



20 May 2019

Mr Jack Murphy
Planning Services, Resource Assessments
Department of Planning and Environment
GPO Box 39
SYDNEY NSW 2000

Sent via email: jack.murphy@planning.nsw.gov.au

Dear Mr Murphy

Dunmore Lakes Sand Extraction Project – Modification 2 (DA 195-8-2004 MOD2)

I refer to your letter of 16 April 2019 regarding the Modification Request received by the Department of Planning and Environment for the Dunmore Lakes Sand Extraction Project.

Roads and Maritime Services (RMS) is the owner of Lot 1 DP 1116072, known as 79 Fig Hill Lane Dunmore, which adjoins the Dunmore Sand & Soil proposed Stage 5B extraction area (**Attachment 1**).

This lot sits outside of the Princes Highway corridor and it is residual land in RMS Property's portfolio. RMS Property intends to sell the land on the open market as a rural-residential lifestyle property with potential for biobanking. To realise its highest and best residential use, RMS obtained development consent for a new dwelling on the land which was approved by Shellharbour City Council on 3 July 2018, with the concurrence of the Department of Planning and Environment. A copy of the development consent and stamped plans is attached to this submission (**Attachment 2**).

The modification application does not acknowledge this valid development consent for a dwelling on the adjoining RMS land. Therefore, nor does it consider or attempt to mitigate the proposal's likely significant environmental, amenity and economic impacts on residential occupants and the land's biodiversity qualities. Until the proposal's potential impacts on 79 Fig Hill Lane Dunmore are identified, assessed and mitigated RMS Property objects to approval of the modification application.

Please note that this submission is from RMS Property as adjoining landowner, and it does not consider or address any matters related to RMS' road authority role.

Should you wish to discuss the above, please contact the undersigned on (02) 8843 3153.

Yours sincerely

Laura Lubrano
Planning Officer, Property, Strategy and Planning



LOT5
DP431181

LOT 502
DP1174897

LOT 25
DP285417

LOT 24
DP28547

LOT 34
DP285417

LOT 22
DP285417

LOT 501
DP1174897

LOT 1
DP219199

LOT 14
DP225638
RIVERSIDE
DR

FULLER DR

LOT 2
DP285417

LOT 3
DP285417

LOT 1
DP132404

SWAMP RD

LOT1
DP133603

LOT 12
DP1017763

LOT 14
DP285417

LOT 13
DP285417

LOT 11
DP28543

LOT 9
DP285417



LOT 26
DP285417

LOT 25
DP285417

LOT 21
DP28541

LOT 20
DP285417

DT19
285417

LOT 18
DP285417

LOT 33
DP285417

T32
5417

PRINCES HWY

FIG HILL LANE

Stage 5B

LOT 51
DP1012246

LOT 3
DP717776

LOT 1
DP832012

KIAMA DOWNS

KIAMA DOWNS

1:5,000

@ A3

240 360 480

Metres

DP1010931

LOT 10
DP1039505

NOTE: All dimensions, areas and locations shown on this plan are indicative only and are subject to survey

10 SEP 2018

Roads & Maritime Services
Locked Bag 928
NORTH SYDNEY NSW 2059

Administration Centre
Shellharbour Civic Centre
76 Cygnet Avenue
(Cnr Cygnet & College Avenue)
Shellharbour City Centre NSW 2529

Postal Address
Locked Bag 155
Shellharbour City Centre NSW 2529
DX 26402 Shellharbour City Centre

p. 02 4221 6111
f. 02 4221 6016
council@shellharbour.nsw.gov.au
www.shellharbour.nsw.gov.au

NOTICE OF DETERMINATION OF DEVELOPMENT APPLICATION

Issued under the Environmental Planning and Assessment Act 1979 Section 81(1)(a)

Being the applicant of Development Application No. 0346/2017 for consent to the following development:

SINGLE STOREY DWELLING WITH GARAGE

LOT: 1 DP: 1116072

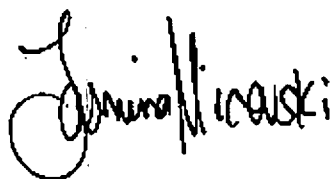
79 FIG HILL LANE, DUNMORE

Determination date of consent: 3 July 2018

Note: This Approval will lapse 5 years from the date of consent.

In accordance with section 80 of the act the development application has been determined by the GRANTING OF CONSENT AT AN ORDINARY MEETING OF COUNCIL HELD ON TUESDAY 3 JULY 2018, ITEM NO. 11.3.2, MINUTE NO. 137 subject to the conditions described below.

This development consent has been divided into different parts according to where, during the development process, each condition may be most relevant. Some conditions may be appropriate to more than one part. All conditions must be complied with.



Jasmina Micevski
Manager - Planning

On behalf of Carey McIntyre, General Manager

PART A – ADMINISTRATIVE CONDITIONS

1. Construction Certificate & PCA Notification Environmental Planning & Assessment Act 1979 Section 81A

Before any site works, building or use is commenced, the person having the benefit of the development consent must:

- a. obtain a Construction Certificate from Shellharbour City Council or other accredited certifier, and
- b. appoint a Principal Certifying Authority.

2. Prescribed Conditions

This development consent is subject to the prescribed conditions made under the *Environmental Planning & Assessment Regulation 2000*.

3. Development in Accordance with Plans and Documents

The development must be in accordance with the following approved Development Application plans and documents as endorsed by Council's Stamp except as modified by conditions of this consent:

Plan/Document	Prepared By	Drawing/Document No./Revision	Date
SITE PLAN	BHI Architects	Project 8556 A.1001	30/06/2017
FLOOR PLAN	BHI Architects	Project 8556 A.2000	30/06/2017
ELEVATIONS	BHI Architects	Project 8556 A.3000	30/06/2017
SECTIONS	BHI Architects	Project 8556 A.3100	30/06/2017
EXTERIOR FINISHES	BHI Architects	Project 8556 A.4000	30/06/2017
EXTERIOR FINISHES	BHI Architects	Project 8556 A.4001	30/06/2017
BASIX Certificate	BHI Architects	No. 813377S	29/06/2017
Landscape Plan	Ochre Landscape Architects	1724-LD01	13/06/2017
Landscape Details	Ochre Landscape Architects	1724-LD02	13/06/2017
BUSHFIRE HAZARD ASSESSMENT	Harris Environmental Consulting	1959bf	June 2017
Flora & Fauna Impact Assessment	Niche Consulting	79 Fig Hill Lane, Dunmore	21/03/2017
Traffic Noise Intrusion Assessment	Harwood Acoustics	1605004T-R	27/07/2017
Waste Management Study	Cowman Stoddart Pty Ltd	79 Fig Hill Lane, Dunmore	June 2017
Statement of Environmental Effects	Cowman Stoddart Pty Ltd	16/14	26/07/2017

- * The approved BASIX Certificate may only be updated, without the need to lodge a modification to the development consent, where any change to the BASIX Commitments does not result in the proposal being inconsistent with this development consent and/or alter the approved development application plans.

4. Building Code of Australia

All building work must be carried out in accordance with the requirements of the *Building Code of Australia*.

Note: This condition is prescribed under the *Environmental Planning and Assessment Regulation 2000*.

PART B - PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

5. Application Required For Effluent Disposal System

Approval for an on-site effluent disposal system is required under Section 68 of the *Local Government Act 1993*. An application to install an on-site effluent management system must be lodged with Council prior to the issue of a Construction Certificate for the dwelling.

6. Infrastructure SEPP 2007 (Clause 102) - Road Noise

To minimise the noise impacts generated by the traffic along the adjoining Princes Highway, construction of the dwelling must incorporate the recommendations contained under 5. NOISE MODELLING AND RECOMMENDED ACOUSTICAL TREATMENT (page 9) of the Traffic Noise Intrusion Assessment prepared by Harwood Acoustics and dated 27/07/2017.

In this regard however, the dwellings must be designed and constructed to ensure that the following LAeq levels are not exceeded:

- a. in any bedroom in the building - 35 dB(A) at any time between 10.00pm and 7.00am, and
- b. anywhere else in the building (other than a garage, kitchen, bathroom or hallway) - 40 dB(A) at any time.

The above design and construction requirements must be detailed on the Construction Certificate drawings and/or specifications accompanying the construction drawings and approved by the Certifying Authority prior to the release of the Construction Certificate.

7. Design and Construction

To ensure that buildings are designed and constructed to withstand the potential impacts of bush fire attack, new construction shall comply with Section 3 and Section 7 (BAL 29) Australian Standard AS3959-2009 *Construction of buildings in bush fire-prone areas* or NASH Standard (1.7.14 updated) *National Standard Steel Framed Construction in Bushfire Areas – 2014* as appropriate and with Section A3.7 Addendum Appendix 3 of *Planning for Bush Fire Protection 2006*.

The above design and construction requirements must be detailed on the Construction Certificate drawings and/or specifications accompanying the construction drawings and approved by the Certifying Authority prior to the release of the Construction Certificate.

8. Acid Sulfate Soils

The subject site is mapped under the Office of Environment and Heritage's predictive classification scheme as an area on the fringe of Class 4 acid sulfate soils. Class 4 acid sulfate soils are likely to be encountered 2 metres below natural ground surface.

A Desktop Acid Sulfate Soils study must be undertaken following the Acid Sulfate Soils Assessment Guidelines prepared by the NSW Acid Sulfate Soils Management Advisory Committee 1988 (pg 9 of this document) to determine the likelihood of the presence of Acid Sulfate Soils. This Desktop Study must be provided to Council and the Principal Certifying Authority and be to Council satisfaction prior to issue of the Construction Certificate.

If the desktop study reveals the likelihood of Acid Sulfate Soils being exposed to the atmosphere, then further investigations will be required to determine if there is a need for an Acid Sulfate Soil Management Plan.

PART C - PRIOR TO COMMENCEMENT OF WORKS

9. Erosion & Runoff Controls

Before work starts, erosion and runoff controls must be installed to prevent soil erosion, water pollution or the discharge of loose sediment on surrounding land, stormwater systems or watercourses.

These controls must be in accordance with the Sediment Control Plan and may include the following (where applicable):

- a. erect a silt fence
- b. limit the removal or disturbance of vegetation and topsoil
- c. divert uncontaminated run-off around cleared or disturbed areas
- d. install sediment traps/socks around any stormwater inlets and drainage lines
- e. stockpile topsoil, excavated material, construction and landscaping materials and debris within the site. These should be covered or seeded to prevent loss of these materials
- f. provide a single vehicle access to the site including measures to prevent the tracking of sediment off the site
- g. provide adequate control measures to suppress dust.

These measures must be in place prior to commencement of any excavation or construction works.

10. Structural Details

The following structural details must be provided to the Certifying Authority prior to commencing work:

- a. structural engineer's design for all reinforced concrete footings and slabs,
- b. structural engineer's design for all structural steel beams, framing and connections,
- c. roof truss and bracing details, and
- d. manufacturer's specifications for any patented construction systems.

11. Retaining Walls

Retaining walls that exceed 600mm in height must be designed by a practising structural engineer and a Construction Certificate must be obtained prior to the commencement of work on the retaining wall.

12. Builders' Toilet

Before commencing building operations, a builder's water closet accommodation must be provided in reasonable proximity to the development site to Council's satisfaction.

In this regard, a chemical toilet may be used on the site. Under no circumstances will pit toilets or similar be accepted by Council.

PART D - DURING CONSTRUCTION WORKS

13. Hours of Work During Building Work

Noise generating activities, including demolition, excavation, construction and delivery of equipment and materials, must only be carried out between:

- 7am to 5pm Mondays to Fridays
- 8am to 1pm Saturdays

unless otherwise agreed to by Council in writing. Work must not be carried out on Sundays or public holidays

14. Fish Habitat Protection and Maintenance of Soil and Water Management Plan

Suitable sediment and erosion controls must be implemented and appropriately maintained and monitored for the duration of the development project. The soil and water management controls must be maintained at all times during each stage of the development and checked for adequacy daily. In this regard, maintenance must include, but not be limited to ensuring:

- a. all sediment fences, sediment traps and socks are properly placed and are working effectively, and
- b. the controls are not removed until the development is completed and the disturbed areas have been stabilised.

Note: It is an offence under the *Protection of the Environment Operations Act 1997* to allow soil or other pollutants to fall or be washed into any waters or be placed where it is likely to fall or be washed into any waters. Substantial penalties may be issued for any offence.

15. Waste Management

The management of waste must comply with the approved Waste Management Plan. Any variations to the Waste Management Plan must have prior written approval of Council.

All waste must be contained within the development site during construction and then be recycled in accordance with the approved Waste Management Plan or removed to an authorised waste disposal facility. No waste shall be placed in any location or in any manner that would allow it to fall, descend, blow, wash, percolate or otherwise escape from the site.

16. Storage of Materials

Building materials and equipment must not be stored on any public road reserve area or within the right-of-carriageway servicing the subject property.

17. Acid Sulfate Soils

Should an Acid Sulfate Soil Management Plan be required, then all works must be implemented in accordance with the recommendations of that Plan.

18. Cut/Fill

The cut and fill areas must:

- a. be suitably retained,
- b. be in accordance with the approved plans,
- c. have a maximum grade of 45° (1:1) where there is no retaining wall or no other method of stabilising the cut/fill area, and
- d. not exceed 1m in depth outside the external walls of a building, unless otherwise approved in writing by Council.

19. Retaining Walls

Any retaining walls must:

- a. have a maximum height of 1 metre, except where designed by a practicing structural engineer, and
- b. be located wholly within the property, including footings and agricultural drainage lines.

20. Building Height

The building must not exceed the height shown on the approved plans.

21. Approved External Materials & Colours

The external treatment/appearance of the development must be in accordance with the approved plans and the approved exterior finished schedules.

22. Fauna and Flora

To minimise the impacts of the development on the local fauna and flora species and their habitats, all the recommendations outlined within the Flora & Fauna Impact Assessment prepared by Niche Consulting and dated the 21 March 2017 must be followed during construction. In this regard:

- a. to ensure sediment runoff does not impact downslope bushland areas; sediment and erosion controls must be installed and maintained during construction and must be maintained until the site has stabilised;
- b. all works and the movement of machinery must be confined to existing cleared areas;
- c. to prevent accidental incursions by machinery, contractors or grazing animals, a suitable fence must be erected and maintained along the boundary of the native vegetation downslope of the development footprint;
- d. relevant signs must be erected along the fence line to inform contractors of sensitive habitats that are to be protected within the bushland areas;
- e. contractors working on site must be informed of the important habitats downslope of the development footprint during daily tool box talks;
- f. to prevent the spread of weed seed, pests or pathogens, all machinery and equipment must be washed down prior to use on site;
- g. to avoid the reintroduction and further spread of weeds in the area, all weed material removed must be disposed of in a suitable waste facility and not mulched on site;
- h. earthworks must be undertaken immediately prior to construction, to prevent areas being left exposed for long periods of time, which would increase the potential threat of sedimentation to the bushland areas downslope;

- i. waste material must not be left on site once the works have been completed; and
- j. an emergency spill kit must be kept on site at all times. All construction workers be should be made aware of the location of the spill kit and trained in its use.

23. Aboriginal Archaeology

If, during the course of excavation or construction, any Aboriginal site, object or item is discovered, all excavation or construction works at the site must cease immediately and a qualified and practicing archaeologist must be consulted.

A preliminary archaeological survey of the site must be undertaken by the qualified archaeologist, in consultation with the Local Aboriginal Land Council. The results of the archaeological survey must be submitted to the Department of Environment and Conservation.

Work at the development must not resume until written permission to do so is obtained from the Local Aboriginal Land Council and the Department of Environment and Conservation.

24. Bushfire

The design features outlined within the Bushfire Protection Assessment prepared by Harris Environmental Consulting in June 2017 (Section 4 and 5 starting from page 14) must be adhered to for the dwelling.

25. Noise

The design features outlined within the Harwood Acoustics assessment report in July 2017 must be adhered to for the dwelling.

PART E - PRIOR TO OCCUPATION

26. Occupation Certificate

All conditions in Parts A, B, C, D & E of this consent are preconditions for the purpose of section 109H of the *Environmental Planning & Assessment Act 1979*.

Compliance with all preconditions must be verified by the Principal Certifying Authority prior to issue of a final Occupation Certificate. The building must not be used until the Principal Certifying Authority issues an Occupation Certificate.

27. Sydney Water Section 73 Compliance Certificate

A Section 73 Compliance Certificate under the *Sydney Water Act 1994* must be obtained from Sydney Water Corporation.

Application must be made through an authorised Water Servicing Coordinator. Please refer www.sydneywater.com.au > *Building and Developing* > *Developing your Land* > *Water Servicing Coordinator* or telephone 13 2092 for assistance. Please make early application for the Certificate as there may be water and sewer pipes to be built and this can take some time. This can also impact on other services and building, driveway or landscape design.

The Section 73 Certificate must be submitted to the Principal Certifying Authority prior to the issue of an Occupation Certificate.

28. BASIX

All commitments listed in the BASIX Certificate/s for the development must be carried out prior to the issue of an Occupation Certificate.

29. Verification of Waste Management

Documentation verifying that all waste streams were managed in accordance with the Waste Management Plan must be provided to the Principal Certifying Authority prior to the issue of an Occupation Certificate. All records, such as waste disposal dockets or photographic evidence, must be retained by the Principal Certifying Authority.

30. Approval to Operate Effluent Disposal System

An approval to operate the on-site effluent management system must be obtained from Council prior to the issue of the Occupation Certificate

31. Completion Of Landscape Works

Landscaping of the development must be completed in accordance with the approved Landscape Plan prior to the issue of an Occupation Certificate. Any variations to the design or species used must be authorised by Council in writing before any changes are made.

A report from a suitably qualified person must be provided to the Principal Certifying Authority on completion of the landscape works certifying that the landscape is in accordance with the approved landscape plan.

32. Domestic Waste Disposal

Prior to the issue of an Occupation Certificate, evidence must be submitted to the Principal Certifying Authority demonstrating that suitable arrangements have been made to ensure the on-going management of domestic waste. Such arrangement(s) must be to the satisfaction of the Shellharbour City Council.

PART F - PRIOR TO ISSUE OF SUBDIVISION CERTIFICATE

Not Applicable - Subdivision does not form part of this consent.

PART G - AFTER ISSUE OF OCCUPATION CERTIFICATE/DURING OCCUPATION

33. BASIX Commitments

All commitments listed in the BASIX Certificate/s for the development must be maintained for the life of the development.

34. Asset Protection Zones

To provide sufficient space and maintain reduced fuel loads so as to ensure radiant heat levels of buildings are below critical limits and to prevent direct flame contact with a building, at the commencement of building works and in perpetuity, the site shall be managed as an inner protection area (IPA) up to a distance of 9m on the northern & eastern aspect, and 10m on the western and southern aspect, as outlined within Section 4.1.3 and Appendix 5 of "*Planning for Bush Fire Protection 2006*" and the NSW Rural Fire Service's document "*Standards for asset protection zones*".

35. Water and Utilities

To provide adequate services of water for the protection of buildings during and after the passage of a bush fire, and to locate gas and electricity so as not to contribute to the risk of fire to a building, water, electricity and gas are to comply with Section 4.1.3 of *"Planning for Bush Fire Protection 2006"*. In this regard:

- a. Fire hydrant spacing, sizing and pressures shall comply with Australian Standard AS 2419.1-2005 *"Fire Hydrant Installations"*;
- b. A 65mm metal Storz outlet with a gate or ball valve shall be provided;
- c. In recognition that no reticulated water supply exists, a minimum 20,000 litre water supply must be provided for fire-fighting purposes;
- d. A minimum 5hp or 3kW petrol or diesel powered pump shall be made available to the water supply. A 19mm (internal diameter) fire hose and reel shall be connected to the pump;
- e. An 'SWS' marker shall be obtained from the local NSW Rural Fire Service and positioned for ease of identification by brigade personnel and other users of the SWS. In this regard:
 - i. Markers must be fixed in a suitable location so as to be highly visible; and
 - ii. Markers should be positioned adjacent to the most appropriate access for the static water supply; and
- f. Reticulated or bottled gas is to be installed and maintained in accordance with Australian Standard AS/NZS 1596:2014: 'The storage and handling of LP gas' and the requirements of relevant authorities. Metal piping is to be used.

36. Property Access

To provide safe access to and from the public road system for fire fighters providing property protection during a bush fire, and for occupants faced with evacuation, property access roads shall comply with Section 4.1.3 (2) of *"Planning for Bush Fire Protection 2006"*.

37. Internal Roads

To provide safe operational access for emergency services personnel in suppressing a bush fire, while residents are accessing or egressing an area and to aid in fire-fighting activities, unobstructed pedestrian access to the rear of the property shall be provided and is to be maintained at all times.

38. Landscaping

Landscaping to the site is to be maintained to comply with the principles of Appendix 5 of *"Planning for Bush Fire Protection 2006"* for the life of the development.

39. Grazing within Native Vegetation

No domestic grazing animals are permitted to enter or graze within areas of indigenous tree vegetation on the subject property for the life of the development.

40. Habitat Modification, Removal and Management

There shall be no removal or disturbance of indigenous tree vegetation on the subject property, including canopy trees, understorey, groundcover vegetation or hollow-bearing trees without the prior written consent of the Shellharbour City Council.

In this regard also, there shall be no removal of hollow-bearing trees on the property without the prior written approval of the Shellharbour City Council.

41. Site Facilities - Australia Post

Location points for mail delivery must satisfy the requirements of Australia Post.

PART H – OTHER APPROVALS

Not Required

REASONS FOR THE IMPOSITION OF CONDITIONS

1. To minimise any possible adverse environmental impacts of the proposed development.
2. To ensure that the amenity and character of the surrounding area is protected.
3. To ensure that the design and siting of the development complies with the provisions of Environmental Planning Instruments and Council's Codes and Policies.
4. To ensure that the development does not conflict with the public interest.

Advisory Notes – General

Critical Stage Mandatory Inspections

Mandatory inspections of the building work must be carried out by the Principal Certifying Authority at various stages of construction in accordance with clause 162A of the *Environmental Planning & Assessment Regulation 2000*.

It is recommended that you discuss with your Principal Certifying Authority the occasions when the building work is to be inspected prior to work commencing.

Erection of Signs

The principal contractor and the Principal Certifying Authority will need to have a sign (or signs) erected and maintained on the development site that provides their name and contact telephone number (during and outside work hours for the principal contractor), and stating that unauthorised entry to the site is prohibited. The principal contractor and Principal Certifying Authority can have separate signs or they can both use one sign if they choose.

A maximum penalty of 10 penalty units applies for failure to erect and maintain sign(s) detailing principal contractor and Principal Certifying Authority identification.

Compliance with *Building Code of Australia*

The development must comply with the *Building Code of Australia* and all related standards and legislation.

WorkCover Authority

The requirements of WorkCover Authority must be satisfied at all times.

Obstacle Height Limitation - Airport

There are height limitations relating to the operation of the airport for developments/activities/construction that may involve cranes, plant or machinery in the Shellharbour Local Government Area. Further details can be obtained from Council concerning the obstacle height limitations.

Failure to Comply with Consent

Failure to comply with any of the conditions of consent may result in a Penalty Infringement Notice being issued against the owner/applicant/builder. Substantially greater penalties may be imposed by the Court for non-compliance.

Lapsing of Development Consent

In accordance with section 95 of the *Environmental Planning & Assessment Act 1979*, the development approval lapses five years after the approval date unless building, engineering or construction work relating to the building has physically commenced.

Right to Appeal

If you are dissatisfied with this decision, section 97 of the *Environmental Planning & Assessment Act 1979* gives you the right to appeal to the Land & Environment Court within six months after the date on which you receive this notice.

Review of Determination

If you are dissatisfied with this decision, section 82A of the *Environmental Planning & Assessment Act 1979* provides that you may request Council to review its determination. The request cannot be made after the time limit for making of an appeal under section 97 expires.

Section 82A of the *Environmental Planning & Assessment Act 1979* does not apply to:

- a. a determination to issue or refuse to issue a complying development certificate
- b. a determination in respect of designated development
- c. a determination in respect of integrated development
- d. a determination made by the Council under Division 4 in respect of an application made by the Crown.

To Vary Development Consent

The plans and/or conditions of this consent are binding and may only be varied upon application to Council under section 96 of the *Environmental Planning & Assessment Act 1979*. The appropriate fee shall accompany the application and no action shall be taken on the requested variation unless and until the written authorisation of Council is received by way of an amended consent.

BASIX

Please note that the requirement for lodging a modification of development consent under section 96 of the *Environmental Planning & Assessment Act 1979* may result in the requirement for a revised BASIX certificate to be submitted for assessment.

Prescribed Payment System Tax Obligations

You may have a taxation obligation under the Prescribed Payment System. For more information, contact the Australian Taxation Office on telephone 132866.

Development Application No. 0346/2017
Lot 1, DP 1116072, 79 Fig Hill Lane, Dunmore

Dial Before You Dig

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets, please contact Dial Before You Dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (this is the law in New South Wales). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial Before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial Before You Dig service in advance of any construction or planning activities.

Telecommunications Act 1997 (Commonwealth)

Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the *Criminal Code Act 1995* (Cth) and is liable for prosecution. Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra's assets in any way, you are required to contact Telstra's Network Integrity Team on 1800810443.

Development within Vicinity of a High Pressure Gas Main

Contact Dial Before You Dig on 1100 or www.dialbeforeyoudig.com.au. Proposed works in the vicinity of any high pressure gas main must be directed to:

Jemena Asset Management Pty Ltd
PO Box 6507
SILVERWATER NSW 2128

Attention: Land Services Department

END OF CONDITIONS

RMS RESIDENCE DUNMORE

FOR: NSW Gov.ROADS AND MARITIME SERVICES
AT: LOT 11 DP 1116072, 79 FIG HILL LANE, DUNMORE 2529



Layout No:	Layout Name
A.0001	COVER PAGE
A.1000	SITE ANALYSIS
A.1001	SITE PLAN
A.2000	FLOOR PLAN
A.3000	ELEVATIONS
A.3100	SECTIONS
A.4000	EXTERIOR FINISHES
A.4001	EXTERIOR FINISHES
A.5000	PERSPECTIVE
A.5001	PERSPECTIVE
A.6000	BASIX
A.6100	BASIX
A.6200	BASIX

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No	DATE	AMENDMENT
A	30/06/17	DA FOR SUBMISSION TO AUTHORITIES

No DATE AMENDMENT

PROJECT
RMS Residence
SITE:
**Lot 1 DP 1116072, 79 Fig Hill Lane
Dunmore NSW 2529**
CLIENT:
NSW Gov. RMS

BHI ARCHITECTS PTY LTD
SYDNEY
WOLLONGONG
KIAMA
4/125 Terralong Street,
Kiama, NSW, AUSTRALIA,
2533
T: +612 4232 2125



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SITE INFORMATION

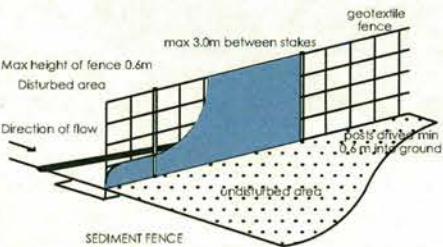
A. SITE: Lot 1 DP1116072, 79 FIG Hill Lane, Dunmore 2529
B. ZONING: RU2 Rural Landscape
C. SITE AREA: 285,168m²



LOCATION MAP A



LOCATION MAP B



SEDIMENT CONTROL - GENERAL NOTES

No stockpiling of materials is permitted on the verge between the kerb & property boundary. Stockpiles should be protected or removed from the site.

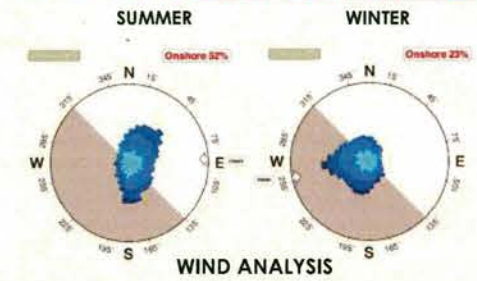
Roof drainage is to be connected to the stormwater system as soon as practical.

Depressions left in the footway by heavy trucks are to be filled as soon as practical.

Only one exit point should be used & should be constructed so as to prevent soil reaching the road & to stop bogging.

Drainage ditches above & below cut & filled areas are to be used to reduce erosion from the disturbed ground.

Soil carried onto the road is to be removed by sweeping.



VIEW A



VIEW B



VIEW C



VIEW D

NOTE:

1. THESE DRAWINGS AND WIND BACKING TO COMPLY WITH AS 154 AND TO HOW THESE DRAWINGS WERE APPROVED TO THE WIND TREATMENT CATEGORY.

2. PROVIDE CERTIFIED TREATMENT SYSTEM TO AS 154.

3. PROVIDE WINDING AND LOCKS TO THE TREATMENT CATEGORY.

4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.

5. DO NOT SCALE THE DRAWINGS. USE PROVIDED DIMENSIONS.

6. CHECK ALL DIMENSIONS ON SITE BEFORE FENCING AND ANY FENCE.

7. DRAWINGS TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

No	DATE	AMENDMENT
A	30/06/17	DA FOR SUBMISSION TO AUTHORITIES

No	DATE	AMENDMENT

PROJECT
RMS Residence

SITE:
**Lot 1 DP 1116072, 79 Fig Hill Lane
Dunmore NSW 2529**

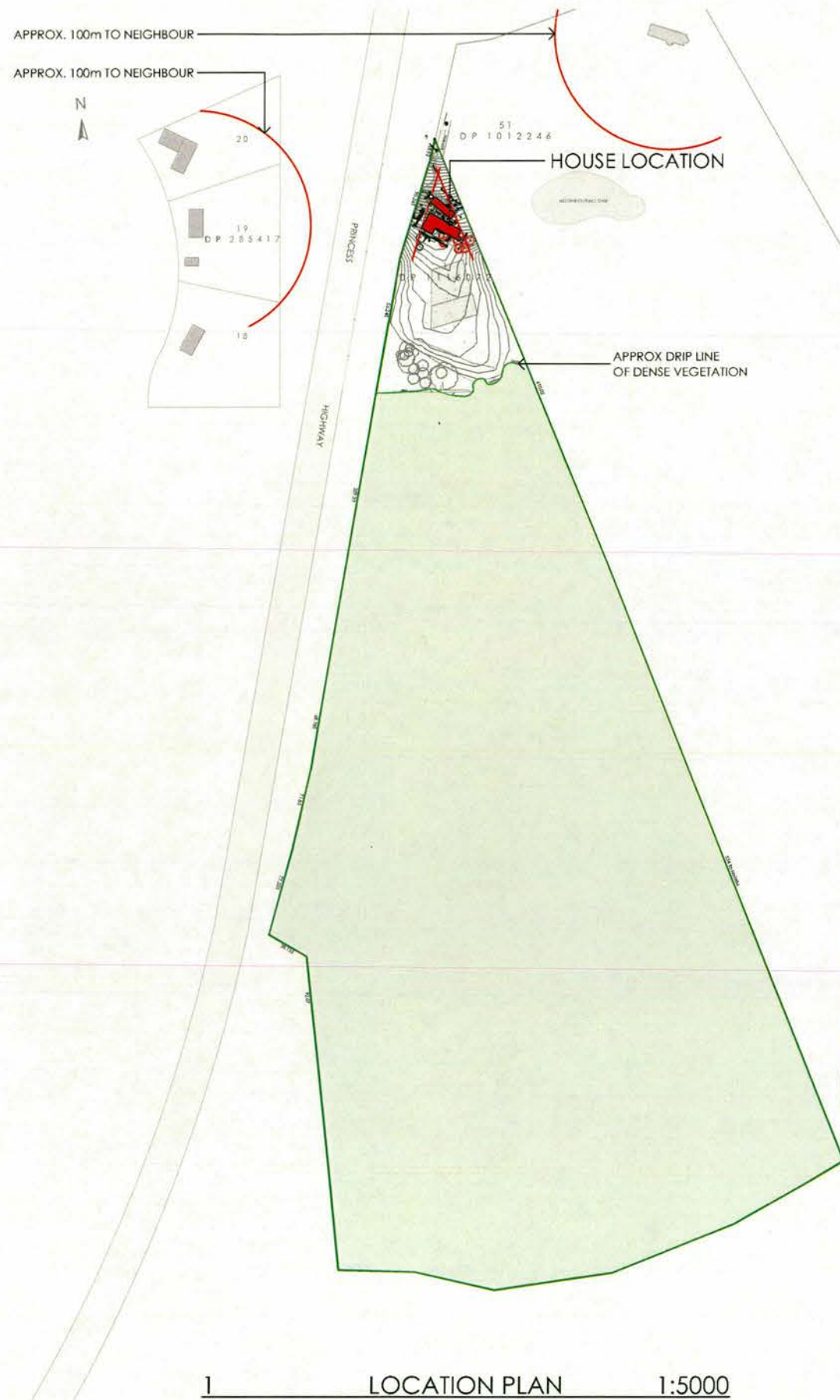
CLIENT:
NSW Gov. RMS



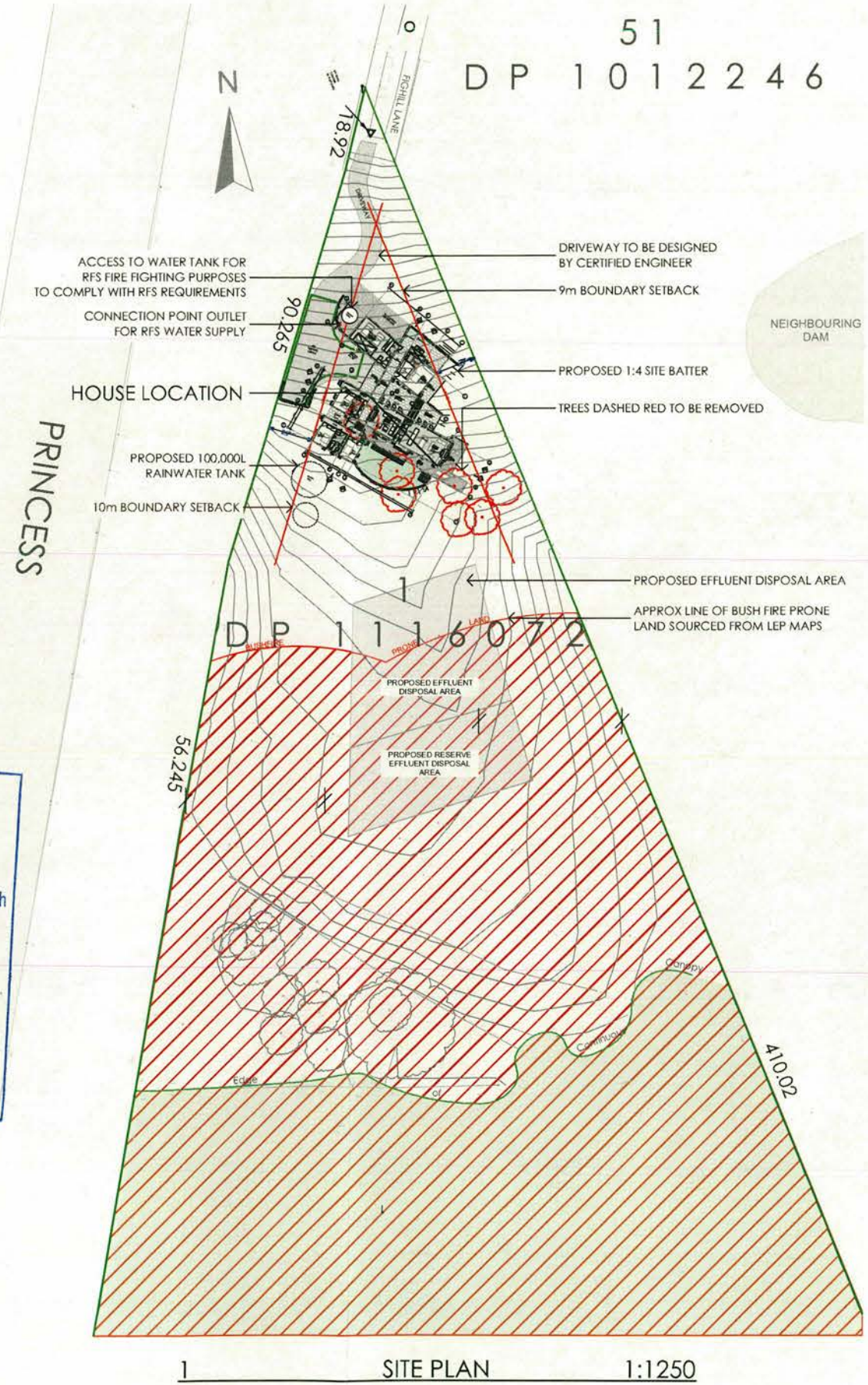
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2533
T: +612 4232 2125



DRAWING TITLE:		STATUS:	
SITE ANALYSIS		DA	
DRAWN	CHKD	DATE	SCALE
HH	MH	30/06/2017	A3
PROJECT NO.	DRAWING NO.	REVISION	
8556	A.1000	A	



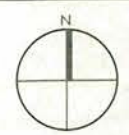
SHELLHARBOUR CITY COUNCIL
DEVELOPMENT CONSENT
DA No. **0346/2017** Dated **- 3 JUL 2018**
Approval has been granted to the application subject to conditions which are set out fully in the Development Consent accompanying this plan.
These plans may be modified by conditions of consent. Please refer to consent documents for details.
Work must not commence until a construction certificate has been issued and a Principal Certifying Authority appointed.
Carey McIntyre
General Manager



NOTE:
1. THESE PLANS AND ANY TRACING TO COMPLY WITH ALL STANDARDS AND TO NEW TIER FRAMING
2. PROVIDE CERTIFIED TRIMMER BARBER SYSTEM TO ALL JMS
3. SELECTED WINDOWS AND DOORS TO BE DESIGNATED AND TYPED CATEGORY
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE
5. DO NOT SCALE THE DRAWING, USE ROUTED DIMENSIONS
6. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATING ANY ITEM
7. DRAWINGS TO BE CHECKED AND COUNTERED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO
CONSTRUCTION
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT

No	DATE	AMENDMENT	No	DATE	AMENDMENT
A	30/06/17	DA FOR SUBMISSION TO AUTHORITIES			

PROJECT
RMS Residence
SITE:
**Lot 1 DP 1116072.79 Fig Hill Lane
Dunmore NSW 2529**
CLIENT:
NSW Gov. RMS



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2533
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DRAWING TITLE:	STATUS:
SITE PLAN	DA
DRAWN: CHKD	DATE: 30/06/2017
HH: MH	SCALE: A3
PROJECT NO. 8556	DRAWING NO. A.1001
	REVISION: A



CONNECTION POINT OUTLET
TO RFS REQUIREMENTS
INSTALL 20,000L WATER TANK FOR
FIRE FIGHTING PURPOSES ONLY

FILL UNDER DRIVEWAY

ALL TREES DASHED RED TO
BE REMOVED

PROPOSED
100,000L WATER TANK

EFFLUENT TANK WITH ACCOUSTIC PUMP

1:4 SITE BATTER

SHELLHARBOUR CITY COUNCIL
DEVELOPMENT CONSENT
DA No. **0346 / 2017** Dated **- 3 JUL 2018**

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issued and a Principal Certifying Authority appointed.

Carey McIntyre
General Manager

1:4 SITE BATTER

ALL TREES DASHED RED TO
BE REMOVED

1:4 SITE BATTER

LEGEND

CT	Ceramic Tiles
PC	Polished Concrete
SP	Stone Paving Tiles
TD	Timber Deck
CPT	Carpet
CONC.	Concrete
CRS	Colorbond Roof Sheetting
CS	Colorbond Wall cladding
TC	Timber Wall Cladding
SS	Sandstone

NOTE:

1. THESE PLANS AND ANY BEACONS TO COMPLY WITH AS 1546 AND TO NEW TREES PLANNING
MANUAL, APPLICABLE TO THE SITE AND TO THE SITE'S PLANNING.
2. PROVIDE CERTIFIED TREES REMOVAL SYSTEM TO AS 2300.
3. SELECTED TREES AND LOCATIONS TO BE REMOVED AND REPLANTING.
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE
MINOR TO CORRECT PRIOR TO CONSTRUCTION.
5. DO NOT SCALE THE DRAWING, USE DIMENSIONS.
6. CHECK ALL DIMENSIONS ON THE RELEVANT PLANS AND ANY DISCREPANCIES TO BE
MINOR TO CORRECT PRIOR TO CONSTRUCTION.
7. DRAWINGS TO BE CHECKED AND CORRECTED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO
CONSTRUCTION.
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

No	DATE	AMENDMENT
A	30/06/17	DA FOR SUBMISSION TO AUTHORITIES

No	DATE	AMENDMENT
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PROJECT
RMS Residence

SITE:
**Lot 1 DP 1116072.79 Fig Hill Lane
Dunmore NSW 2529**

CLIENT:
NSW Gov. RMS

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SYDNEY

WOLLONGONG

KIAMA
4/125 Terralong Street,
Kiama, NSW, AUSTRALIA,
2533
T: +612 4232 2125



DRAWING TITLE:
FLOOR PLAN

DRAWN: CHKD

PROJECT NO.:
8556

DATE:
30/06/2017

DRAWING NO.:
A.2000

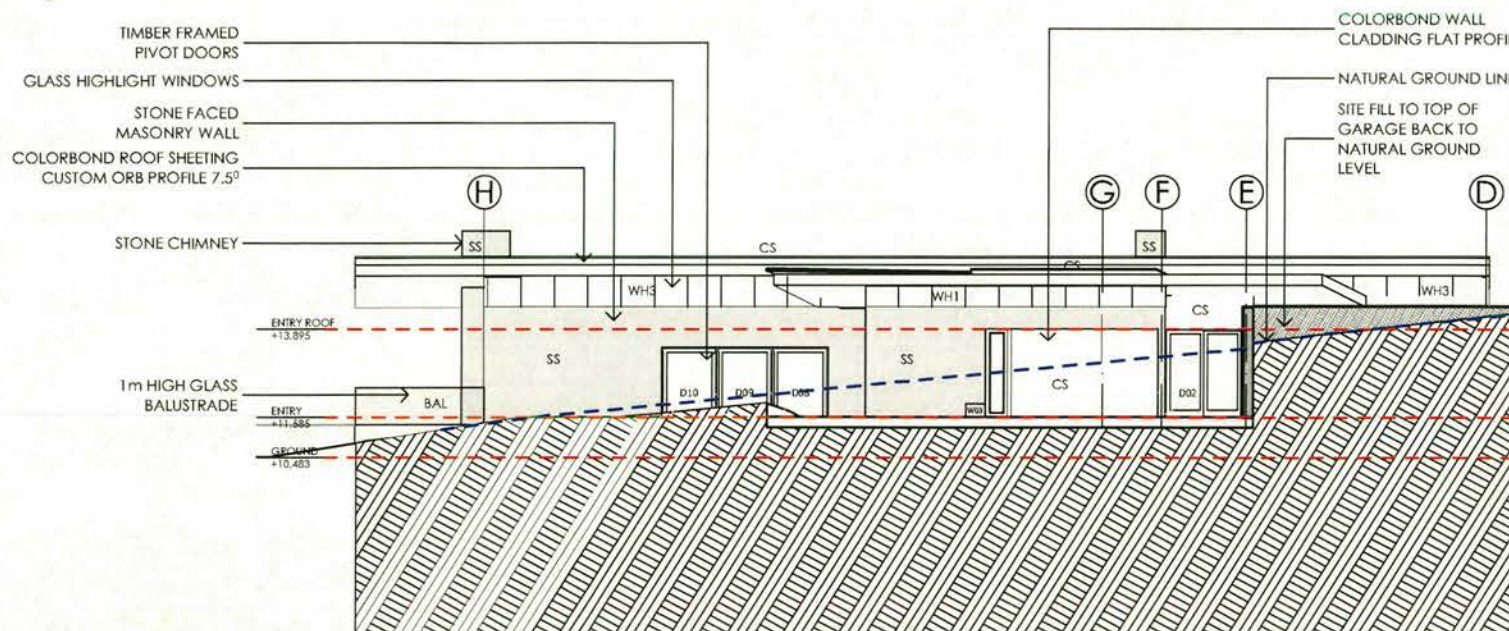
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DA

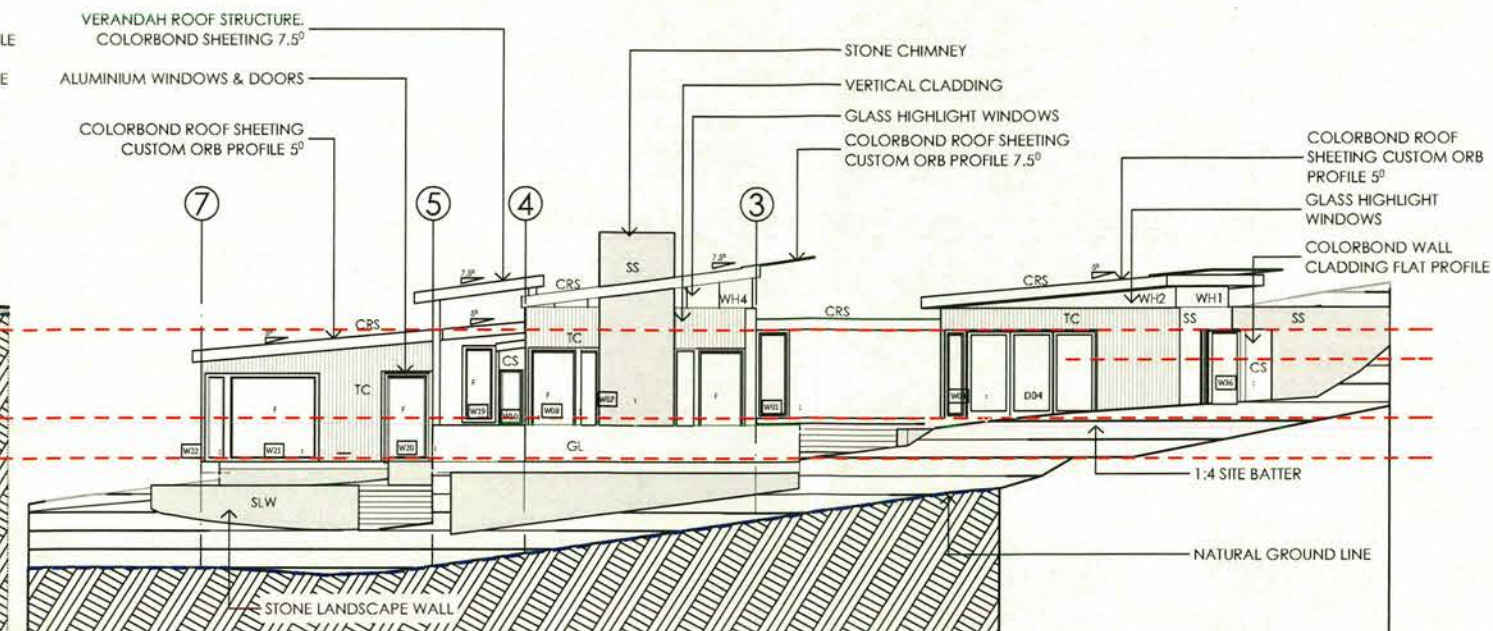
SCALE: A3

REVISION

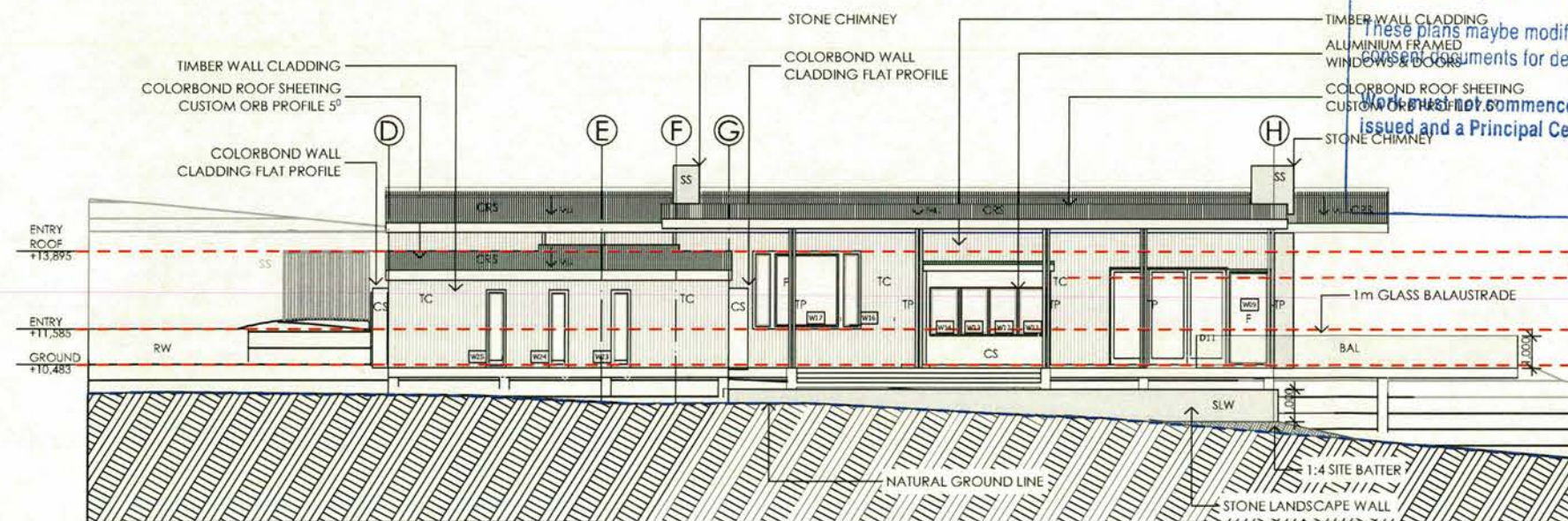
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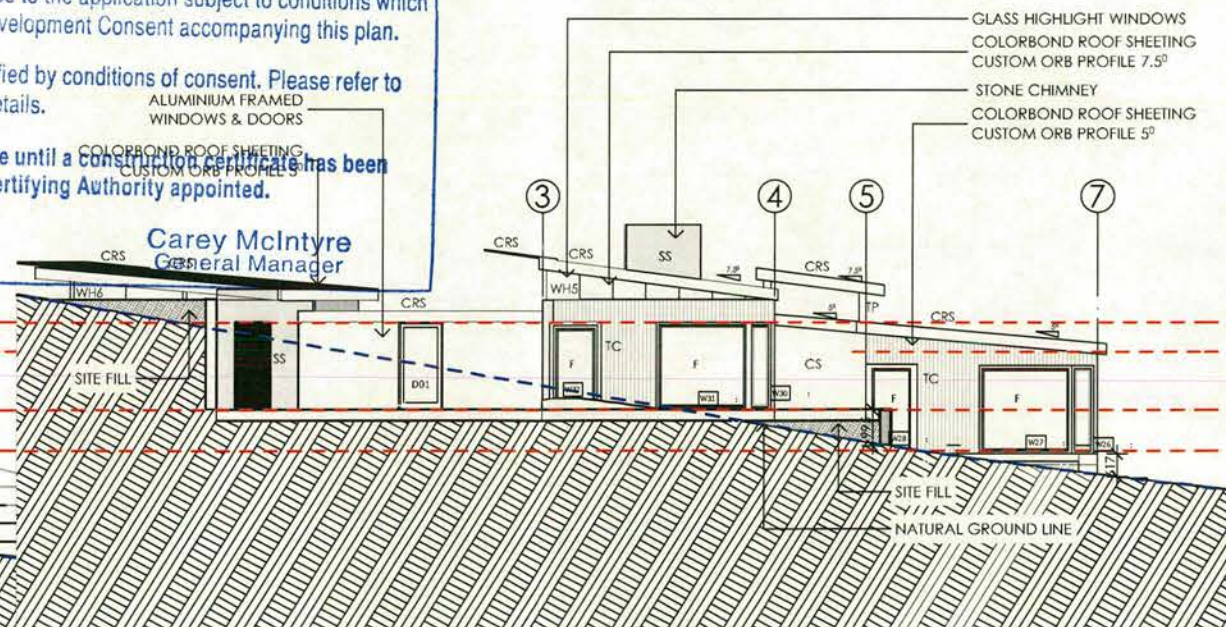
1 NORTH ELEVATION 1:200



1 EAST ELEVATION 1:200



1 SOUTH ELEVATION 1:200



1 WEST ELEVATION 1:200

**SHELLHARBOUR CITY COUNCIL
DEVELOPMENT CONSENT**
DA No. **0346 / 2017** Dated **- 3 JUL 2018**
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**Carey McIntyre
General Manager**

LEGEND	
CT	Ceramic Tiles
PC	Polished Concrete
SP	Stone Paving Tiles
TD	Timber Deck
CPT	Carpet
CONC.	Concrete
CRS	Colorbond Roof Sheet
CS	Colorbond Wall cladding
TC	Timber Wall Cladding
SS	Sandstone
SLW	Stone Landscape Wall
GL	Glass Balustrade
WH	Window Highlight

NOTE:

1. TIMBER FRAMING AND WINDOW FRAMING TO COMPLY WITH AS 1600 AND TO NEW TIMBER FRAMING MATERIALS SPECIFICATIONS TO 2017 VINTAGE TIMBER CATEGORY.
2. PROVIDE CERTIFIED TIMBER BARREL SYSTEM TO AS 3600.
3. SELECTED WINDOWS AND DOORS TO 2017 DISCREET AND TREASURY CATEGORIES.
4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT.
5. DO NOT SCALE THE DRAWINGS. USE PROVIDED DIMENSIONS.
6. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATING ANY ITEM.
7. DRAWINGS TO BE CHECKED AND CERTIFIED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

No	DATE	AMENDMENT
A	30/06/17	DA FOR SUBMISSION TO AUTHORITIES

AMENDMENT

No	DATE	AMENDMENT
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PROJECT
RMS Residence

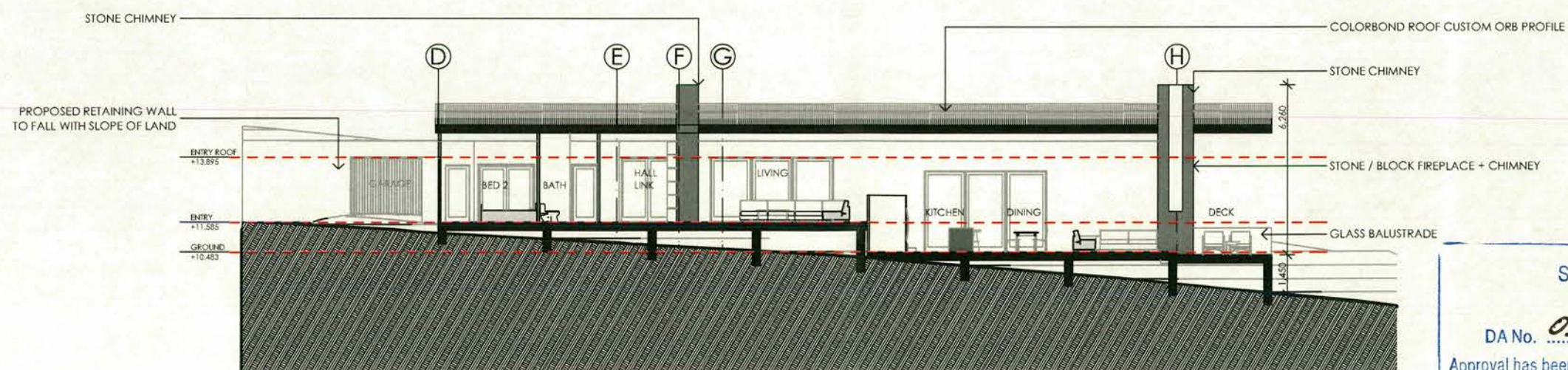
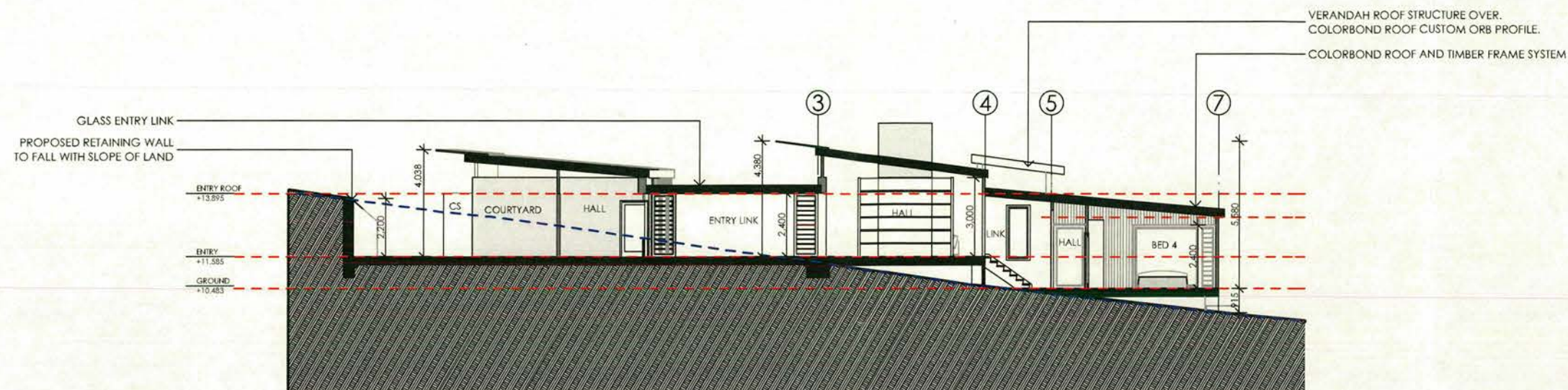
SITE:
**Lot 1 DP 1116072.79 Fig Hill Lane
Dunmore NSW 2529**

CLIENT:
NSW Gov. RMS

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WOLLONGONG
KIAMA
4/125 Terranong Street,
Kiama, NSW, AUSTRALIA,
2533
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DRAWING TITLE:		STATUS:	
ELEVATIONS		DA	
DRAWN	CHKD	DATE	SCALE
HH	MH	30/06/2017	1:200
PROJECT NO.	DRAWING NO.	REVISION	
8556	A.3000	A	



SHELLHARBOUR CITY COUNCIL
DEVELOPMENT CONSENT

DA No. **0346** / **2017** Dated **- 3 JUL 2018**

Approval has been granted to the application subject to conditions which are set out fully in the Development Consent accompanying this plan.

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Work must not commence until a construction certificate has been issued and a Principal Certifying Authority appointed.

Carey McIntyre
General Manager

NOTE:

1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS 1684 AND TO NEW TIMBER FRAMING MANUAL AMENDMENTS TO BEST PRACTICE CATEGORY.
2. PROVIDE CERTIFIED THERMAL BARRIER SYSTEM TO AS 3985.
3. SELECTED WINDOWS AND DOORS TO BEST PRACTICE CATEGORY.
4. ALL LIFE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REPEATED TO ARCHITECT PRIOR TO COMMENCEMENT.
5. DO NOT SCALE THE DRAWING FOR PRINTING PURPOSES.
6. CHECK ALL DIMENSIONS ON SITE BEFORE FURNISHING ANY ITEM.
7. DRAWINGS TO BE CHECKED AND CORRECTED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

No DATE AMENDMENT

A 30/04/17 DA FOR SUBMISSION TO AUTHORITIES

No DATE AMENDMENT

PROJECT
RMS Residence

SITE:

Lot 1 DP 1116072.79 Fig Hill Lane
Dunmore NSW 2529

CLIENT:
NSW Gov. RMS

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2533

T: +612 4232 2125



DRAWING TITLE:

SECTIONS

DRAWN: CHKD

HH MH

PROJECT NO.

8556

DRAWING NO.

A.3100

STATUS:

DA

SCALE: A3

1:100, 1:200

REVISION

A

EXTERIOR MATERIAL + COLOUR SCHEDULE - Page 1 of 2

	ITEM	MATERIAL / FINISH	LOCATION	SUPPLIER	COLOUR	IMAGE
CRS	ROOF SHEETING	COLORBOND CUSTOM ORB 'WOODLAND GREY'	MAIN ROOF	COLORBOND		
TC	TIMBER CLADDING	SPOTTED GUM 'NATURAL PATINA'	TO SELECT EXTERNAL WALLS	TBA		
CS	COLORBOND SHEETING	COLORBOND FLAT PROFILE 'WOODLAND GREY'	TO SELECT EXTERNAL WALLS & WINDOW BOX	TBA		
SS	STONE WALLS	STACKED SANDSTONE 'NATURAL'	SELECT EXTERNAL WALLS AND ALL RETAINING WALLS	TO BE SUPPLIED BY CONTRACTOR		
TD	TIMBER DECKING	SPOTTED GUM 'NATURAL PATINA'	TO ALL TIMBER VERANDAHS	TBA		
GU/DP/FA	GUTTERS / DOWNPIPES / FASCIA	COLORBOND 'WOODLAND GREY'	ALL GUTTERING, RAINWATER HEADS, FASCIAS AND DOWNPIPES	COLORBOND		
SO	SOFFIT	COLORBOND 'CUSTOM ORB'	ALL SOFFITS	TBA		
AW	ALUMINIUM WINDOWS	ALUMINIUM POWDERCOATED COLORBOND 'MONUMENT'	ALL WINDOWS	TBA		

SHELLHARBOUR CITY COUNCIL
DEVELOPMENT CONSENT
DA No. 0346 / 2017 Dated - 3 JUL 2018
Approval has been granted to the application subject to conditions which are set out fully in the Development Consent accompanying this plan.
These plans may be modified by conditions of consent. Please refer to consent documents for details.
Box must not commence until a construction certificate has been issued and a Principal Certifying Authority appointed.
Carey McIntyre
General Manager

NOTE:

1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS 1684 AND TO NEW TIMBER FRAMING
MANUAL APPLICABLE TO RURAL TERNARY CATEGORY
2. PROVIDE CERTIFIED TERNARY NUMBER 210101 TO AS 1684
3. SELECTED WINDOWS AND DOORS TO RUSTICATED TERNARY CATEGORY
4. ALL LIFT CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE
APPROVED TO ARCHITECT PRIOR TO COMMENCEMENT
5. DO NOT SCALE THE DRAWING, USE PROVIDED DIMENSIONS
6. CHECK ALL DIMENSIONS ON SITE BEFORE FURNISHING ANY ITEM
7. DRAWINGS TO BE CHECKED AND COUNTERSIGNED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO
CONSTRUCTION
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT

No | DATE | AMENDMENT

A	20/06/17	DA FOR SUBMISSION TO AUTHORITIES
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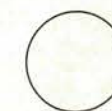
No | DATE | AMENDMENT

PROJECT RMS Residence

SITE:

Lot 1 DP 1116072.79 Fig Hill Lane
Dunmore NSW 2529

CLIENT:
NSW Gov. RMS



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DRAWING TITLE:

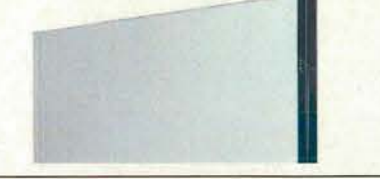
EXTERIOR FINISHES

DRAWN	CHKD	DATE	SCALE
HH	MH	30/06/2017	1:1
PROJECT NO.	DRAWING NO.	REVISION	
8556	A.4000	A	

STATUS:

DA

EXTERIOR MATERIAL + COLOUR SCHEDULE - Page 2 of 2

	ITEM	MATERIAL / FINISH	LOCATION	SUPPLIER	COLOUR	IMAGE
AD	ALUMINIUM DOORS	ALUMINIUM POWDERCOATED COLORBOND 'MONUMENT'	ALL ALUMINIUM DOORS	TBA		
-	TIMBER PIVOT DOORS	SPOTTED GUM 'OILED'	LIVING ROOM & DINING COURTYARD DOORS	TBA		
PD	PANEL LIFT DOOR	SMOOTH PANEL COLORBOND 'WOODLAND GREY'	GARAGE DOOR	TBA		
TP	TIMBER POST/ BEAMS	HARDWOOD TIMBER	VERANDAH STRUCTURE	TBA		
BAL	BALUSTRADES	FRAMELESS GLASS 'CLEAR' CHANNEL SYSTEM- HIDDEN	ALL TIMBER BALCONIES WITH A HEIGHT OVER H:1000	TBA		
SP	STONE PAVING	SANDSTONE PAVING 'NATURAL'	TO ALL COURTYARDS	TBA		

SHELLHARBOUR CITY COUNCIL DEVELOPMENT CONSENT

DA No. **0346 / 2017** Dated **3 JUL 2018**

Approval has been granted to the application subject to conditions which are set out fully in the Development Consent accompanying this plan.

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Carey McIntyre
General Manager

NOTE:

1. THESE DRAWINGS AND ANY REVISIONS TO COMPLY WITH ALL RELEVANT TO NEW TRIMMER FRAMING
2. PROVIDE CERTIFIED TRIMMER FRAMING SYSTEM TO ALL RELEVANT
3. SELECTED ARCHITECTS AND DESIGNERS TO BE DESIGNATED WHO TRIMMER CATEGORY
4. ALL THE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE
5. DO NOT SCALE THE DRAWING, USE PROVIDED DIMENSIONS
6. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATING ANY ITEM
7. DRAWINGS TO BE CHECKED AND CORRECTED BY A PROFESSIONAL STRUCTURAL ENGINEER PRIOR TO
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT

No DATE AMENDMENT

A 30/06/17 DA FOR SUBMISSION TO AUTHORITIES

No DATE AMENDMENT

PROJECT
RMS Residence

SITE:

**Lot 1 DP 1116072, 79 Fig Hill Lane
Dunmore NSW 2529**

CLIENT:
NSW Gov. RMS

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DRAWING TITLE:

EXTERIOR FINISHES

DRAWN: CHKD DATE: SCALE: A3

HH MH 30/06/2017 1:7.45, 1:5.18, 1

PROJECT NO. DRAWING NO. REVISION

8556 **A.4001** **A**



NOTE:

1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH ALL STANDARDS TO NEW TIMBER FRAMING
 2. PROVIDE CAPPED TIMBER BARRIERS 1100 TO A2 3600.
 3. SELECTED WINDOWS AND DOORS TO BE DESIGNATED WIND RESISTANT CATEGORY
 4. ALL SITE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED, AND ANY DISCREPANCIES TO BE
 REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT
 5. DO NOT SCALE THE DRAWINGS, USE FIGURED DIMENSIONS
 6. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATING ANY ITEM
 7. DRAWINGS TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO
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No	DATE	AMENDMENT
A	30/04/17	DA FOR SUBMISSION TO AUTHORITIES

PROJECT

RMS Residence

SITE:

Lot 1 DP 1116072.79 Fig Hill Lane
 Dunmore NSW 2529

CLIENT:

NSW Gov. RMS

PROJECT

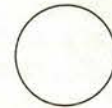
RMS Residence

SITE:

Lot 1 DP 1116072.79 Fig Hill Lane
 Dunmore NSW 2529

CLIENT:

NSW Gov. RMS



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KIAMA

4/125 Terralong Street,
 Kiama, NSW, AUSTRALIA,
 2533

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DRAWING TITLE:

PERSPECTIVE

DRAWN

CHKD

DATE

30/06/2017

PROJECT NO.

8556

DRAWING NO.

A.5000

REVISION

A

STATUS:

DA

SCALE

A3

1:500, 1:185.26

REVISION

A



NOTE:

1. TIMBER FRAMING AND WIND BRACING TO COMPLY WITH AS 1684 AND TO NEW TIMBER FRAMING MANUAL AMENDED TO SUIT WIND TYPICAL CATEGORY.
2. PROVIDE CURVED TIMBER BALUSTRADES (300mm TO AS 1684).
3. SELECTED WINDOWS AND DOORS TO SUIT DESIGNATED WIND TYPICAL CATEGORY.
4. ALL LIFE CONDITIONS INCLUDING LEVELS TO BE CONFIRMED AND ANY DISCREPANCIES TO BE REFERRED TO ARCHITECT PRIOR TO COMMENCEMENT.
5. DO NOT SCALE THE DRAWINGS, USE FIGURED DIMENSIONS.
6. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATING ANY ITEM.
7. DRAWINGS TO BE CHECKED AND CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.

No	DATE	AMENDMENT
A	30/06/17	DA FOR SUBMISSION TO AUTHORITIES

No	DATE	AMENDMENT

PROJECT
RMS Residence

SITE:
**Lot 1 DP 1116072.79 Fig Hill Lane
Dunmore NSW 2529**

CLIENT:
NSW Gov. RMS



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S Y D N E Y
W O L L O N G O N G
K I A M A
4/125 Terralong Street,
Kiama, NSW, AUSTRALIA,
2533
T: +612 4232 2125



DRAWING TITLE:
PERSPECTIVE

DRAWN	CHKD	DATE	SCALE
HH	MH	30/06/2017	1:136.09, 1:175.
PROJECT NO.	DRAWING NO.	REVISION	
8556	A.5001	A	

STATUS:

DA

DA No. 0346 / 2017 Dated - 3 JUL 2018.

These plans may be modified by conditions of consent. Please refer to consent documents for details.

Carey McIntyre
General Manager

Existing levels and contours

Proposed tree planting

Proposed mass shrub planting

Proposed turf
with timber edging

NOTES

1. DRAWINGS

The Landscape Plan to be read in conjunction with Site Plan, Landscape Details, and Stormwater Plan.

2 CHANGES

No changes to be made to nominated species in Planting Schedule without prior approval of the Landscape Architect. No variegated species to be used

3 SERVICES

Before landscape work is commenced, the Contractor is to establish the position of all service lines. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes (turfing, paving, garden beds etc.)

Phone Dial-before-you-dig prior to commencement of works on site

CODE	BOTANIC NAME	QTY	POT SIZE	STAKES
TREES				38X38X1800MM
AS	Acmena smithii	2	200mm	1
BI	Banksia integrifolia	3	200mm	1
BA	Brachychiton acerifolius	3	200mm	1
ER	Elaeocarpus reticulatus	3	200mm	1
TL	Tristanopsis laudra 'Luscious'	8	45 Litre	2

	SHRUBS AND NATIVE GRASSES	
AP	<i>Acacia podalyrifolia</i>	9 200mm
BS	<i>Banksia spinulosa</i>	8 200mm
CG	<i>Ceratopetalum gummiiferum</i>	6 200mm
DC	<i>Dianella caerulea</i>	19 150mm
DE	<i>Doryathes excelsa</i>	5 200mm
GB	<i>Grevillea barklyana</i>	7 200mm
GRG	<i>Grevillea 'Robyn Gordon'</i>	5 200mm
HS	<i>Hakea salicifolia</i>	6 200mm
SH	<i>Syzgium 'Hunchy'</i>	9 200mm
PM	<i>Phyllothea muropyroides</i>	4 200mm

ISSUE: Development Application 21.06.17
ISSUE: For Comment 15.06.17

REV.

ochre
landscape
architects

ochre landscape architects

PO Box 395 Wollongong NSW 2520
Level 1, 126 Crown Street
Wollongong NSW 2500
Tel. 02 4227 6427 Fax. 02 4227 6871
Email: design@ochre.net.au

PROJECT

Proposed Residence
Lot 1, DP 1116072, 79 Flg Hill Lane
DUNMORE

DRAWING TITLE

Landscape Plan

CLIENT

NSW Government RMS

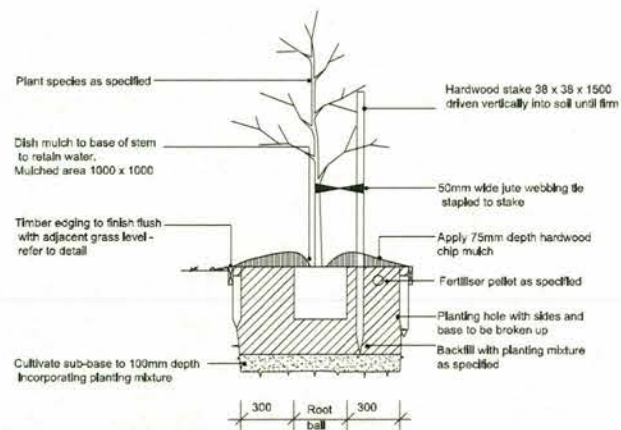
DRAWING NO.

1724-LD01

SCALE: 1:100 @ A1, 1:200 @ A3

CHECKED: TW

DATE: 13.06.17

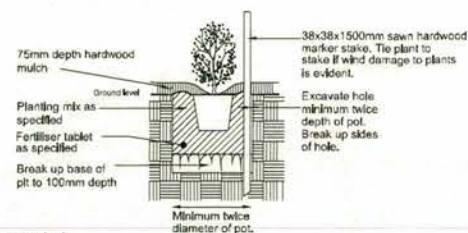


NOTES:

1. The tree pit should be excavated to allow adequate clearance between the perimeter of the ball and the side of the pit.
2. The depth of the pit should be a minimum of 700mm and at least 150mm greater than the depth of the root-ball.
3. Fork the bottom and sides of the pit to break up the subsoil.
4. Drive in the stakes so that they are a minimum of 300mm below the bottom of the pit and 650mm above ground level. The stakes are to be hardwood poles, pointed at one end, preserved to resist rot for their intended lifespan, and strong enough to take nails without splitting.
5. Plant the tree, ensuring that the original depth is maintained and the soil is carefully firmed back up to the existing ground level.
6. Secure the tie to the stakes with 2 x 30mm galvanised staples per stake.
7. Spread 75mm depth of mulch over an area of 1000mm diameter around the tree, and maintain it.
8. The stakes are to be removed as soon as the tree is anchored securely by its own roots - normally at the start of the second growing season after planting.
9. Water tree thoroughly prior to removing from container and immediately following planting.

The above detail is to also apply to general tree planting in garden beds without the timber edge either side of the tree.

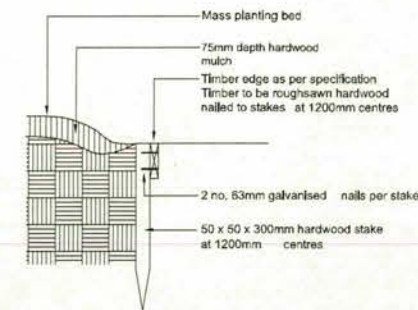
DETAIL 01: Tree Planting In Grass



SECTION NOTES:

1. Dig pit 100mm deeper & 200mm wider than growtube for 150mm pot. Dig pit 150mm deeper & 300mm wider than container for 200mm pot. Dig pit 200mm deeper & 300mm wider than container for 150mm container. Break up the soil in the base of the hole to 100mm depth.
2. Prepare the plants: a) prune back damaged roots to healthy growth; b) ensure plant is well watered prior to planting; c) ensure plant is well watered prior to planting; d) ensure plant is well watered prior to planting.
3. Plant in prepared pit checking that the soil mark on the stems is at ground level.
4. Backfill the pit to half its depth and firm by treading. Continue planting the pit.
5. Once planted, backfill with the remaining soil and firm as before.
6. EITHER: Topdress the planting area with a 75mm depth x 500mm diameter of hardwood chip mulch when planting in grass. Do not allow mulch to touch stem. OR: Topdress the planting area with 75mm depth of hardwood chip mulch in mass planting beds. Do not allow mulch to touch stem.

DETAIL 02: Shrub Planting Detail

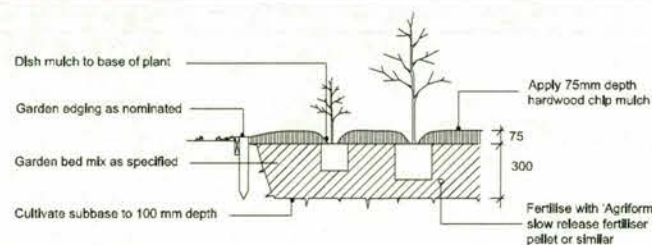


SECTION: TIMBER EDGING

NOTES:

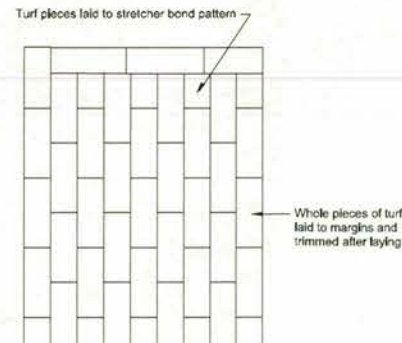
1. Timber edge shall be 100mm x 25mm sawn hardwood strips and of minimum 3000mm lengths.
2. Timber edge to be fixed with 2 no. nails per fixing to each 50x50x300mm hardwood stakes at 1200mm centres.
3. Stakes to be on inside of planting bed.
4. Top edge of timber edge to be flush with finished level of adjacent grass.

DETAIL 03: Timber edge



1. Strip and remove grass from areas to be mass planted
2. Excavate and remove soil to a depth of 350mm
3. Rip or rotary hoe subsoil to a depth of 100mm
4. Install edging as specified
5. Backfill with specified soil mix
5. Mulch with 75mm hardwood chip

DETAIL 04: Mass Planting on Grade Detail



PLAN (not to scale)

NOTES:

1. The topsoiled area to be turfed, is to be graded and cross-graded to even running falls.
2. The surface should be lightly and uniformly firmed by rolling or treading, and reduced to a fine tilth up to 25mm in depth.
3. All rubbish, stones greater than 50mm diameter etc. shall be removed from the surface.
4. Apply an even application of approved fertiliser at a rate of 70g/m and rake in.
5. No turf shall be laid in exceptionally dry or frosty weather or unsuitable weather conditions.
6. The pieces of turf shall be laid in a stretcher bond pattern, closely butted and firmed into position, to the correct levels.
7. The turf should be laid off planks, working over turf already laid.
8. A dressing of finely sifted topsoil should be applied to the laid turf and brushed well into the joints.
9. Water the turf to prevent drying-out before establishment.

DETAIL 05: Turf Detail

SPECIFICATION

1. **GROUND PREPARATION:** Eradicate grass and weeds using a non residual glyphosate herbicide at the recommended rate. All mass planted beds shall be cultivated by ripping or harrowing. Do not rip within the dripline of trees and shrubs to be retained. If necessary, cultivate these areas by hand. Remove stones exceeding 25mm and weeds, rubbish or other deleterious material. Trim the surface to the required design levels after cultivation. Excessive clay content shall be ameliorated by incorporating gypsum at a rate of 0.25kg/square metre.
2. **PLANTING MIXTURE** shall be three parts by volume on-site topsoil and one part organic compost mixed to a homogenous blend prior to installation and spread to a minimum depth of 250mm. Test pH levels to ensure a reading of between 6 - 7. Higher or lower pH levels shall be adjusted in consultation with the project Landscape Architect. Planting mix in raised planters shall be equal to Australian Native Landscapes or Solico Planter mix.
3. Spread planting mixture or topsoil on the prepared subsoil and grade evenly. Ensure that finished levels are achieved after light compaction. Grass areas shall be finished flush with adjacent hard surfaces including paths, kerbs and mowing strips or garden edging.
4. Compact lightly in uniform 150mm layers and ensure final surface is graded to drain freely without ponding. Topsoil shall be spread to typical depths: 225mm for planting areas, 100mm for grass areas.
5. **TURF** shall be of an even thickness, free from weeds and other foreign matter and shall be laid within 36 hours of cutting. Lay turf in stretcher bond pattern to finish flush after tamping with adjacent finished surfaces. Water immediately after laying until the topsoil is moistened to full depth.
6. **PLANTS** shall have large healthy root systems with no root curl, restriction or damage. Plants shall be vigorous, well established, free from pests and disease, of good form, consistent with species. Plants will be hardened off and trees, unless required to be multi-stemmed, shall have a single leading shoot. Do not plant in extreme heat, cold, wind or rain. Thoroughly water plants before and immediately after planting.
7. **FERTILISER** shall be slow release type 'Agriform' (R) 21 gram size (or equal approved) pellets of N:P:K analysis 20:10:5.
8. **MULCH** shall be placed evenly to a consolidated depth of 75mm over all mass planted areas and shall be equal to hardwood chip or as otherwise specified. Place mulch clear of stems, rake surface flush with the surrounding finished levels.
9. **STAKES** shall be straight hardwood, free from knots or twists and pointed at one end. Drive stakes into the ground at least one third of their length, avoiding damage to the root system. Provide 50mm hessian webbing stapled to the stake to stabilise the plant. Refer to plant schedule for plants to be staked.

MAINTENANCE

1. Watering sufficient to maintain continuous vigorous growth of plant material.
2. Remove all weeds and make good mulch in garden beds as necessary.
3. Spray to control pests and diseases with non residual chemical.
4. Replace plants which fail to establish with plants of similar size and quality as the originals.
5. Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
6. Prune and shape trees and plants as directed or where necessary to maintain shape.
7. Check once a week to ensure irrigation system is operating correctly (if installed).
8. Make good any defects or faults arising out of defective workmanship or materials.
9. Make good any erosion or soil subsidence which may occur.
10. Remove all rubbish from garden beds on a weekly basis.
11. Maintain 75mm depth mulch layer in planting areas. Replace mulch as necessary with the same materials to maintain 75mm depth over the soil surface.
12. Maintain works for a period of 52 weeks or as otherwise directed by the Landscape Architect.

SHELL HARBOUR CITY COUNCIL DEVELOPMENT CONSENT

DA No. **0346/2017** Dated **3 JUL 2018**

Approval has been granted to the application subject to conditions which are set out fully in the Development Consent accompanying this plan.

These plans maybe modified by conditions of consent. Please refer to consent documents for details.

Work must not commence until a construction certificate has been issued and a Principal Certifying Authority appointed.

Carey McIntyre
General Manager

ISSUE: Development Application 21.06.17
REV.

ochre landscape architects
PO Box 395 Wollongong NSW 2520
Level 1, 126 Crown Street
Wollongong NSW 2500
Tel. 02 4221 6427 Fax. 02 4227 6876
Email: design@ochre.net.au

PROJECT

Proposed Residence
Lot 1, DP 1116072, 79 Fig Hill Lane
DUNMORE

DRAWING TITLE

Landscape Details

CLIENT

NSW Government RMS

DRAWING NO.

1724-LD02

SCALE: NTS

CHECKED: TW

DATE: 13.06.17