO par	Myoporum parvifolium 'yareena'	Creeping Boobialla	Native	150mm	0.2m x 5m	100mm
SAR har	Sarcopetalum harveanum	The Pearl Vine	Native	150mm	0.3m x 1m	100mm
VIO hed	Viola hederacea	Native Violet	Native	150mm	0.2m x 0.5m	100mm
ZOY ten	Zoysia tenuifolia	No - Mow Grass	Native	150mm	0.2m x 0.6m	100mm

MIX TYPE 3 - WUSUD						
GRASSES						
BAU art	Baumea articulata	Jointed Twig Rush	Native	140mm	1.0-1.5m	300mm
CAR app	Carex appressa	Tall Sedge	Native	140mm	0.6-1.0m	300mm
DIA cae	Dianella caerulea	Blue Flax Lily	Native	140mm	0.4-0.8m	300mm
ELE sph	Eleocharis sphacelata	Tall Spike Rush	Native	140mm	1.0-1.5m	300mm
JUN kra	Juncus kraussii subsp. australiensis	Sea Rush	Native	140mm	0.6-1.0m	300mm
JUN usi	Juncus usitatus	Common Rush	Native	140mm	0.6-1.2m	300mm
LEP pol	Leptospermum polygalifolium	Tea Tree	Native	140mm	1.5-3.0m	300mm
LOM lon	Lomandra longifolia	Mat Rush	Native	140mm	0.6-1.0m	300mm
MEL thy	Melaleuca thymifolia	Thyme-leaved Paperbark	Native	140mm	1.0-1.5m	300mm
POA lab	Poa labillardierei	Tussock Grass	Native	140mm	0.6-1.0m	300mm
SCH muc	Schoenoplectus mucronatus	Club Rush	Native	140mm	0.6-1.2m	300mm
THE tri	Themeda triandra	Kangaroo Grass	Native	140mm	0.6-1.0m	300mm
TRI str	Triglochin striata	Streaked Arrowgrass	Native	140mm	0.3-0.5m	300mm

TREE MANAGEMENT PLAN

LEGEND

- SITE BOUNDARY
- BASEMENT EXTENTS
- PROPOSED NOMINAL DESIGN LEVELS: REFER TO ENGINEERS DRAWINGS
- EXISTING TREE - TREE PROTECTION ZONE
- EXISTING TREE - STRUCTURAL ROOT ZONE
- EXISTING TREE TO BE RETAINED - REFER TO ARBORIST REPORT
- EXISTING TREE TO BE REMOVED - REFER TO ARBORIST REPORT
- PROPOSED TREES - REFER TO PLANTING PALETTE

General Notes:
FOR SITE LEVELS AND ARCHITECTURAL INFORMATION REFER TO CIVIL AND ARCHITECTS DRAWINGS RESPECTIVELY.

FOR COURTYARD AND OVERFLOW DRAINAGE REFER TO HYDRAULIC ENGINEERS DRAWINGS

ALL TREES TO BE RETAINED AND ARE SUBJECT TO TREE PROTECTION & MANAGEMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

EXTERNAL LIGHTING AND ELECTRICAL : REFER TO ENGINEERS DETAILS.

CONTRACTOR TO PROTECT ALL LANDSCAPE WORKS DURING CONSTRUCTION INCLUDING BUT NOT EXCLUSIVE TO EXISTING VERGE.

LEVELS GENERAL : CONTRACTOR TO ENSURE POSITIVE DRAINAGE TO ALL PAVEMENTS, TURF AND PLANTER AREAS, INSTALL SUBSOIL DRAINAGE TO PLANTER AREAS AS REQUIRED.

LANDSCAPE PLANS

LEGEND

- SITE BOUNDARY
- BASEMENT EXTENTS
- EXISTING SEA WALL LINE
- + RL 67.85 PROPOSED NOMINAL DESIGN LEVELS: REFER TO ENGINEERS DRAWINGS
- + TW 450 TOP OF WALL HEIGHT (mm)
- + TM 800 TOP OF MOUND HEIGHT (mm) (MAX 1:3 GRADE)
- + SD 800 TOTAL SOIL DEPTH INCLUSIVE OF STRUCTURAL SLAB SETDOWN (mm)
- SSL 200 STRUCTURAL SLAB SETDOWN (mm)
- EXISTING TREE TO BE RETAINED - REFER TO ARBORIST REPORT
- EXISTING TREE TO BE REMOVED - REFER TO ARBORIST REPORT
- PROPOSED TREES - REFER TO PLANTING PALETTE
- PROPOSED SHRUBS - REFER TO PLANTING PLAN & SCHEDULE
- PLANTED AREA ON GRADE - REFER TO PLANTING SCHEDULE
- RAISED PLANTER AREA ON SLAB - SOIL DEPTH SOIL DEPTHS TO ADG STANDARDS
- SW SEATING WALL: INSITU CONCRETE CLASS 2 WITH TIMBER SEATING BATTENS AND
- P1 PAVING TYPE 1: PERMEABLE PAVING
- P2 PAVING TYPE 2: DRIVEWAY PAVERS
- P3 PAVING TYPE 3: ASPHALT FOOTPATH TO COUNCIL STANDARDS
- TD TIMBER DECKING
- TU NATURAL TURF
- BBQ BBQ
- F1 FURNITURE TYPE 1: OUTDOOR CAFE TABLE
- F2 FURNITURE TYPE 2: OUTDOOR DINING TABLE AND SEATING
- SB SANDSTONE BLOCK
- TL TIMBER LOG

No	Revision	Note: * indicates signatures on original issue of drawing or last revision of drawing	Drawn	Job Manager	Project Director	Date
2		STATE SIGNIFICANT DEVELOPMENT APPLICATION RTS	RH	RI	RI	03.03.26
1		STATE SIGNIFICANT DEVELOPMENT APPLICATION	RH	RI	RI	29.10.25

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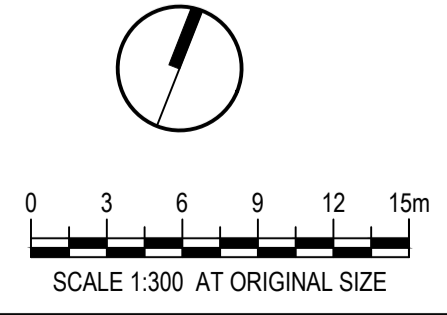
Client **HOMES NSW**
Project **68-80 BEAUCHAMP RD, HILLSDALE**
Title **PLANTING SCHEDULE & LEGENDS**

Original Size **A1** Drawing No: **LD-DA001**

Rev: 2



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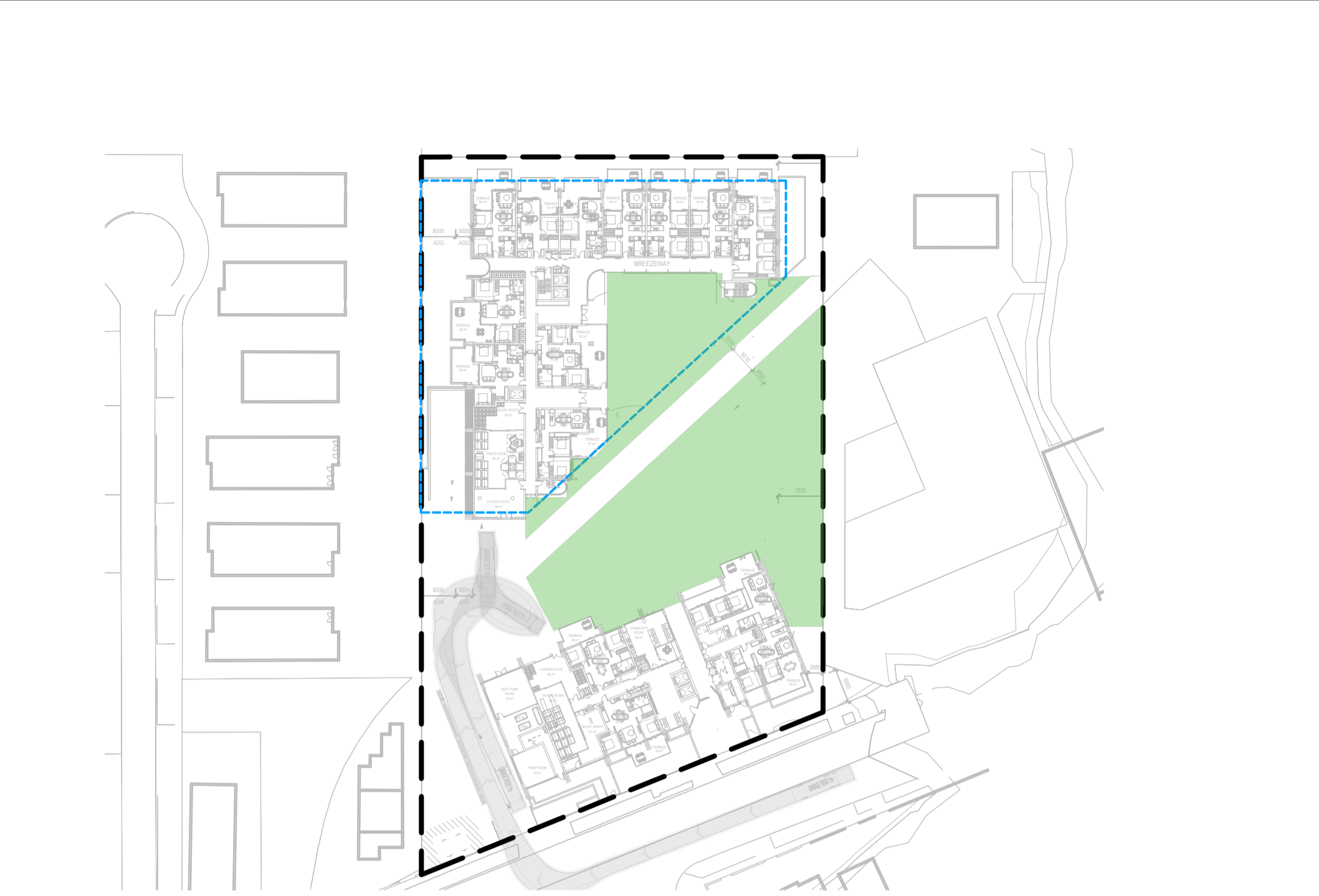
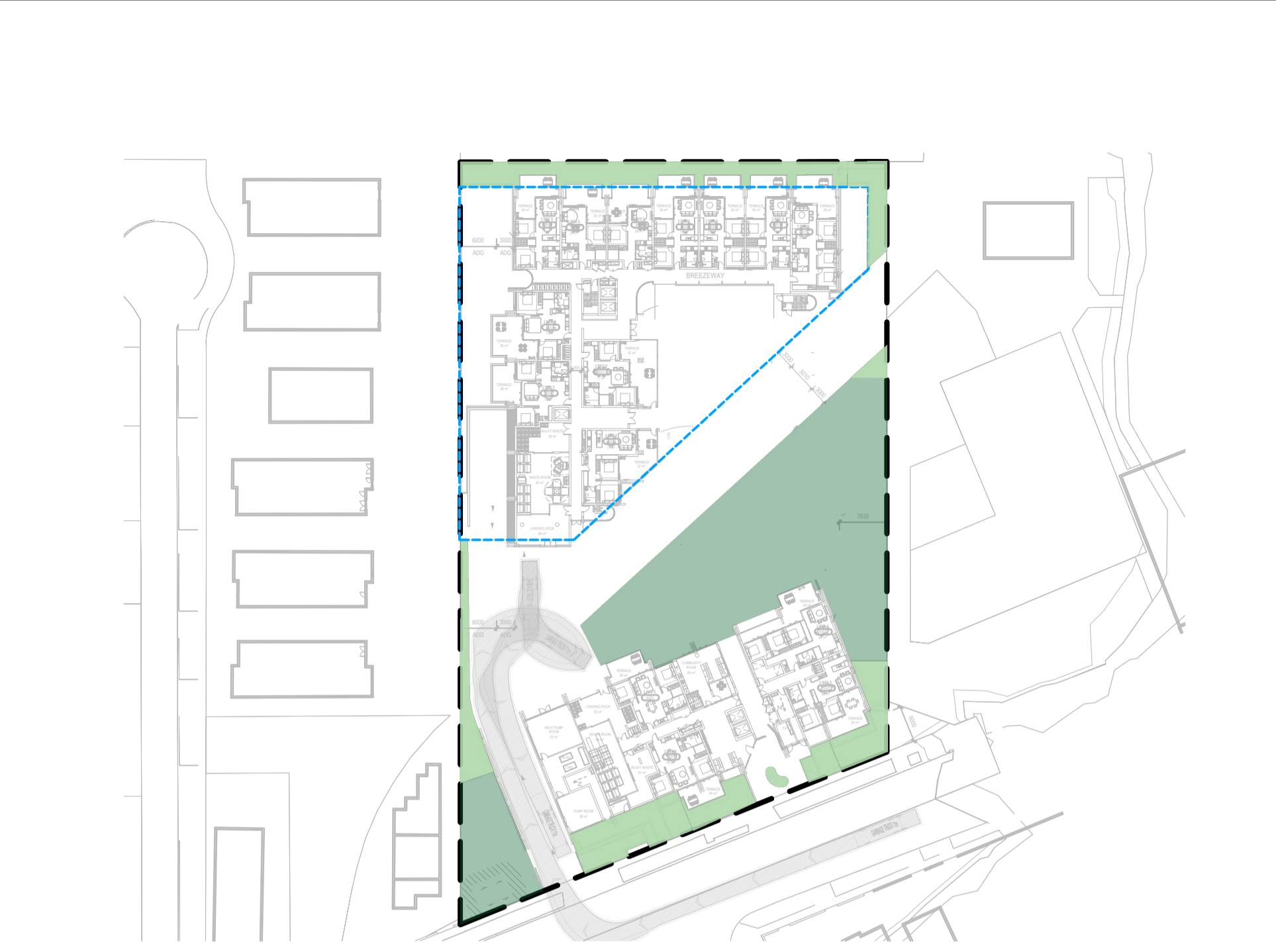
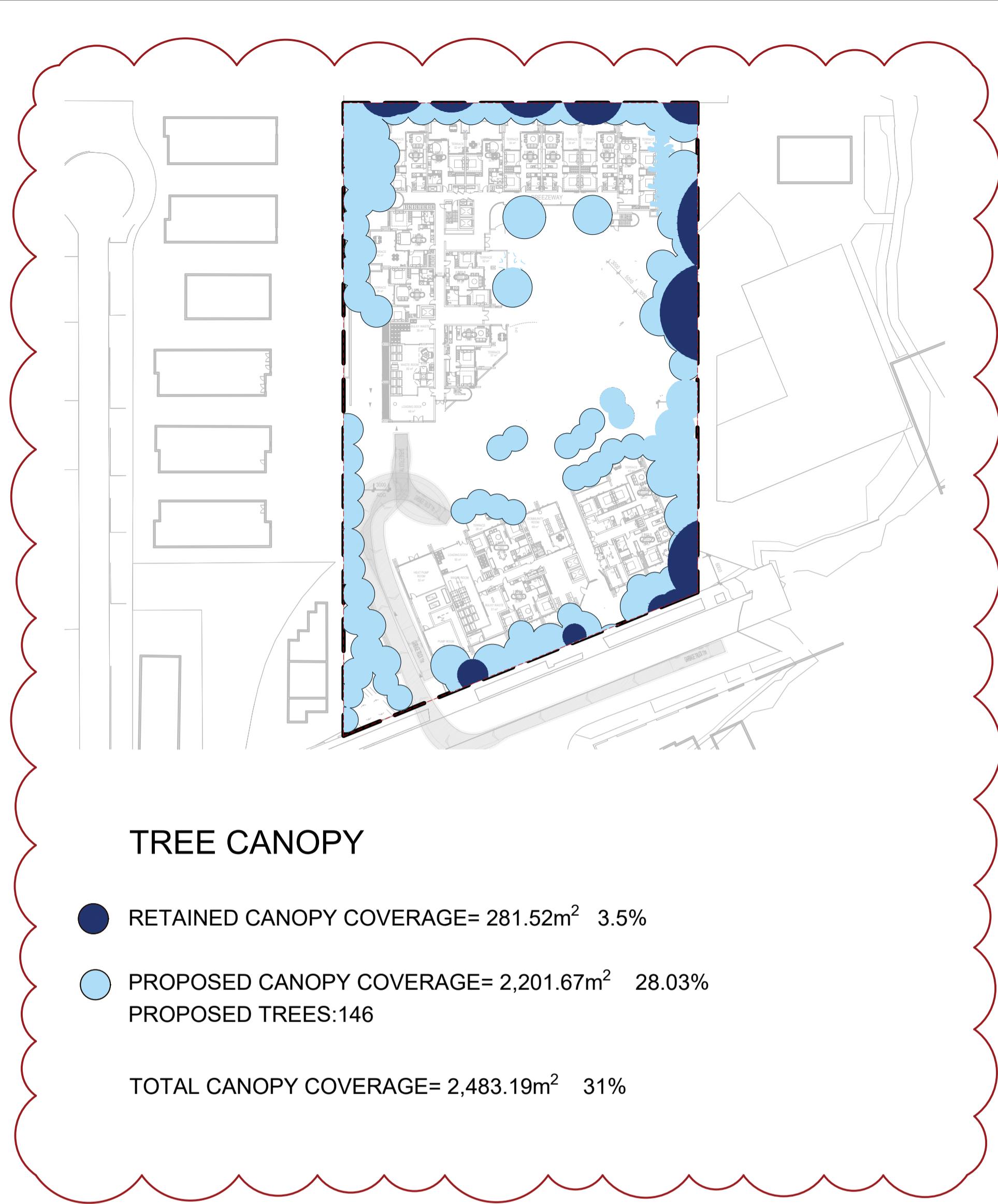


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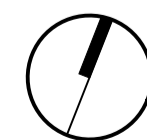
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Approved (Project Director) Date	CR	14.05.25	
Scale			

Client	HOMES NSW
Project	68-80 BEAUCHAMP RD, HILLSDALE
Title	TREE MANAGEMENT PLAN
Original Size	A1
Drawing No:	LD-DA002
Rev:	2



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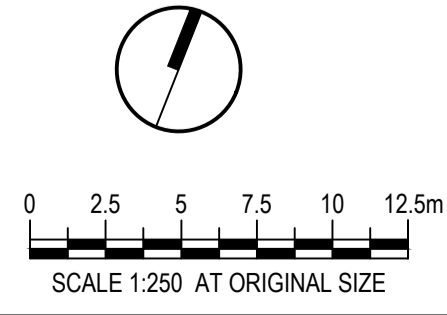
Client **HOMES NSW**
Project **68-80 BEAUCHAMP RD, HILLSDALE**
Title **COMPLIANCE DIAGRAMS**

Original Size **A1** Drawing No: **LD-DA003**

Rev: 2



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1		STATE SIGNIFICANT DEVELOPMENT APPLICATION	RH	RI	RI	29.10.25

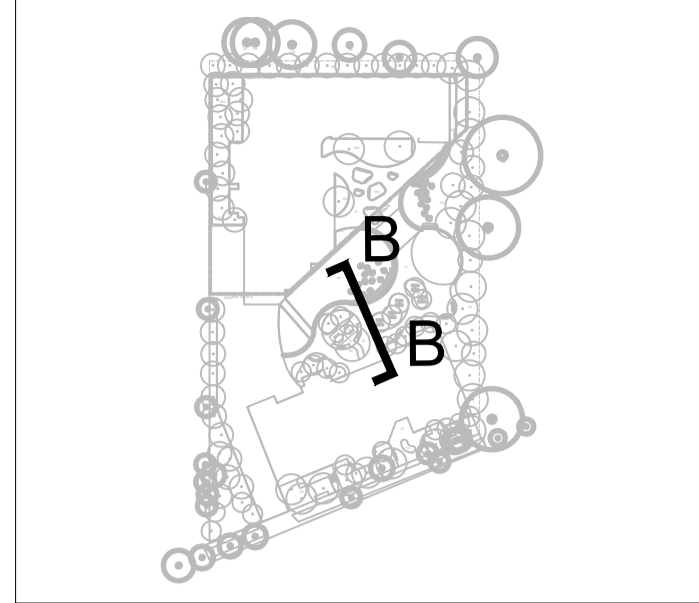
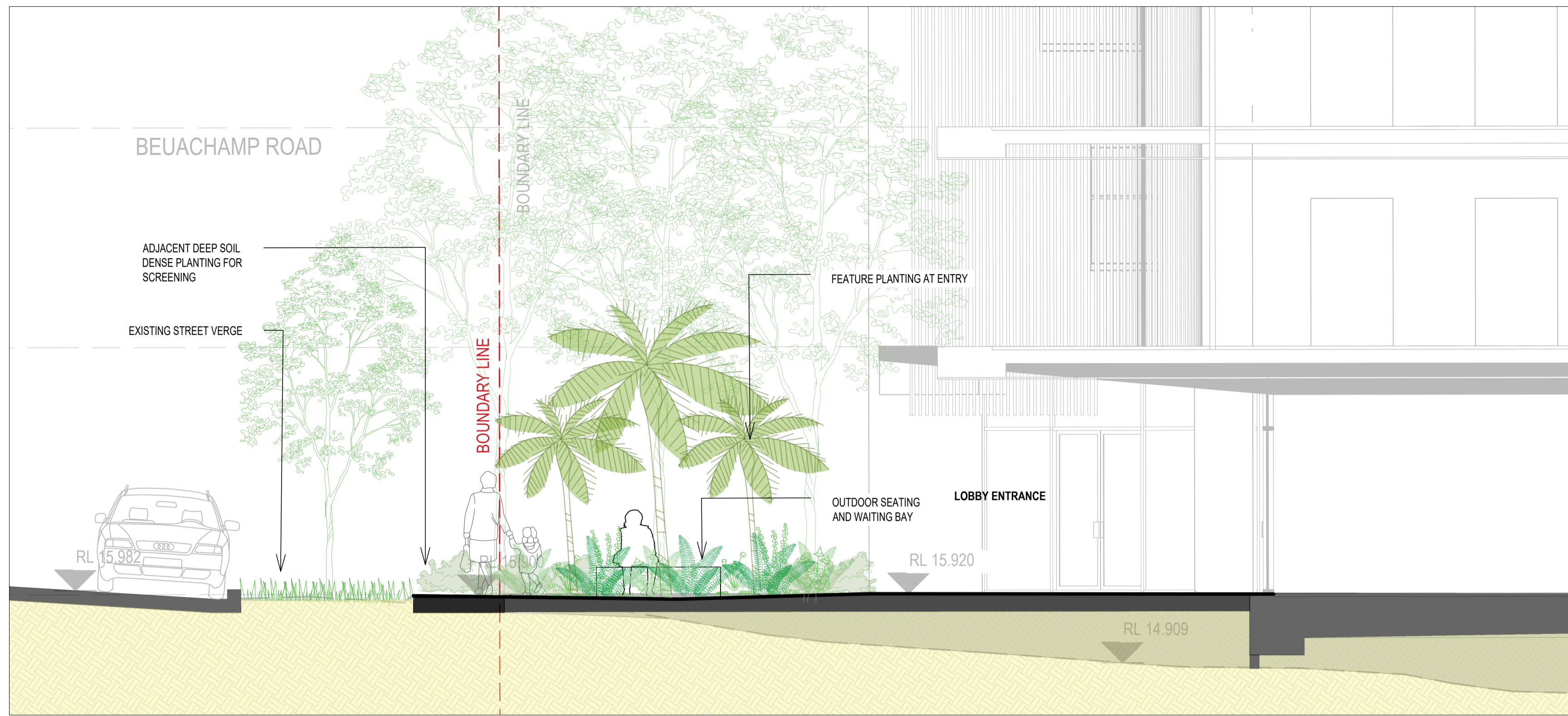


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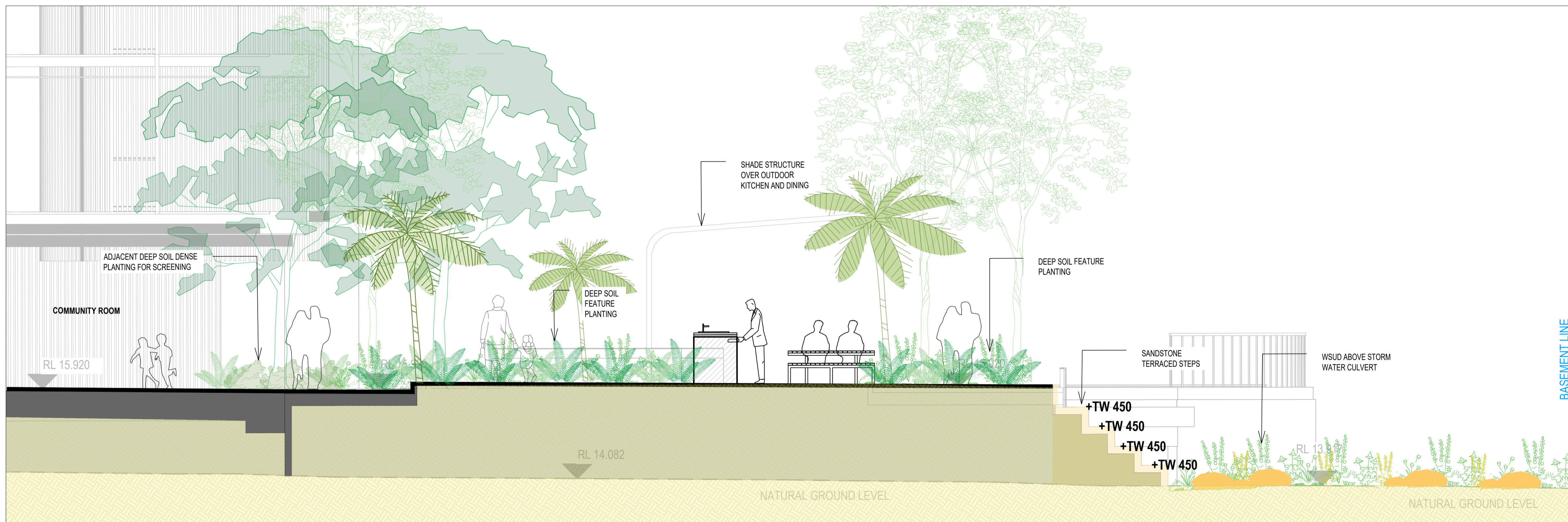
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Drafting	CR	Design	CR
Approved (Project Director)		Check	
Date		14.05.25	
Scale			

Client	HOMES NSW
Project	68-80 BEAUCHAMP RD, HILLSDALE
Title	GROUND FLOOR PLANTING PLAN
Original Size	A1
Drawing No:	LD-DA200
Rev:	2



REFERENCE PLAN NTS

1 TYPICAL SECTION AA
1:50



2 TYPICAL SECTION BB
1:50

NOT FOR CONSTRUCTION

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2		STATE SIGNIFICANT DEVELOPMENT APPLICATION RTS	RH	RI	RI	03.03.26
1		STATE SIGNIFICANT DEVELOPMENT APPLICATION	JM	RI	RI	29.10.25

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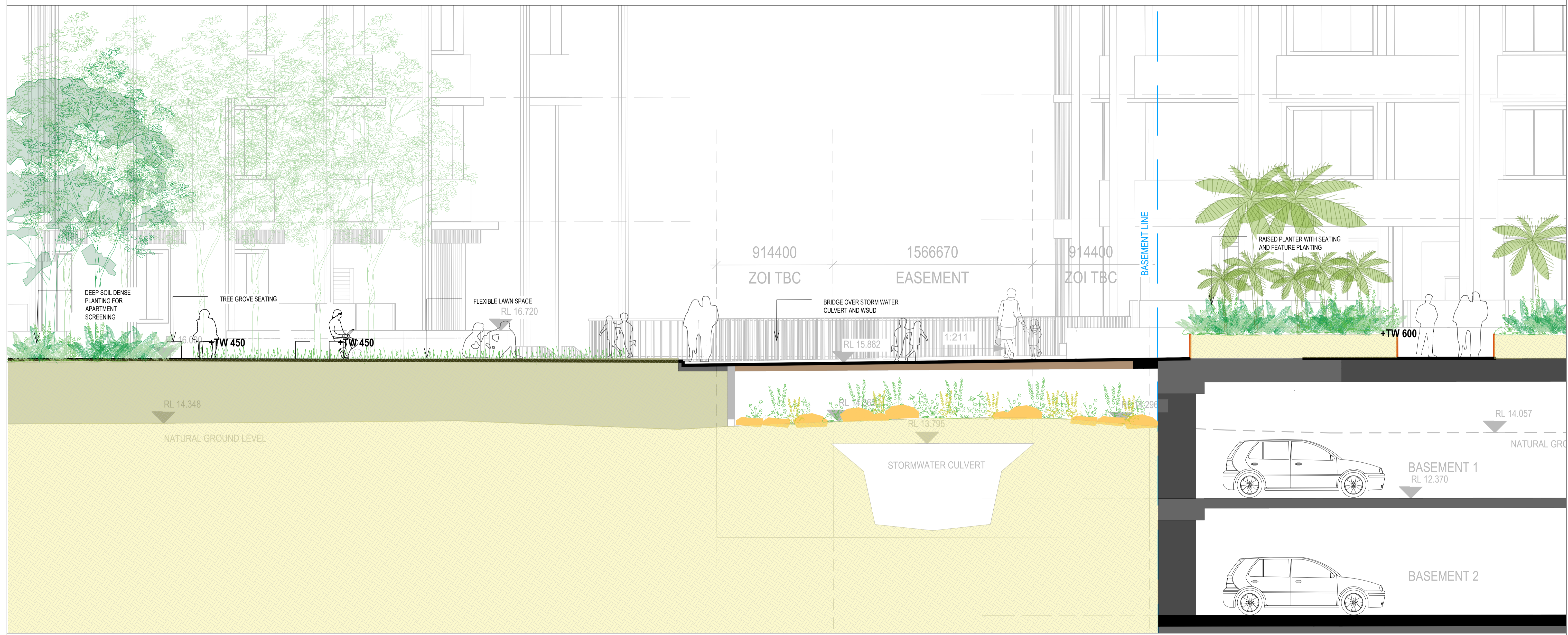
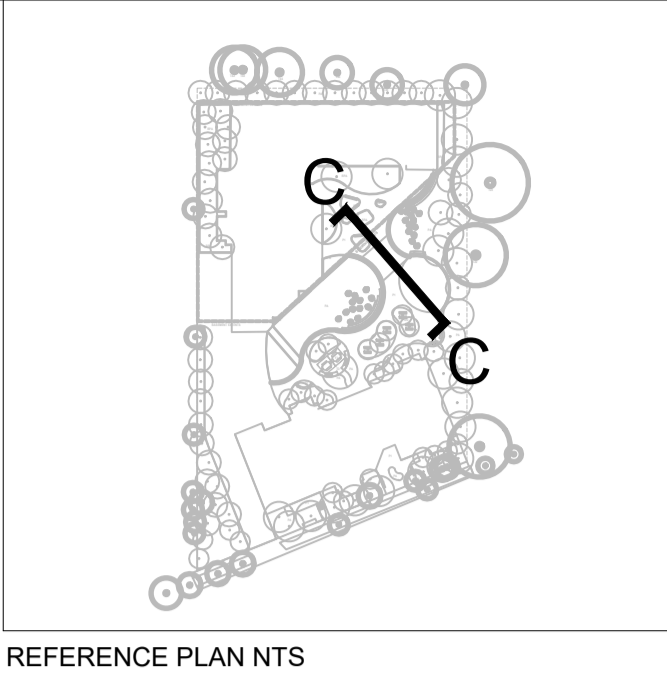
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Scale	AS SHOWN		

Client **HOMES NSW**
Project **68-80 BEAUCHAMP RD, HILLSDALE**
Title **SECTION AA + SECTION BB**

Original Size **A1** Drawing No: **LD-DA400**

Rev: 2



1 TYPICAL SECTION CC
1:50

NOT FOR CONSTRUCTION

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2		STATE SIGNIFICANT DEVELOPMENT APPLICATION RTS	RH	RI	RI	03.03.26
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Drafting Check	RI	Design Check	RI
Approved (Project Director)	CR	Date	14.05.25
Scale	AS SHOWN		

Client	HOMES NSW		
Project	68-80 BEAUCHAMP RD, HILLSDALE		
Title	SECTION CC		
Original Size	A1	Drawing No:	LD-DA401
Rev:	2		

LANDSCAPE OUTLINE SPECIFICATION NOTES

GENERAL:

Note the following is an outline specification for DA purposes only.

All works are to be performed by suitably qualified and experienced trades persons in landscape works. All works shall be supervised by a qualified superintendent.

SERVICES IDENTIFICATION

The contractor shall verify the position of all services prior to the commencement of works and take all necessary precautions to protect services during implementation works.

SITE ESTABLISHMENT

The contractor shall establish site access and compound in position agreed with the Superintendent and or subject to Council approval. The Contractor shall be totally responsible for protecting the site works during construction and establishment including vegetation, pedestrian and vehicular management. Implement erosion control and site management practices to secure the site and to comply with all statutory requirements.

EARTHWORKS & DRAINAGE

Bulk earthworks are by the civil contractor. The landscape contractor shall allow for minor earth trimming and profiling to prepare landscape areas to accept the nominated treatment. Protect exposed earthworks with temporary erosion measures and coordinate the on-site disposal of excess spoil with the Superintendent.

SUBSOIL AGRICULTURAL DRAINS:

All tree positions shall be free draining with positive drainage to SW outlets or natural drainage systems. Install 100mm diameter agg. drains including 200mm wide column of 10-20mm crushed drainage gravel and geo-textile fabric - Bidum A24. Seek direction from the site superintendent.

PIT LIDS:

The Contractor is to protect all pit lids during earthworks preparation. Retain Telstra concrete oval covers & pit checker plate steel pit covers, and concrete service pits. New pit lids are to be suitable for paver infill.

HARD LANDSCAPE WORKS

PAVEMENTS:

Modular Pavement Systems - Pedestrian: Stone paving product
Pavements systems shall conform to the approved Public Domain Framework and or Council's streetscape guidelines to the extent defined on the landscape plans. Supply and install pavements to the pattern nominated over concrete base including; base preparation, mortar bedding, placement, mechanical cutting, expansion | control joints, grout jointing and finishing to achieve levels and positive drainage.

ROADWORKS: Refer to Engineers drawings for grading, materials and set-out.

FURNITURE & FIXINGS

Supply and install furniture and fixing in the positions nominated on the plans or as agreed on site with the superintendent. All items are to be installed on concrete base slab or in-ground footings strictly in accordance with the manufacturer's specification. Where necessary, allow for cutting of pavements and or core drilling installation method.

The pavements shall comply with Council and Australian Standards

LIGHTING

Refer to the electrical engineer's plans for lighting circuits and installation. The general layout are nominated on the landscape plans.

SOFT LANDSCAPE WORKS

SOIL MIX:

Imported Soil Mix:

All planter areas shall have a minimum soil depth of 300mm and 100mm to turf | grass areas with landscape quality soil that conforms to AS 4419 Soils for Landscaping and Gardens.

Ameliorated site topsoil mix:

The Contractor is to use stockpiled site topsoil adding soil additives and chemicals; lime gypsum and fertiliser nutrients to achieve AS4419.

SAMPLE & TESTING:

Provide 1kg soil mix test sample and data to of imported or modify site soil , clearly

identified and referenced to the test data, prepared by an independent soil laboratory. Submit to the Superintendent for approval prior to supply and placement.

FERTILISER: Apply slow release Organic fertiliser at the time of planting with pellets to advanced tree positions strictly in accordance with the manufacturers specification and with regard to season, soil mix, watering regimes and sub grade conditions.

PLANT MATERIALS:

Refer to the plant schedule. The contractor shall ensure that all plant materials are secured immediately upon award of contract. Failure to do so will not give rise to substitutions or extensions of time. All stock shall be grown in open areas which are exposed to the sun and wind to promote vigorous plant growth and to harden plants off. All plant material shall be pest and disease free. All plant material shall not be pot bound or damaged. Plant densities shall reflect accepted industry standards and Councils guidelines for Landscape Works and be sourced from an accredited nursery. The Contractor will be responsible for purchasing and coordination of delivery to satisfy the construction program. It is the Contractor's responsibility to check trees at the supply source and to accept delivery of the trees at site, ensuring that the trees are supplied in accordance with the specification and are in good health. The Contractor shall allow for unloading and placement of all advanced tree materials.

All bag stock shall conform to the specification and must be secured from an Accredited Nursery. The current Natspec Guide "Purchasing Landscape Trees" is a **guide only** for quality tree production. All trees must be able to be planted without the use of tree stakes. Any trees requiring staking to be held vertical shall be rejected.

ADVANCED TREES:

Plant stock shall have a well developed straight stem with tri-branching structure and healthy canopy typical to the species and to the minimum sizes scheduled.

Excavate a hole a minimum 2X wider than the root ball and deep enough to accept a minimum 200mm of topsoil below. Break up the base of the hole to a further depth of 200mm, and loosen compacted sides of the hole as necessary to prevent confinement of root growth to the hole. Loosen sides of root ball to promote growth. Backfill with nominated soil mix, lightly tamp and water to eliminate air pockets. Ensure positive drainage to all tree positions.

Supply and install root barrier as nominated and staking as detailed on plans.

IRRIGATION SYSTEM: Supply and install an automatically controlled system to landscape areas identified on the plans to achieve 25mm/week precipitation rate. This system shall have a rain switch and have backflow prevention devices fitted in accordance with Councils regulations.

MAINTENANCE PERIOD:

General

Planting maintenance period: the planting maintenance period will be 52 weeks and will commence from the date of practical completion. Of each phase of planting works (hereby specified to be a separable part of the works). It is anticipated that planting works will be undertaken in one phase

Planting maintenance program: 2 weeks prior to practical completion, furnish a proposed planting establishment program, and amend it as required. Such proposal should contain details of the types and frequency of maintenance activities involved with the establishment of plants and grassed areas. Comply with the approved program.

Planting maintenance log book: keep a log book recording when and what maintenance work has been done and what materials, including approved toxic materials, have been used. Log book must be signed off by the client's representative after each maintenance visit. Maintain log book in location nominated by superintendent. All entries are to be initialled by person nominated by superintendent. Log book to contain a copy of the approved planting establishment program.

Product warranty: submit the supplier's written statement certifying that plants are true to the required species and type, and are free from diseases, pests and weeds.

Insurance: the contractor is to ensure suitable insurance cover and / or bank guarantee is in place for the theft and / or damage of all works executed under this contract for the plant maintenance period.

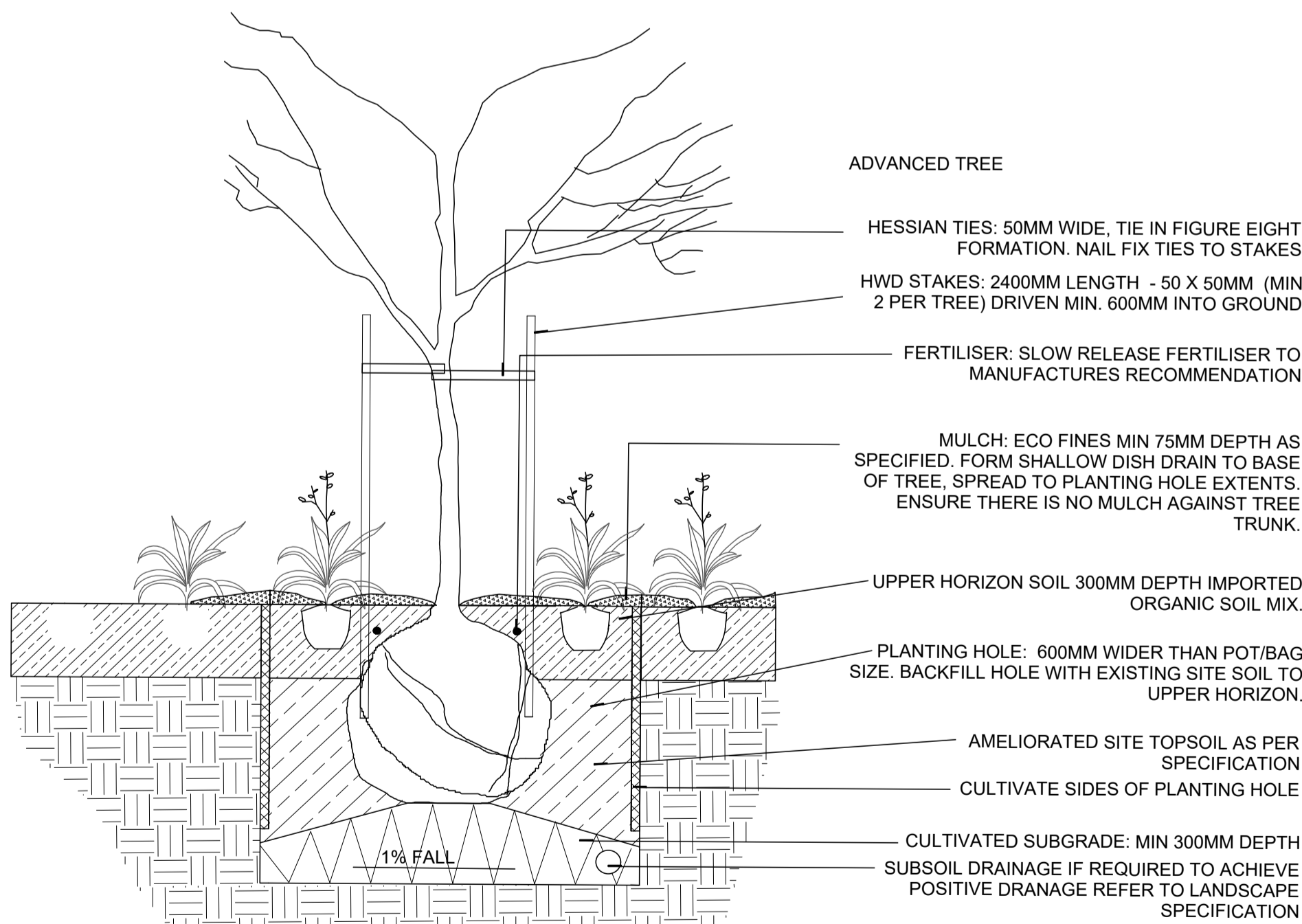
All Drawings To Be Read In Conjunction With Structural, Mechanical, Hydraulic and Electrical Engineers' Detail Drawings And Specifications.

***** ALL WORKS WITHIN THE PUBLIC DOMAIN IN ACCORDANCE WITH BAYSIDE COUNCIL SPECIFICATION AND DETAILS****

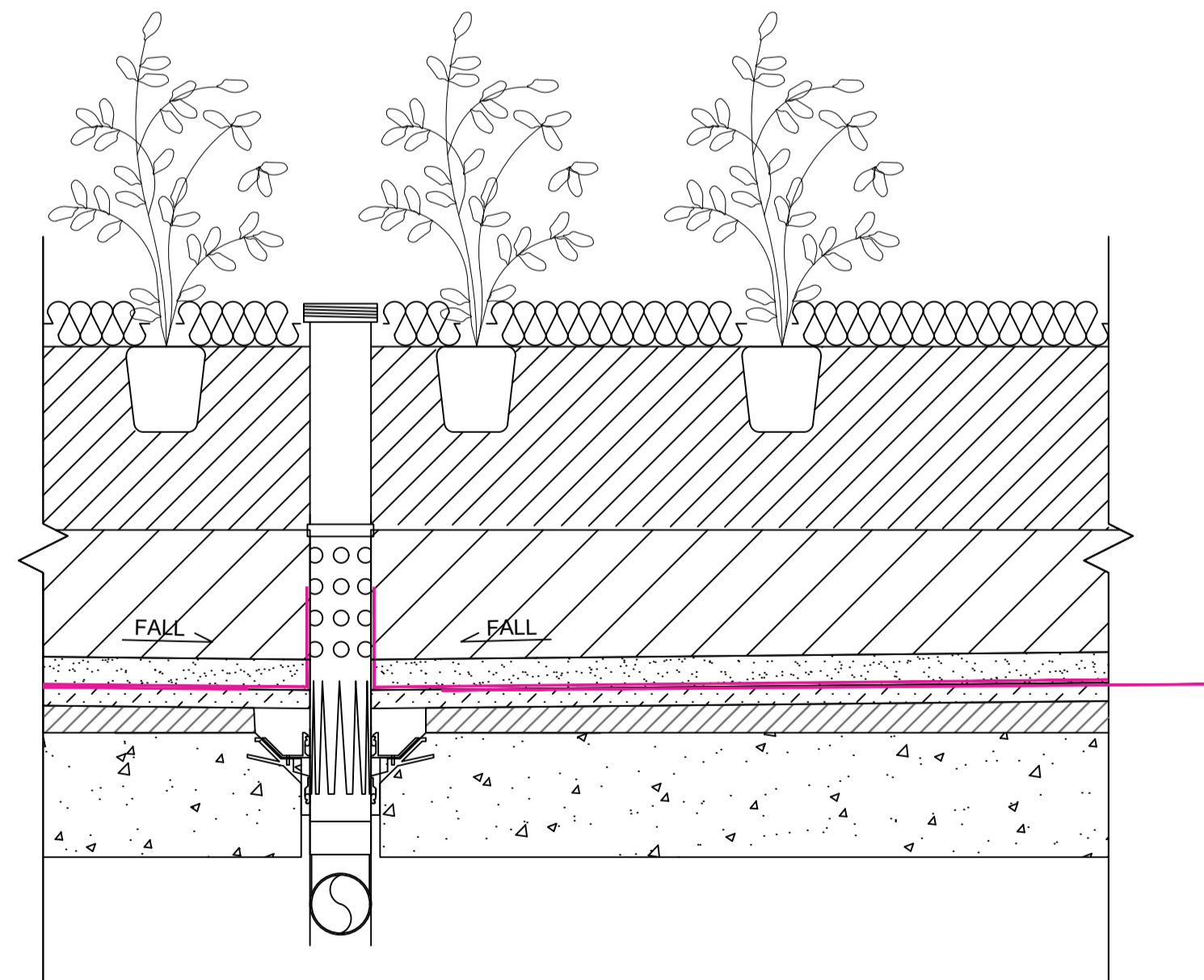
All Levels Indicated Taken To Australian Height Datum (AHD)

Refer to Detail Drawings For Typical Details.

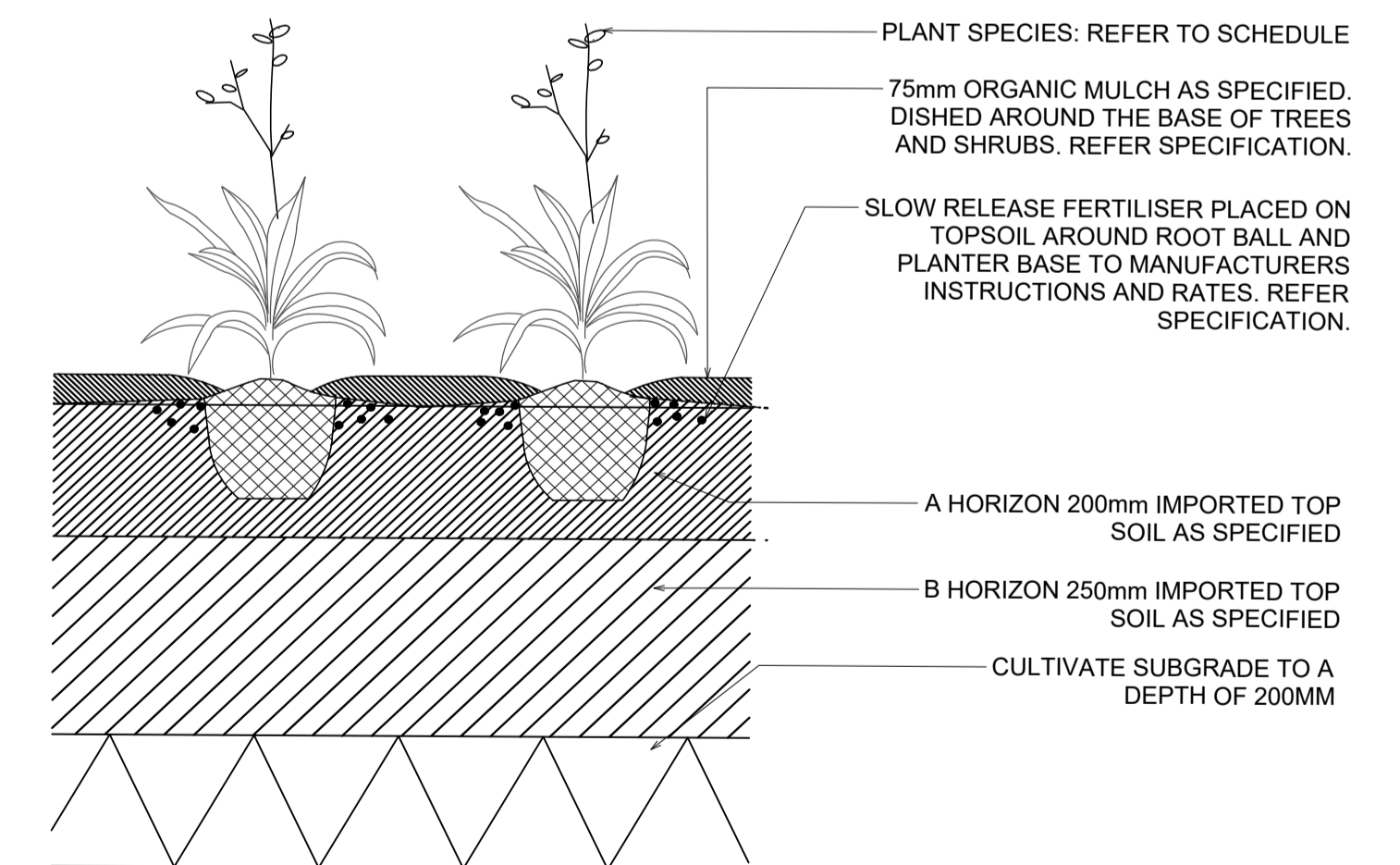
Generally All Materials & Construction to Comply To AS 3700



1 TYPICAL TREE DETAIL IN DEEP SOIL
1:10



2 TYPICAL DETAIL: PLANTING ON PODIUM
1:10



3 TYPICAL DETAIL: PLANTER ON GRADE
1:10

No	Revision	Note: * indicates signatures on original issue of drawing or last revision of drawing	Drawn	Job Manager	Project Director	Date
2		STATE SIGNIFICANT DEVELOPMENT APPLICATION RTS	RH	RI	RI	03.03.26
1		STATE SIGNIFICANT DEVELOPMENT APPLICATION	RH	CR	CR	29.10.25

CLIENT



ARCHITECT LANDSCAPE



DO NOT SCALE

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Drawn	RI	Designer	CR/ RI
Drafting Check	CR	Design Check	CR
Approved (Project Director)	CR	Date	14.05.25
Scale	AS SHOWN		

Client	HOMES NSW		
Project	68-80 BEAUCHAMP RD, HILLSDALE		
Title	TYPICAL DETAILS & OUTLINE MAINTENANCE SPECIFICATION		
Original Size	A1	Drawing No:	LD-DA900
Rev:	2		