



ARCHAEOLOGICAL & HERITAGE MANAGEMENT SOLUTIONS

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27 November 2009

Our Ref.: 091104

Humphrey and Edwards,
2 Oxford Street,
Paddington, NSW, 2021

Re: Glenmore Hotel, 96-98 Cumberland Street, The Rocks - Preliminary Assessment of Historical Archaeological Potential

This letter presents our preliminary assessment of the historical archaeological potential of the Glenmore Hotel, 96-98 Cumberland Street, The Rocks. This report is not a full historical archaeological assessment as outlined in guidelines endorsed by the Heritage Branch of the NSW Department of Planning. The assessment of archaeological potential report primarily focuses on the area proposed for the current development, i.e. to the north of the extant Glenmore Hotel, and does not provide an assessment of the majority of the rest of the site.

The assessment is presented in **Appendix A** of this document. A summary of our findings and recommendations is presented below.

The study area consists of parts of two or more allotments developed with residential terraces, facing Gloucester Street, at least as early as 1835. The study area also includes part of an earlier alignment of Gloucester Street. The area was resumed in the early twentieth century, the terraces were demolished and Cumberland Street was realigned. In c1921, the present Glenmore Hotel was built in the study area.

Remains of a road surface and kerbing from an earlier form of Gloucester Street are likely to exist in the study area. It is possible that some remains of the earlier houses also exist. However, these remains are likely to have been substantially disturbed by the construction of the hotel. It is probable that the study area has little archaeological research potential. However, it is recommended that the excavation associated with the proposed development be monitored by an archaeologist to ensure the proper management of any archaeological remains found in the course of the work. A methodology should be drawn up to guide this work.

It is understood that the development application will be submitted as an Integrated Development Application (IDA). As part of this process, approval from the Heritage Council will be required according to section 60 of the *Heritage Act 1977*. A full historical archaeological assessment is therefore likely to be required.

Should you have any questions regarding the findings or recommendations in this report, please do not hesitate to contact Matthew Kelly on 02 9555 4000.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'Matth' followed by a stylized monogram or initials.

Matthew Kelly
Senior Consultant
AHMS

Appendix A: Preliminary Assessment of Historical Archaeological Potential for the Proposed Development at the Glenmore Hotel, 96-98 Cumberland Street, The Rocks

Introduction

Permyon Pty Limited trading as Glenmore Hotel (the leaseholder of the Hotel) proposes to carry out alterations and additions at the Glenmore Hotel, and has been requested by the Sydney Harbour Foreshore Authority to consider the potential historical archaeological impact of the proposed development. Archaeological and Heritage Management Solutions Pty Limited (AHMS) has been engaged to provide a preliminary assessment of the historical archaeological potential of the Glenmore Hotel property.

The study area is described as 96-98 Cumberland Street, The Rocks, and the real property description is Lot 106 DP 264104 (**Figure 1** and **Figure 2**). It is in the Parish of St Philip, County of Cumberland. The study area falls within the boundaries of the City of Sydney. However, the area is administered by the Sydney Harbour Foreshore Authority. The Minister for Planning is the consent authority for Sydney Harbour Foreshore Sites where development requires an approval under section 57 of the *Heritage Act 1977*, as with the study area.

The purpose of this report is to identify the historical archaeological potential of the study area, based on a brief review of documentary sources. The study does not include a site inspection, an assessment of heritage significance, or an assessment of heritage impact. It is not a full historical archaeological assessment according to Heritage Branch guidelines. The report does not deal with the built heritage of the study area; this is addressed by a separate report.¹

This report was prepared by Fenella Atkinson and Matthew Kelly, of AHMS. The assistance of Katrina Stankowski and Gary Estcourt, of the Heritage Branch, and Wayne Johnson, of the Sydney Harbour Foreshore Authority, is gratefully acknowledged.

¹ John Oultram Heritage and Design, November 2009, 'Proposed alterations and additions to the Glenmore Hotel, Cumberland Street, The Rocks: Heritage Impact Statement', for Permyon Pty Limited trading as Glenmore Hotel.

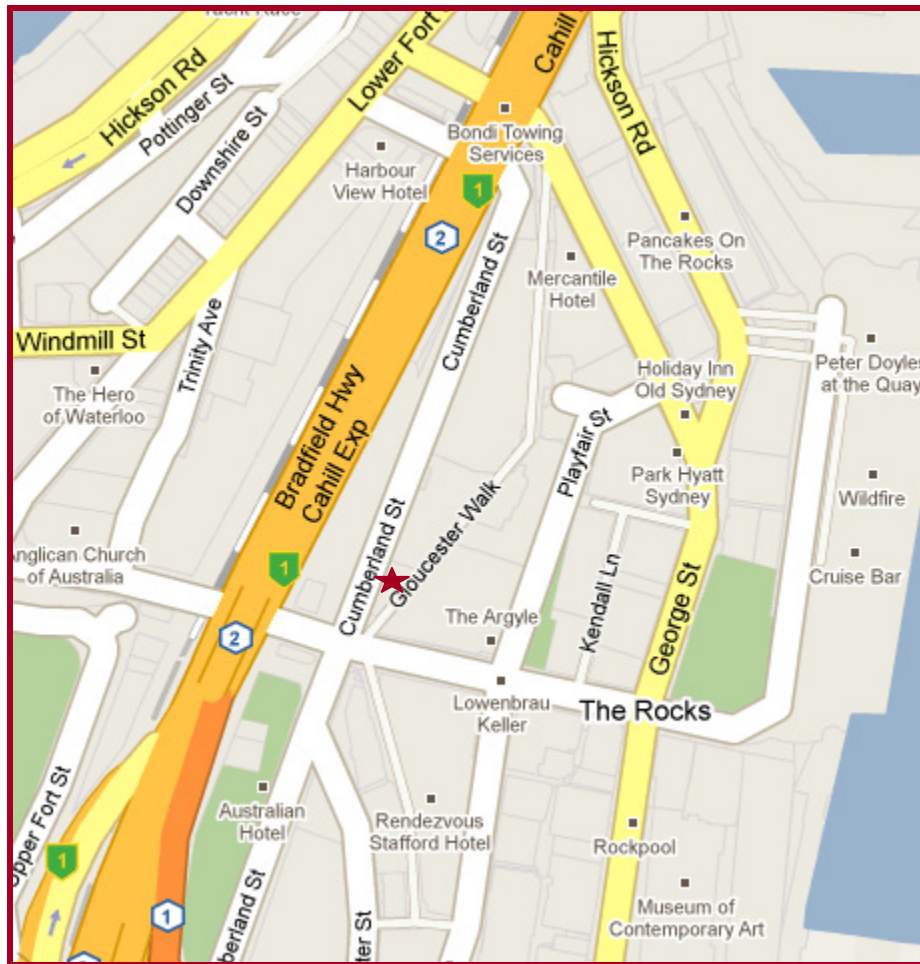


Figure 1. The general location of the study area, marked with a star (source: Google Maps).

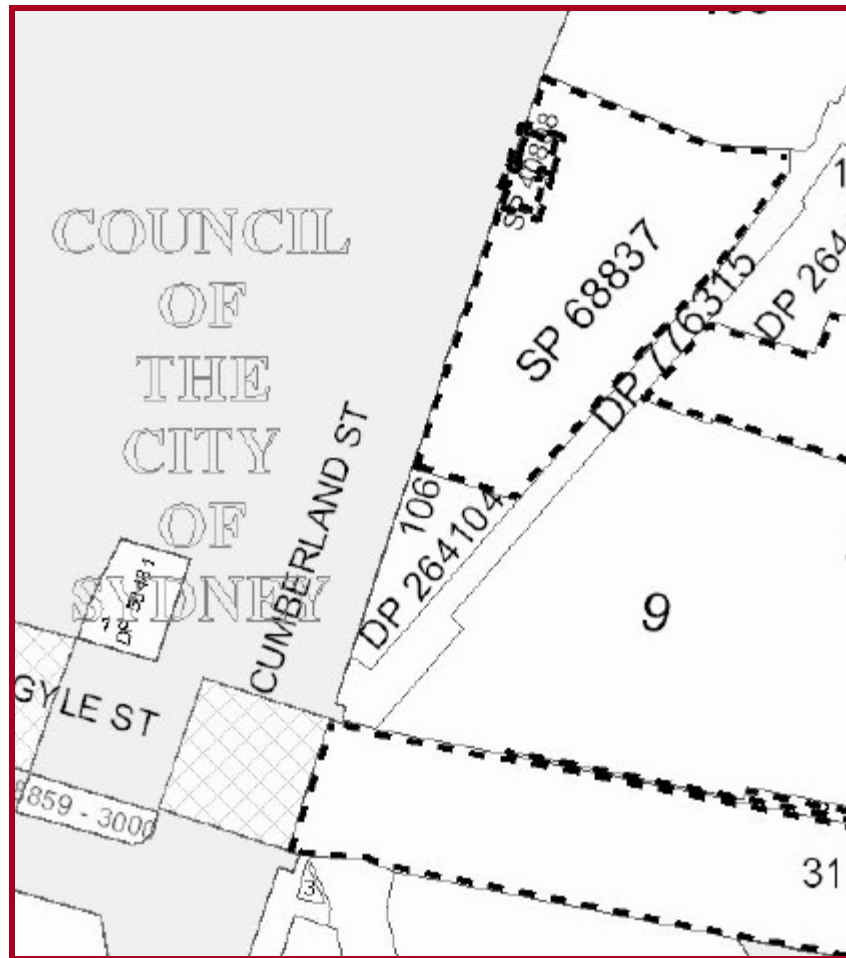


Figure 2. The cadastral boundaries of the study area; Lot 106 DP 264104(source: NSW Department of Lands, Cadastral Records Enquiry).

Heritage Listings and Previous Studies

The following statutory listings were searched:

- State Heritage Register (SHR),
- Commonwealth Heritage List,
- National Heritage List,
- Sydney Harbour Foreshore Authority s170 Heritage and Conservation Register (SHFA Heritage Register).

The following non-statutory listings were searched:

- State Heritage Inventory (SHI),
- Register of the National Estate (RNE).

Table 1. Summary of heritage listings including the study area.

List	Description	Status
SHR	Glenmore Hotel, 96-98 Cumberland Street, The Rocks (Lot 106 DP 264104)	Registered
SHI	Glenmore Hotel, 96-98 Cumberland Street, The Rocks (Lot 106 DP 264104)	Listed
RNE	The Rocks Conservation Area, The Rocks, NSW, Australia	Registered
SHFA Heritage Register	Glenmore Hotel, 96-98 Cumberland Street, The Rocks	Listed
SHFA Heritage Register	The Rocks Conservation Area, The Rocks	Listed

A number of relevant heritage and archaeology reports were also consulted. The results relating to the historical archaeology of the study area are summarised below.

The Rocks and Millers Point Archaeological Management Plan (Higginbotham, Kass & Walker, 1991)

The study area is listed as Inventory No. 51. The study area is assessed as having the potential for archaeological remains, although these are likely to be mostly disturbed. It is recommended that an archaeological watching brief or monitoring programme accompany any potential disturbance to these archaeological remains.

Archaeological Investigation, the Glenmore Hotel, 96-98 Cumberland Street, the Rocks, Sydney (Lydon, 1993)

This report gives the results of archaeological monitoring of excavation of four pits in the study area for the installation of a fire-stair on the northern side of the building. Remains of the former sandstone kerb and roadway of Gloucester Street were encountered in one of the pits. These had previously been disturbed for the installation of a gas line, but it is presumed that further sections of the kerbing and roadway exist in the study area. However, the report notes that the construction of the present Hotel destroyed almost all trace of earlier buildings, and that the study area therefore has very little archaeological significance. It is recommended that future disturbance of the study area be monitored by an archaeologist.

*Glenmore Hotel 96-98 Cumberland Street, The Rocks: Conservation Management Plan
(City Plan, May 2006)*

The assessment of the historical archaeological potential of the study area is based on the earlier archaeological investigation. The report states that the excavation for the creation of the cellars of the current building on the study area has destroyed the bulk of archaeological evidence of previous subdivisions and buildings.² However, the study area is said to have ‘moderate potential at the Gloucester Street frontage for the recovery of early housing and settlement remains especially deep features such as wells and cess pits’. In addition, a section of the former Gloucester Street roadway and kerb was exposed during excavation for the northern courtyard fire stairs, and it is probable that further sections remain.³

Historical Development

As Cumberland Street was realigned in the early twentieth century, historical plans from before this date do not correspond exactly to the current boundaries of the study area. Comparison of plans and aerial photographs indicates that the study area comprises land that was part of Gloucester Street and parts of properties fronting on to the western side of that street. However, title research and plan overlays have not been carried out for the present study. The boundaries of the study area, in relation to the earlier layout of the streets, are therefore not known exactly.

The 1811 plan indicates that tracks, at least, existed along the lines of the later Cumberland and Gloucester Streets in the vicinity of the study area (**Figure 3**). However, no buildings are shown in this area. By comparison with later plans, the 1835 plan indicates that the study area consists of parts of two allotments, Nos. 10 and 11, between Gloucester and Cumberland Streets (**Figure 4**). The northern allotment was claimed by John Hunter, and the southern by James Curtis. Buildings had been constructed on both of the allotments by this time. The 1836 and 1843 plans show the building on the northern allotment, but appear to show the southern allotment vacant (**Figure 5** and **Figure 6**).

The 1850 plan shows a terrace on each of the two allotments (**Figure 7**). These two buildings remained standing in 1854 and 1865 (**Figure 8** and **Figure 9**). The colouring in the 1865 plan indicates that the two terraces were built of stone, with timber outbuildings. By 1889, the southern terrace had been demolished (**Figure 10**). There was a terrace on the northern part of the study area. It is not clear whether this was the original building, as shown in the 1836 plan, or a replacement. By 1895 a new terrace had been built in the southern part of the study area. This building comprised six houses; three facing Cumberland Street, and three facing Gloucester (**Figure 11**). The northern terrace remained standing. The buildings are shown in two photographs probably dating to the first years of the twentieth century (**Figure 12** and **Figure 13**).

² City Plan Heritage, op. cit., p. 22.

³ City Plan Heritage, op. cit., p. 60.

In 1900 the Government resumed the land, including the study area, within the 'Observatory Hill Resumed Area', under the provisions of the *Public Works Act 1900* and the *Darling Harbour Wharves Resumption Act 1900*. In 1903 a plan was drawn up for the realignment of the streets in this area (**Figure 14**). Cumberland Street was straightened, involving moving the street to the east in the vicinity of the study area. Gloucester Street was left with much the same alignment and width, and is now used only by pedestrian traffic.

The realignment of Cumberland Street resulted in the demolition of the buildings in the study area. The land on the eastern side of the street remained vacant for some years.⁴ In 1911-12, the higher Cumberland Street Bridge and the lower Gloucester Street Bridge, over the Argyle Cut, were replaced by a single bridge at Cumberland Street.⁵

In 1919 the study area was given to Tooth and Co in exchange for the site of the existing Glenmore Hotel, on Cumberland Street to the north. Construction of the new Glenmore Hotel, in the study area, commenced in late 1919 or early 1920. The cellars were cut to the level of Gloucester Street. The new Glenmore Hotel is thought to have opened in 1921.⁶ The building has remained standing to the present (see **Figure 15** and **Figure 16**), with some modifications, including the replacement of the timber basement floors with a concrete slab in 1935.⁷

⁴ Robertson & Hindmarsh, op. cit., p. 4.

⁵ City Plan Heritage, op. cit., pp. 13-14.

⁶ Robertson & Hindmarsh, op. cit., p. 5.

⁷ City Plan Heritage, op. cit., p. 25.

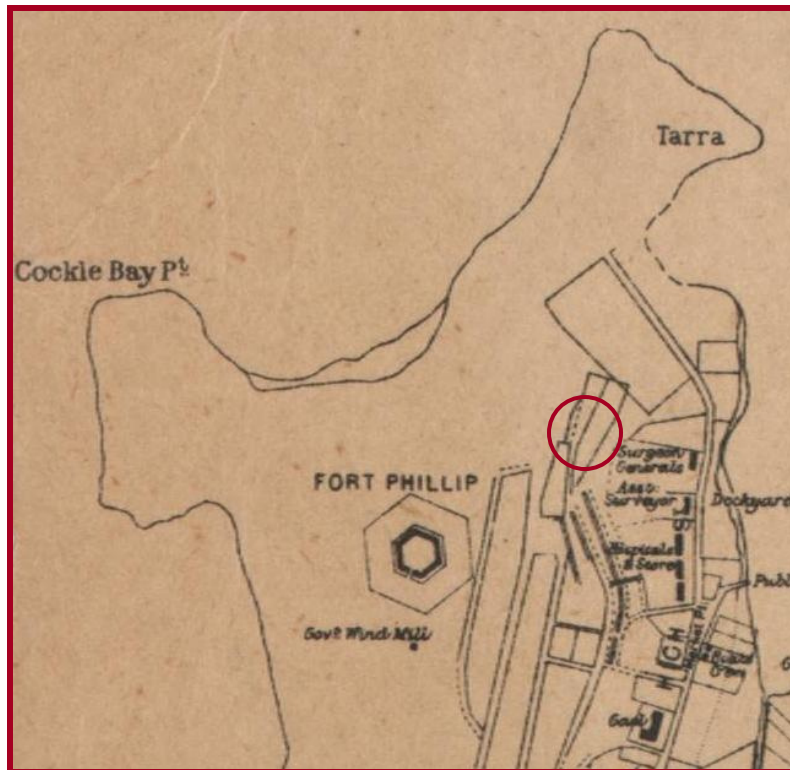


Figure 3. The study area in 1811 (source: *Plan of the town of Sydney New South Wales shewing (sic) Common*, National Library of Australia, Map F 868, online edition, <http://nla.gov.au/nla.map-f868>).

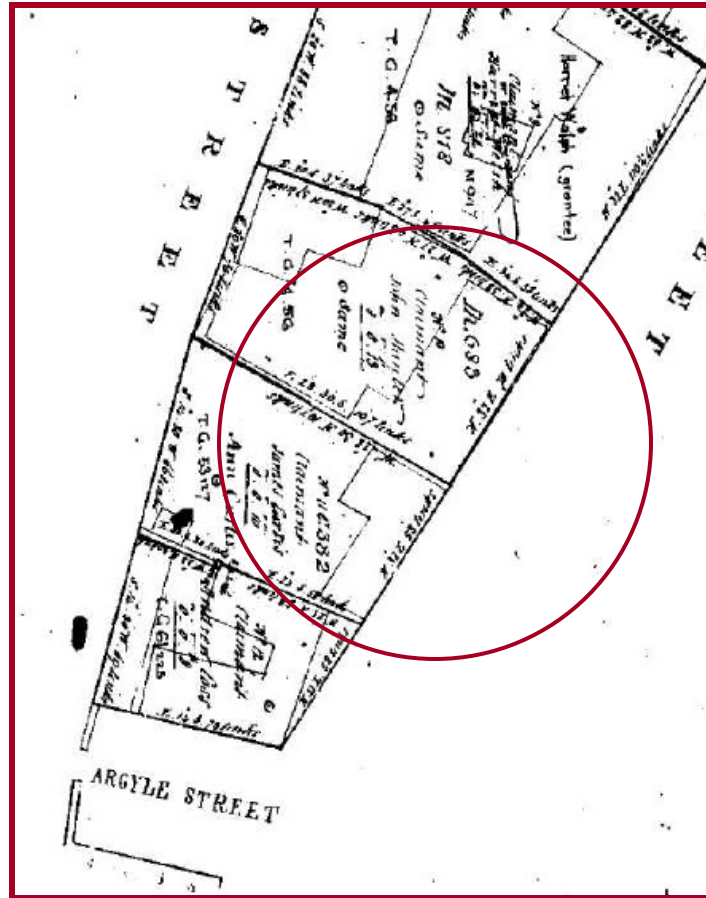


Figure 4. An 1835 plan showing the study area (source: Robert Russell, *Survey of the Town of Sydney*, Section 87, SCA HP 74, reproduced in Lydon, *op. cit.*).

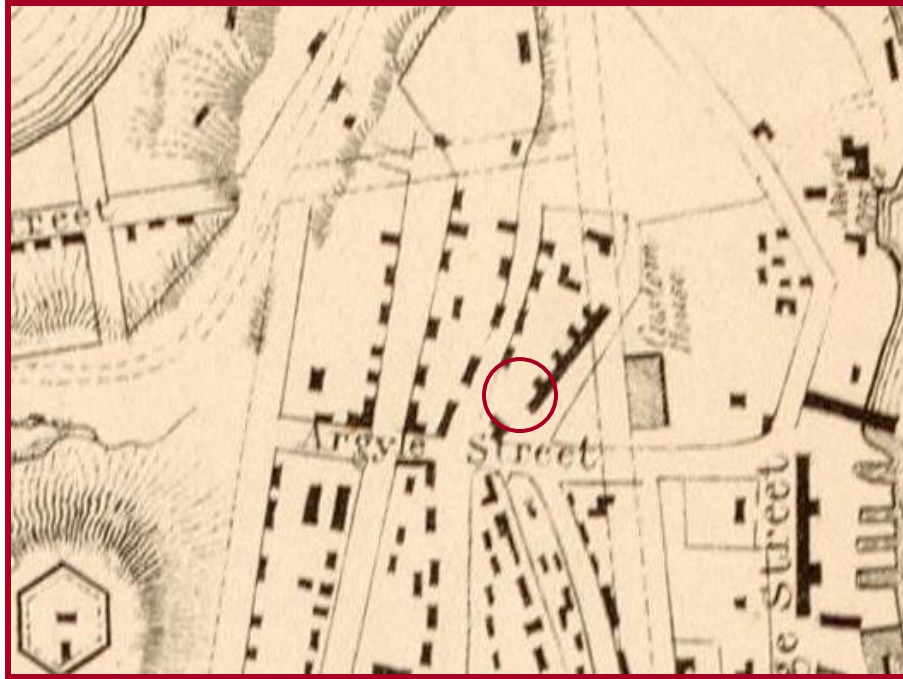


Figure 5. The study area in 1836 (source: 1837, *Plan of Sydney with Pyrmont, New South Wales*, the latter the property of Edwn Macarthur Esqre, divided into allotments for building 1836, National Library of Australia, Map T 1551, online edition, <http://nla.gov.au/nla.map-t1551>).



Figure 6. The study area in 1843 (source: William Henry Wells, 1843, *Map of the City of Sydney*, State Library of NSW, ZM2 811.17/1843/1, online edition).



Figure 7. The study area in 1850 (source: William Henry Wells, 1850, *The City of Sydney*, including the environs of Pyrmont, Balmain, Redfern, Chippendale, the Glebe, Surry Hills, Paddington &c., State Library of NSW, Zm4 811.17gbbd/ 1850/1, online edition).



Figure 8. The study area in 1854 (source: WH Baron, Woolcot and Clarke's map of the City of Sydney with the environs of Balmain and Glebe, Chippendale, Redfern, Paddington, &c, National Library of NSW, Map NK 3963, online edition, <http://nla.gov.au/nla.map-nk3963>).

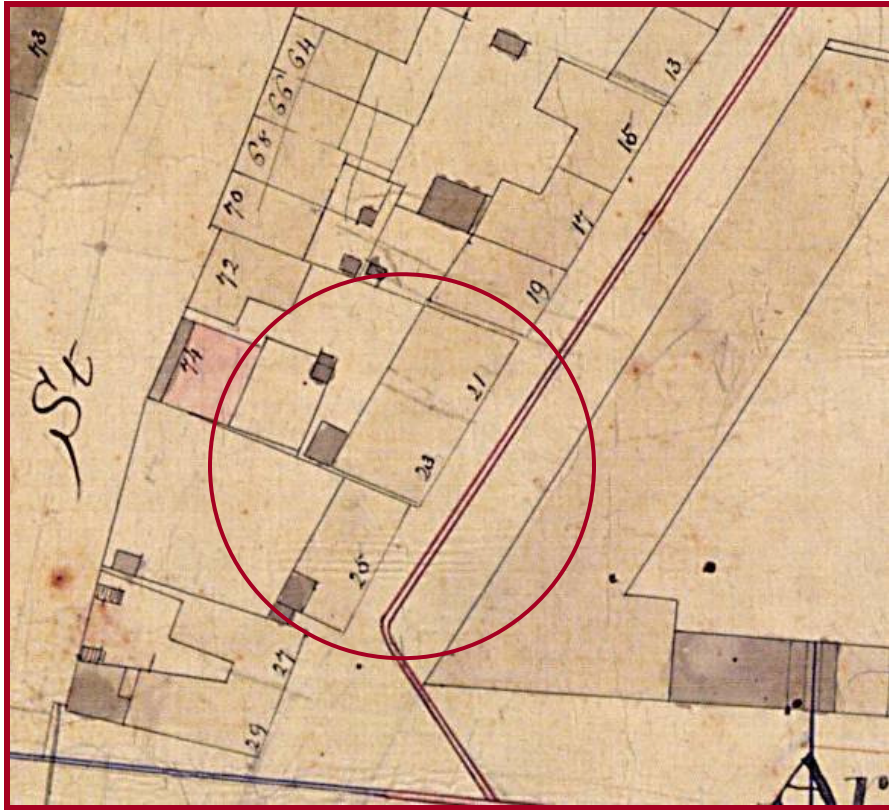


Figure 9. The study area in 1865 (source: State Records NSW / City of Sydney Archives, 1865 Trigonometrical Survey of the City of Sydney, Sheet B2, from an original plan held by State Records NSW (NRS 9929)).

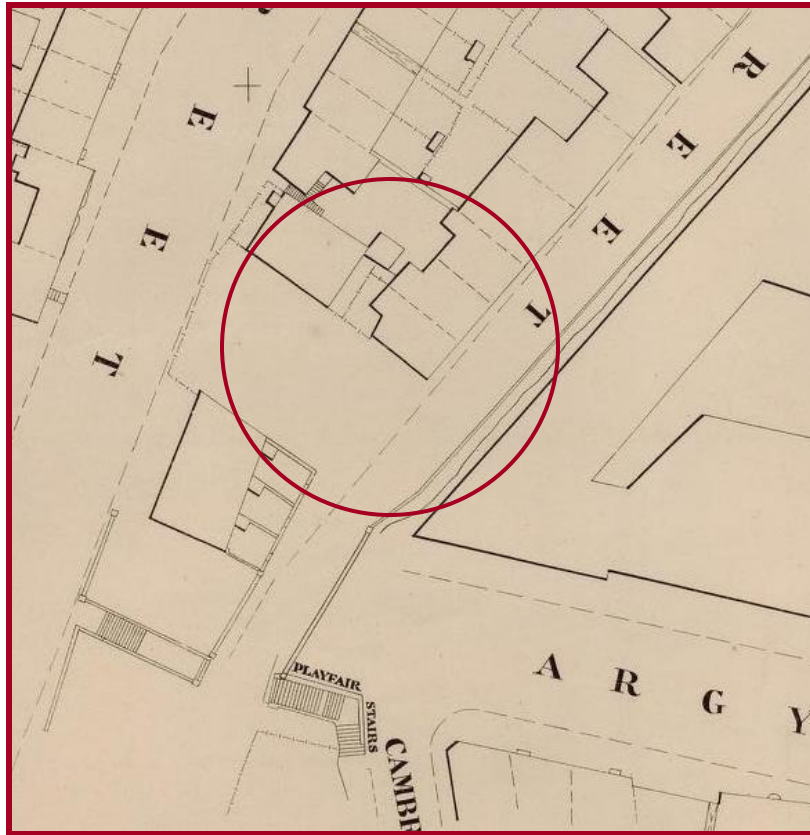


Figure 10. The study area in 1889 (source: NSW Department of Lands, Sydney Metropolitan Detail Series, City of Sydney Sections 85, 86, part 87, and 88, State Library of NSW, ZM Ser 4 811.17/1, online edition).



Figure 11. The study area in 1895 (source: NSW Department of Lands, Sydney Metropolitan Detail Series, City of Sydney Sections 85, 86, part 87, and 88, State Library of NSW, ZM Ser 4 811.17/1, online edition).



Figure 12. An undated photograph showing the buildings in the study area, looking north. The study area may include part of the three-storey terrace in the middle ground, and parts of the two terraces to the north (source: Gloucester Street looking north from Argyle Cut, State Records NSW, Digital ID 4481_a026_000035.jpg).

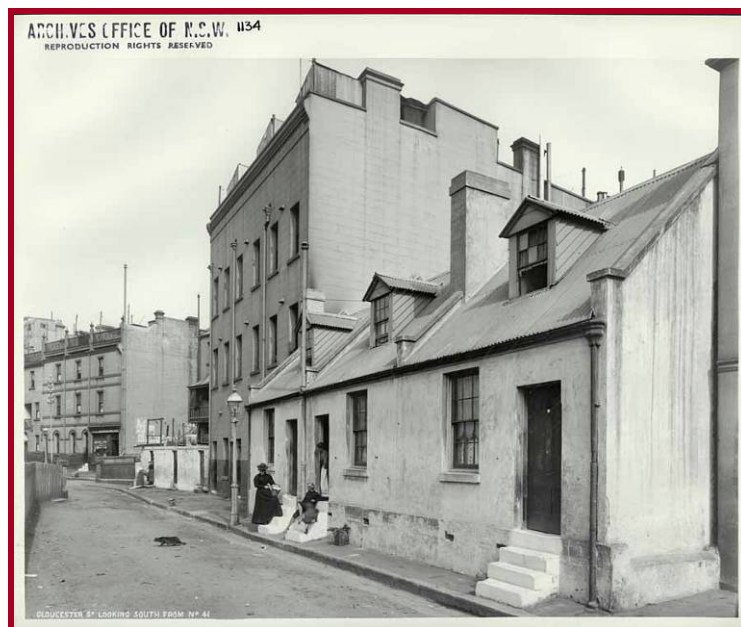


Figure 13. An undated photograph showing the buildings in the study area, looking south. The study area probably includes the three-house terrace, and possibly also the three-storey terrace to the south (source: Gloucester Street looking south from No. 41, State Records NSW, Digital ID 4481_a026_000208.jpg).

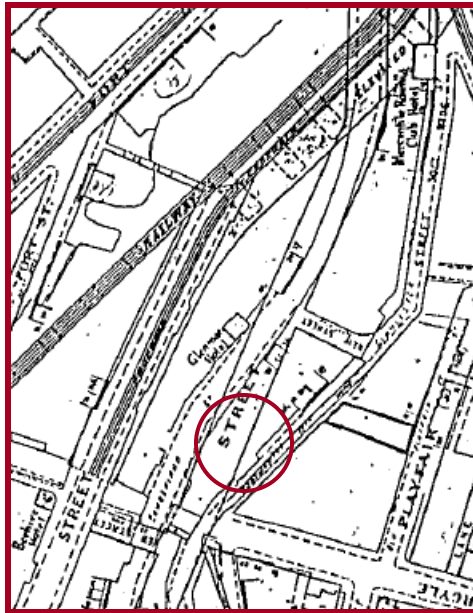


Figure 14. Detail of a 1903 plan showing the proposed realignment of streets in the Rocks Resumed Area. The circle indicates the approximate location of the study area (source: reproduced in Robertson and Hindmarsh, June 1992).

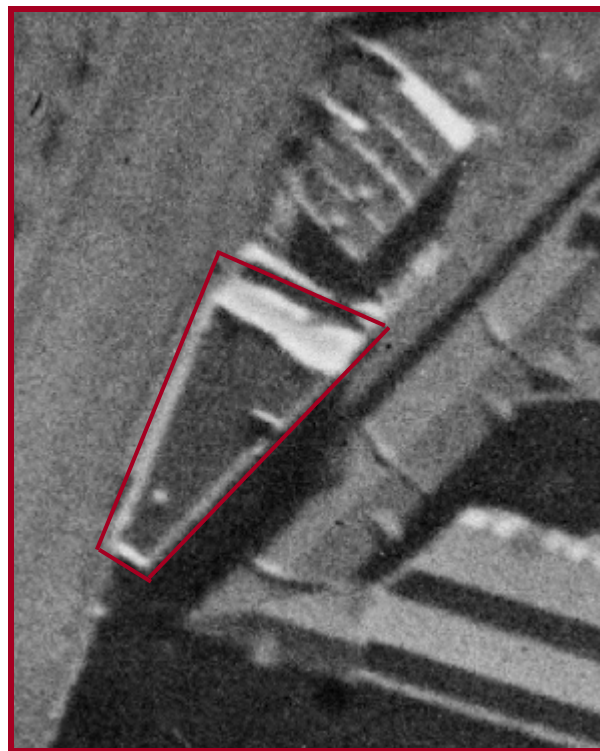


Figure 15. A 1943 aerial photograph showing the study area, outlined in red (source: NSW Department of Lands, SIX Viewer).



Figure 16. A recent aerial photograph showing the study area, outlined in red (source: Google Earth).

Historical Archaeological Potential

The study area consists of parts of one or more allotments that were laid out and developed by 1835. At least one of the allotments was redeveloped, in the early 1890s. The terraces were demolished in the early twentieth century. The present Glenmore Hotel was built shortly afterwards, and construction included a basement at the level of Gloucester Street. The study area may also include part of the earlier area of Gloucester Street, which was in existence, in a more rudimentary form, as early as 1811.

Archaeological monitoring of the excavation of four pits for the construction of a fire-stair resulted in the discovery of remains of a former surface and kerbing of Gloucester Street. These remains were located in the pit in the north-eastern corner of the study area, approximately 2 m west of Gloucester Walk. Overlying the remains were a sandy deposit containing brick, concrete and ash; then a gravel fill, then the asphalt surface of the yard. It was noted that the sandy deposit could represent the

demolition of the earlier houses in the study area. However, no further evidence of these houses was encountered.⁸

An assessment of historical archaeological potential was carried out as part of the report on the monitoring. It was considered that the construction of the present hotel destroyed almost all trace of earlier buildings, apart from elements of an earlier form of Gloucester Street, and that significant features are unlikely to remain.⁹

The earlier assessment stated that the study area comprised the historic Allotment No.12, on which a terrace of three houses was built, facing Cumberland Street.¹⁰ However, this allotment was actually located to the south of the study area, and is presently entirely or almost entirely within the Argyle Street road reserve. The terraces on the northern allotments were built to face Gloucester Street. At least the fronts of these houses were on the same level as the street, and it is possible that the same level was carried through to the rear of the properties. As remains of the street are known to exist in the study area at this level, it is possible that remains of the houses also exist.

However, any such remains are likely to have been substantially disturbed by the construction of the present hotel building, with associated services, and to survive in a fragmentary state at best. It should be noted that the Gloucester Street remains found during the earlier work were located in a yard to the north of the building, but even so had been partly destroyed by the excavation of a service trench.

Statutory Protection

Under the *Heritage Act 1977*, it is an offence to

*disturb or excavate any land knowing or having reasonable cause to suspect that the disturbance will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed unless the disturbance or excavation is carried out in accordance with an excavation permit.*¹¹

A relic is defined as follows:

- relic means any deposit, artefact, object or material evidence that:*
- a) relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and*
 - b) is of State or local heritage significance.*

Proposed Development

Permyon Pty Limited trading as Glenmore Hotel (the leaseholder of the Hotel) proposes to carry out alterations and additions to the Hotel. The proposed works include the construction of an infill building in the existing courtyard to the north of

⁸ Lydon, op. cit., p. 5.

⁹ Lydon, op. cit., pp. 8 & 10.

¹⁰ Lydon, op. cit., p. 4.

¹¹ S 139, *Heritage Act 1977*.

the Hotel building (see *Figure 17* to *Figure 19*). This building will include a lift and service rooms. The proposed development will require excavation in the courtyard area for the lift pit, and also for footings and services.

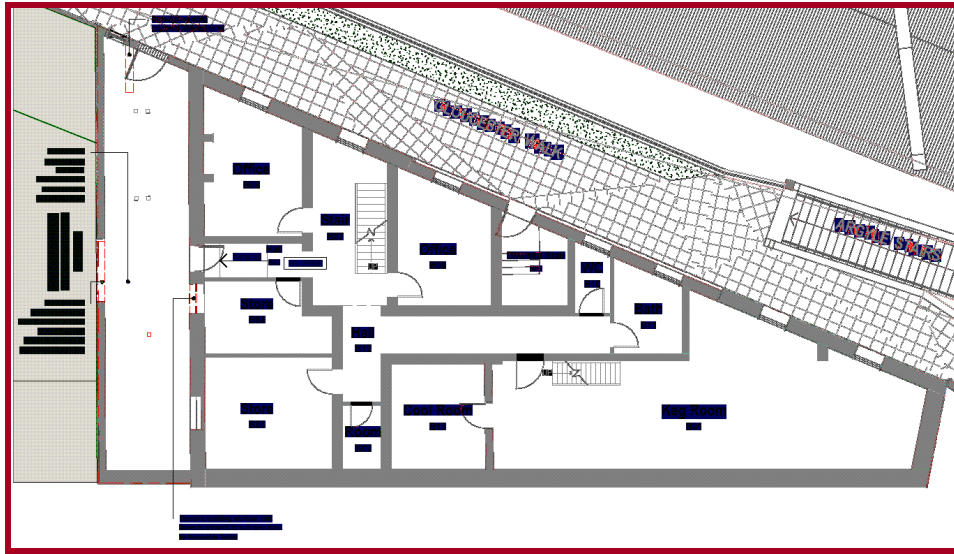


Figure 17. Existing basement and proposed demolition plan (source: Humphrey and Edwards, The Glenmore Hotel, Basement Level - Demolition and Proposed, Project No. 2042, Drawing No. DA110, Sheet Issue Date 24 November 2009).

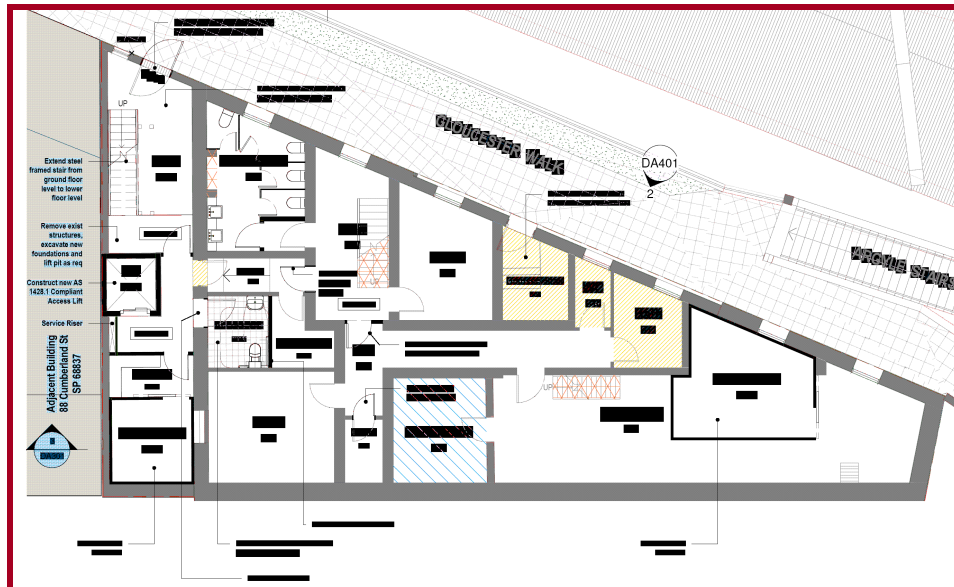


Figure 18. Proposed development: basement plan (source: Humphrey and Edwards, The Glenmore Hotel, Basement Level - Demolition and Proposed, Project No. 2042, Drawing No. DA110, Sheet Issue Date 24 November 2009).

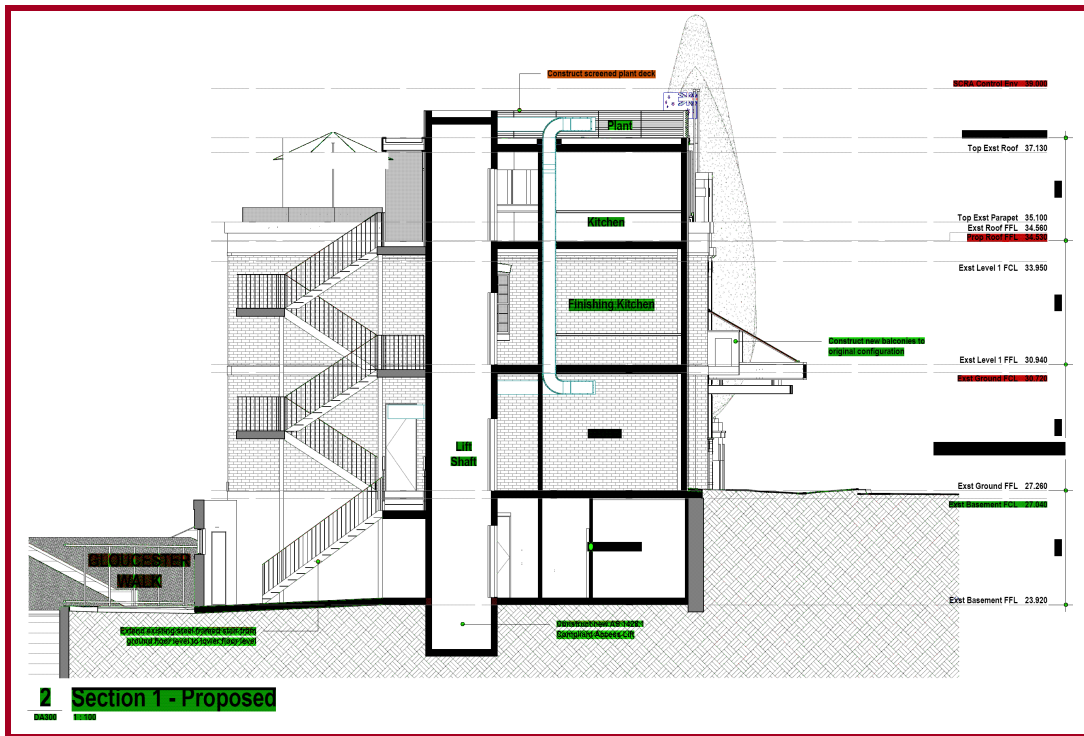


Figure 19. Proposed development: section (source: Humphrey and Edwards, *The Glenmore Hotel, Section 1 and 2 - Existing and Proposed, Project No. 2042, Drawing No. DA300, Sheet Issue Date 24 November 2009*).

Recommendations

It is recommended that an Exemption to the requirements of the Heritage Act be applied for in relation to the excavation for the proposed development. The work should nevertheless be monitored by an archaeologist. This will allow the proper management of any, even fragmentary, archaeological remains found in the course of the work. A short methodology and research design for the work should be drawn up to accompany the application for an Exemption.

Should any unexpected remains, or remains of an unexpectedly high degree of integrity, be discovered during the proposed excavation, these may be protected by the *Heritage Act 1977*, and further archaeological assessment and recording may be required.

References

- City Plan Heritage, May 2006, 'Glenmore Hotel, 96-98 Cumberland Street, The Rocks: Conservation Management Plan', for the Sydney Harbour Foreshore Authority.
- Heritage Council of NSW, 2009, Standard Exemptions for Works requiring Heritage Council Approval, Heritage Information Series, revised edition, accessed 16 November 2009, <www.heritage.nsw.gov.au/docs/Standard_Exemptions.pdf>
- John Oultram Heritage and Design, November 2009, 'Proposed alterations and additions to the Glenmore Hotel, Cumberland Street, The Rocks: Heritage impact statement', for Permyon Pty Limited trading as Glenmore Hotel.
- Lydon, ECJ 1993, 'Archaeological Investigation, the Glenmore Hotel, 96-98 Cumberland Street, the Rocks, Sydney, for the Sydney Cove Authority.
- Robertson and Hindmarsh, June 1992, 'The Glenmore Hotel: An Investigation of the Significance of the Glenmore Hotel, 96-98 Cumberland Street, The Rocks', for the Sydney Cove Authority.