

PROPOSED ALTERATIONS & ADDITIONS

TO

THE GLENMORE HOTEL

CUMBERLAND STREET, THE ROCKS

HERITAGE IMPACT STATEMENT



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Frontispiece. New Premises of Glenmore Hotel, Cumberland Street, Sydney

Architects Office Kent Brewery Sydney, dated 1919

AO Plan No 72452. Source: City of Sydney Archives

1.0 INTRODUCTION

1.1 The Brief

The following report has been prepared to accompany a development application for alterations and additions to the Glenmore Hotel, Cumberland Street, The Rocks, NSW.

The property is owned by the Sydney Harbour Foreshore Authority (SHFA) and consent must be obtained from them as owners for the application to proceed. The submission will be lodged as an integrated development with the NSW Department of Planning and then a Section 60 application will be made to the Heritage Branch.

The report has been prepared on behalf of Permyon Pty Limited T/A Glenmore Hotel, the licensees of the Hotel.

1.2 The Study Area

The study area is the Glenmore Hotel, 96 Cumberland Street, The Rocks, NSW,

The site is identified as Lot 106 in DP 264104. (Figure 1.1)



Figure 1.1 The Glenmore Hotel

Source: Google Maps

1.3 Limitations and Terms

The report only addresses the European significance of the place. The terms *fabric, conservation, maintenance, preservation, restoration, reconstruction, adaptation, compatible use and cultural significance* used in this report are as defined in the Australia ICOMOS *Burra Charter*.

The Plan contained a detailed history of the place and an assessment of significance and no additional research was carried out for this report. A short summary of the history is included below. The original plans for the Hotel were retrieved from the City of Sydney Archives and these are reproduced below.

1.4 Previous Reports

The Hotel has been the subject of several heritage reports most notably:

City Plan Heritage, *Glenmore Hotel Conservation Management Plan*, May 2006

The Plan was a very thorough examination of the history of the place, its fabric and its significance. The Plan also contained conservation guidelines.

A heritage report was also prepared by Robertson & Hindmarsh in 1992 but this has not been sighted by the author:

Robertson & Hindmarsh Pty Limited, *The An Investigation of the Significance of the Glenmore Hotel 96-98 Cumberland Street, The Rocks*

1.5 Methodology

This impact statement has been prepared in accordance with the *NSW Heritage Manual* "Statements of Heritage Impacts" and 'Assessing Heritage Significance' guidelines.

1.6 Authors and Acknowledgments

This report was prepared by John Oultram John Oultram Heritage & Design, unless otherwise noted. Additional research was provided by Nick Jackson. John Oultram Heritage & Design was established in 1998 and is on the NSW Heritage Office list heritage consultants.

2.0 HISTORICAL SUMMARY

2.1 Glenmore Hotel

The site of the Hotel was formerly an area of residential properties some dating back to the beginning of the Nineteenth Century. Then the streets were on a different alignment and some evidence of this may remain under the site. The area was cleared following its resumption by the government in 1900 in response to the outbreak of the bubonic plague. An advisory board prepared a scheme for the replanning of the whole area and the streets were realigned. The Hotel site was created as a triangular lot at the corner of Cumberland Street and Gloucester Walk. The two bridges over the Argyle Cut were replaced by a single bridge and steps in 1911-12, almost abutting the Hotel site.

The current Glenmore Hotel is the second Hotel of that name in Cumberland Street. The earlier Hotel was demolished to make way for the Harbour Bridge. Due to the dilapidated condition of the Hotel the Housing Board offered Tooth and Co a new site. The Brewery accepted and designs were prepared for a hotel on the site. The building was constructed in 1919/1920. The Hotel was two storeys to the front and three to the rear, the lower floor being cut into the rockface. The Hotel opened in July 1921.

The built form of the Hotel varied from the design (Figures 2.2 & 2.3). The drawings suggest that the Hotel was to be rendered as there are architraves shown to the windows to the upper floor. The building was constructed in face brick with tiling to the lower section. Other changes included:

- The front awning was only constructed in the central bay
- The first floor windows have arched heads with no architraves
- Pediments were added to the two outer bays

The Hotel has undergone some change and this is detailed in the Plan. Much of the work related to repairs and refurbishment. In 1939 a ladies toilet was built on the ground floor in the ladies parlour (Figure 2.1).

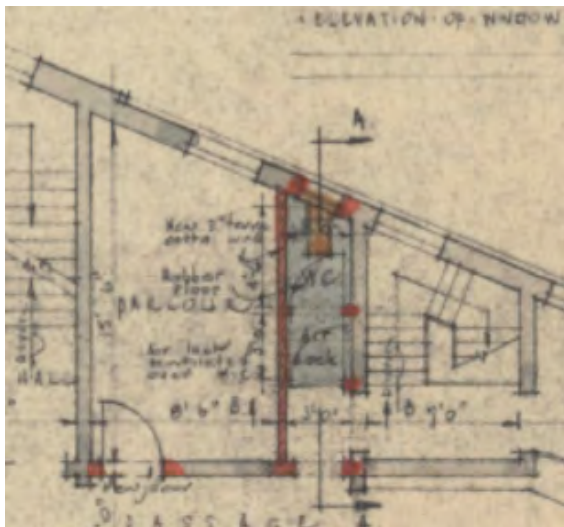
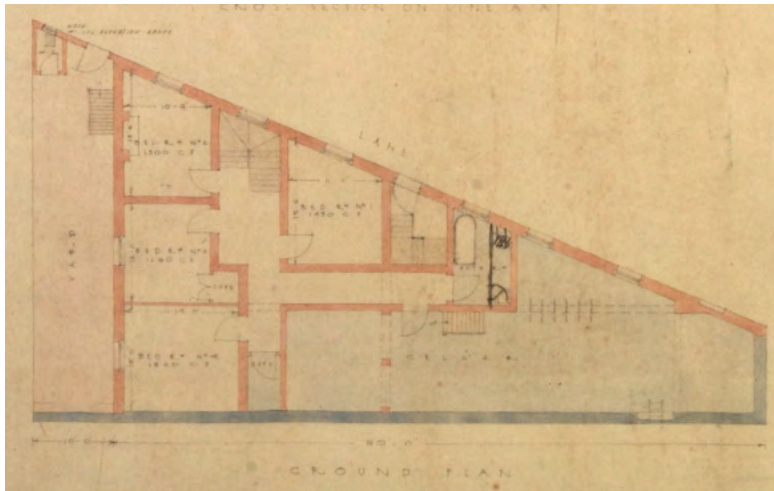


Figure 2.1 Proposed Ladies Lavatory, Glenmore Hotel

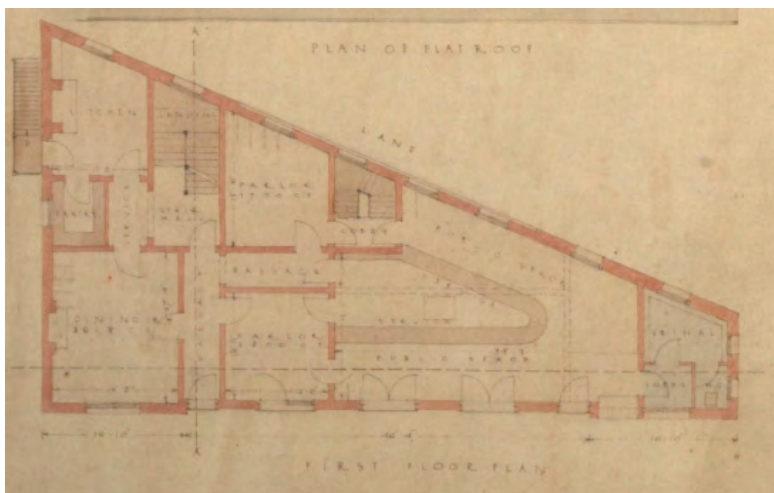
John M. Helyer Architect, Drawing dated August 1938

Source: City of Sydney Archives Plan 72453

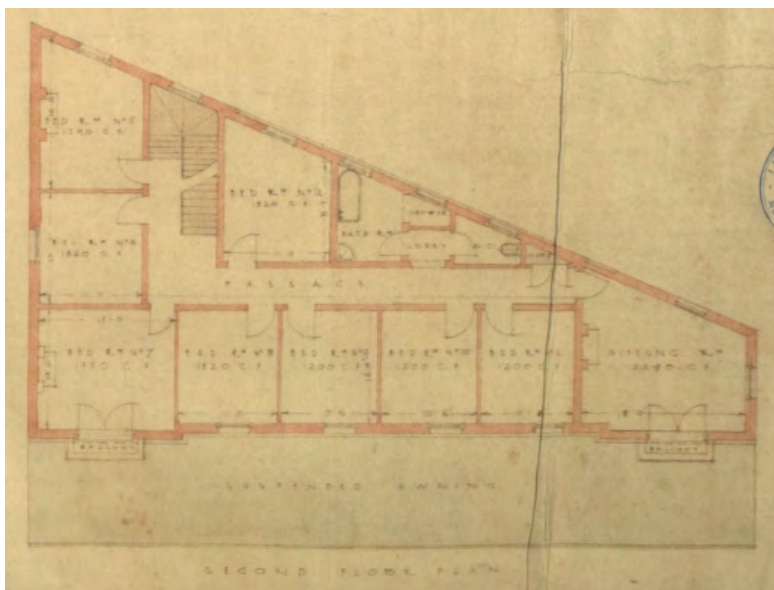
In 1942 the timber stairs to the lower yard were replaced. The parapet walls were an ongoing problem with water ingress causing internal damage. In 1952 the canopy over the bar was removed. In 1970 the curved bar was shortened. The roof top laundry was removed in 1975 along with the parapet and the balconies to Cumberland Street.



BASEMENT



GROUND FLOOR

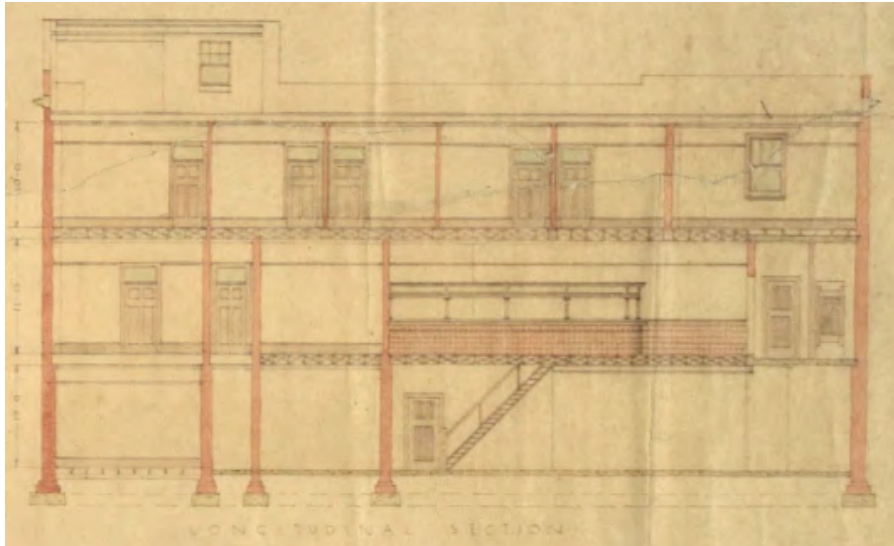


FIRST FLOOR

Figure 2.2 New Premises of Glenmore Hotel, Cumberland Street, Sydney

Architects Office Kent Brewery Sydney, dated 1919

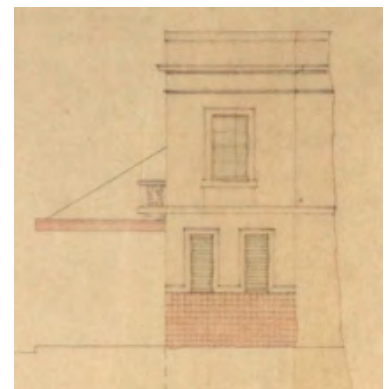
AO Plan No 72452. Source: City of Sydney Archives



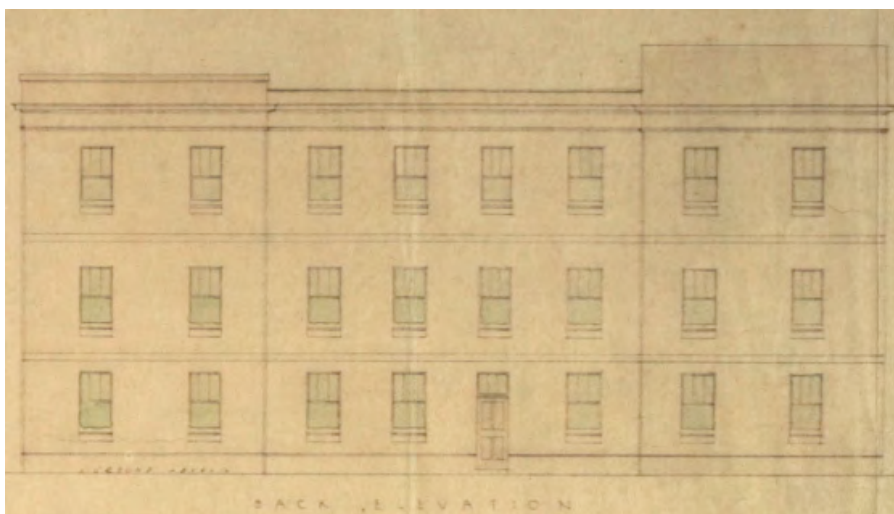
LONG SECTION



WEST ELEVATION



SIDE ELEVATION



EAST ELEVATION

Figure 2.3 New Premises of Glenmore Hotel, Cumberland Street, Sydney

Architects Office Kent Brewery Sydney, dated 1919

AO Plan No 72452. Source: City of Sydney Archives

3.0 PHYSICAL DESCRIPTION

An inspection of the property was carried out by John Oultram in November 2009.

The Glenmore Hotel is a two/three storey building in the Inter War Georgian Revival style. Walls are in face brick with glazed tiling to the lower section of wall to the front façade. The walls have brick string courses and a render band at the parapet. The lower wall to the east elevation is in render. There is a suspended awning to the front façade that is divided into three bays with projections at each end. At the ground floor there are part glazed, entrance doors. There are French doors to the first floor at each of the outer bays with diagonal timber balustrades forming Juliette balconies. Windows are 6+1 pane, double hung, timber sashes with segmentally arched, brick heads.

Internally the main bar is at the street level with stairs down to the basement and up to the first floor and roof. There is one major bar on the ground floor with toilets and service areas off, including a small kitchen and cool room to the north. The first floor is divided into bedrooms and bathrooms off a central corridor. Floors are carpeted. Walls are generally in plastered masonry with chamfered timber skirtings and timber picture rails. Ceilings are in fibrous plaster with timber battens. Original doors are four panelled, high waisted timber.

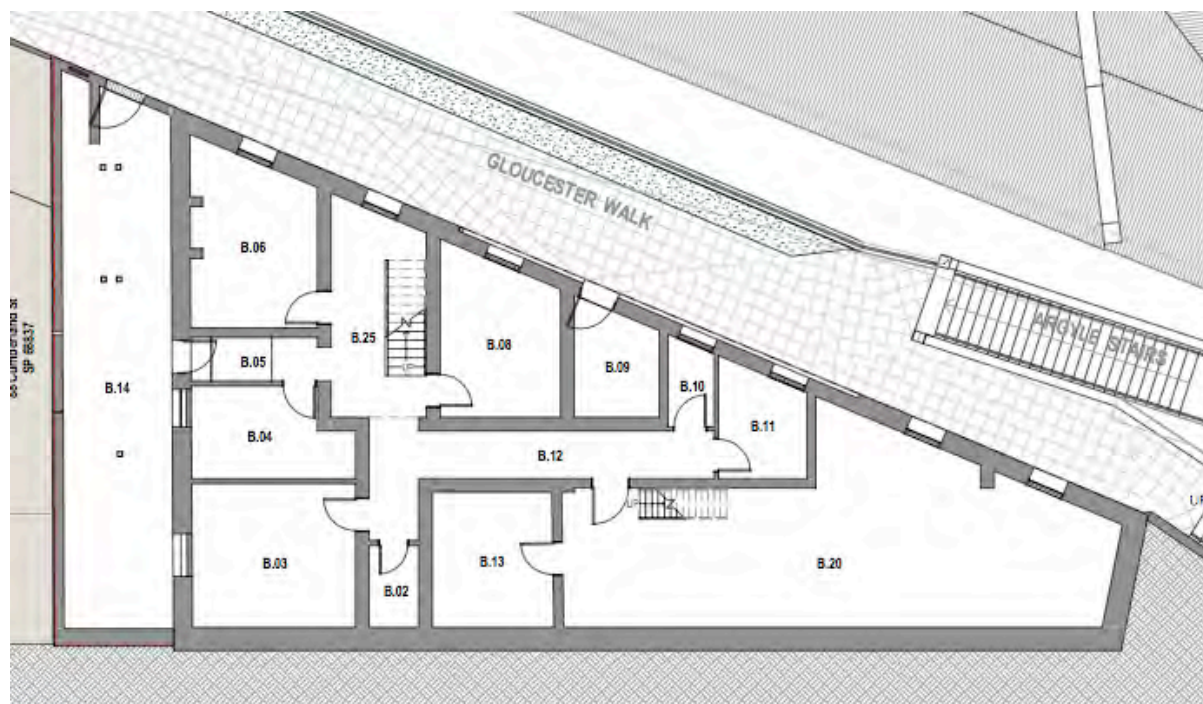
The basement has a cellar cool room, service rooms and offices. The floor is in concrete. Walls are in painted brickworks with plaster to the offices. Ceilings are in fibrous plaster with timber battens. The ground floor structure is exposed in the cellar. There is a timber stair to the bar area and a delivery chute from the street.

The timber stair continues to the roof that is trafficable and laid with artificial grass. There is a pipe rail and mesh handrail faced with perspex around the perimeter.

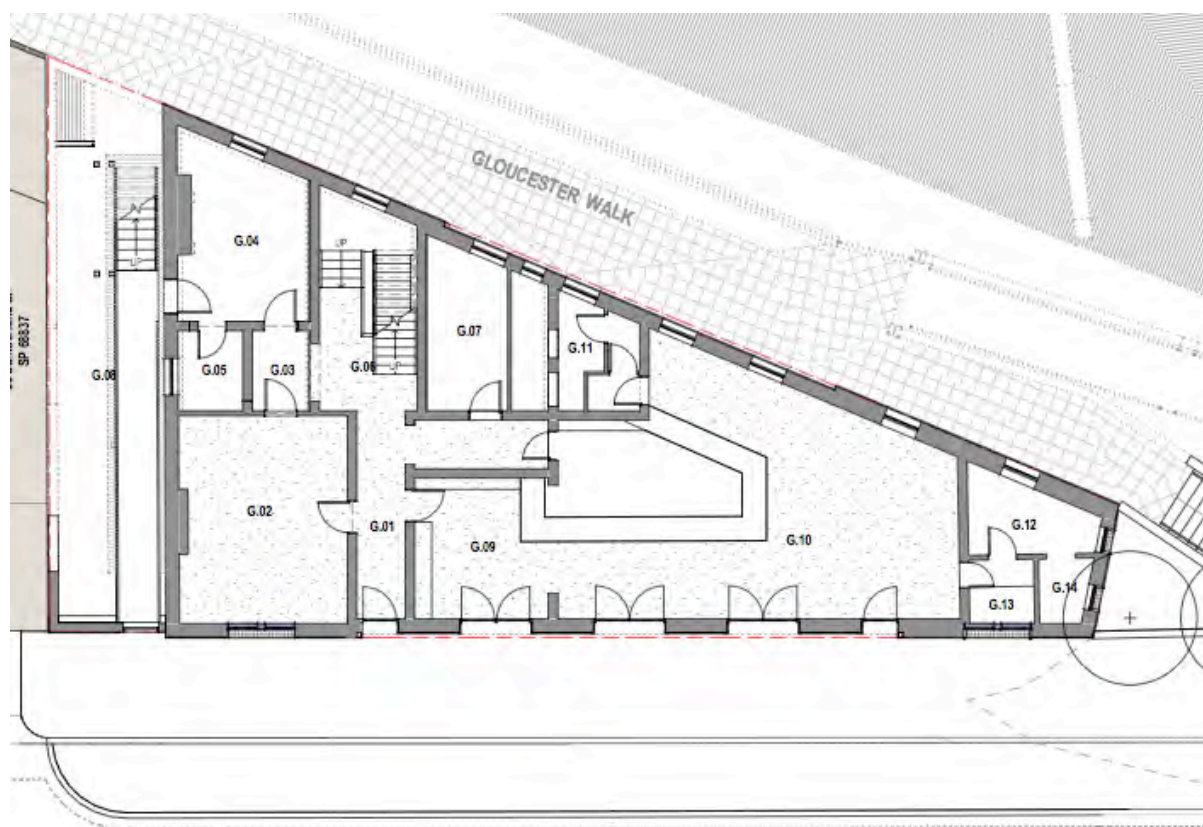
There is a small court to the north of the building at the basement level with access to Gloucester Walk. There is a canopy along the court supported on steel posts that also supports a gangway at the ground floor that gives access to Cumberland Street. At the eastern end of the court is a modern, steel fire stair that gives access to the ground and first floors and the roof.

The Hotel sits on an elevated site above the lower end of the Rocks and is close to the bridge over the Argyle Cut. To the north is a modern, multi storey building (Immigration House). Cumberland Street is a wide avenue bounded to the west by the high walls that support the approaches to the Harbour Bridge. There is a wide nature strip in front of the highway with extensive mature trees. The hotel has expansive views from the upper levels and roof to the east to the Opera House and the Harbour.

Figures 3.1-3.20



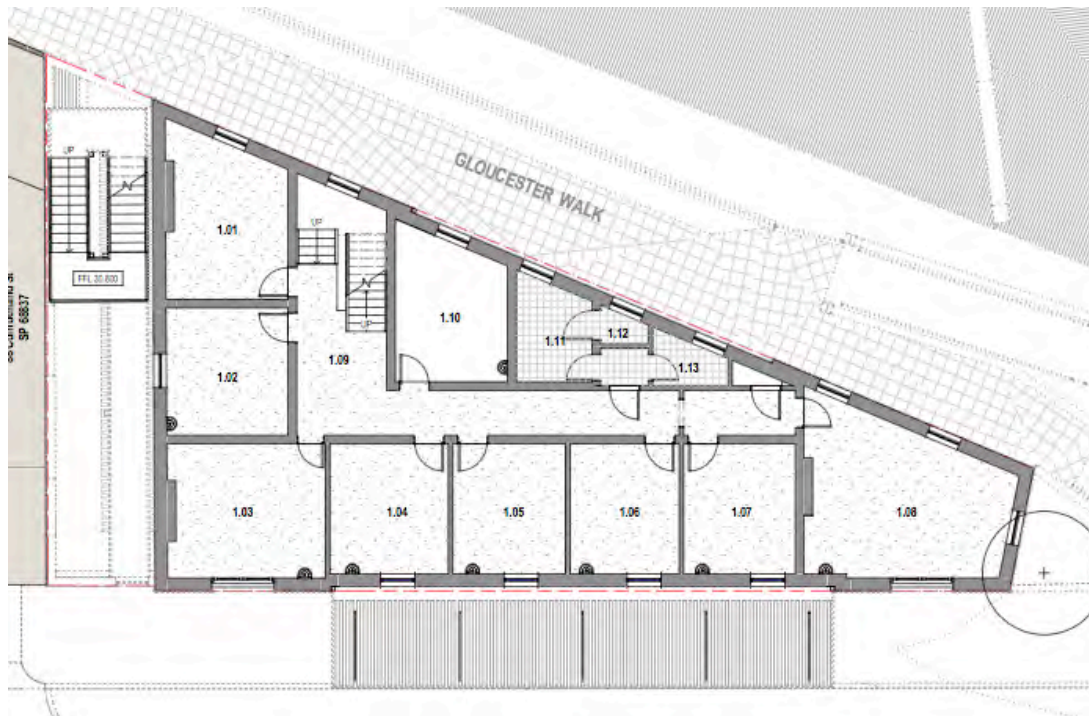
BASEMENT



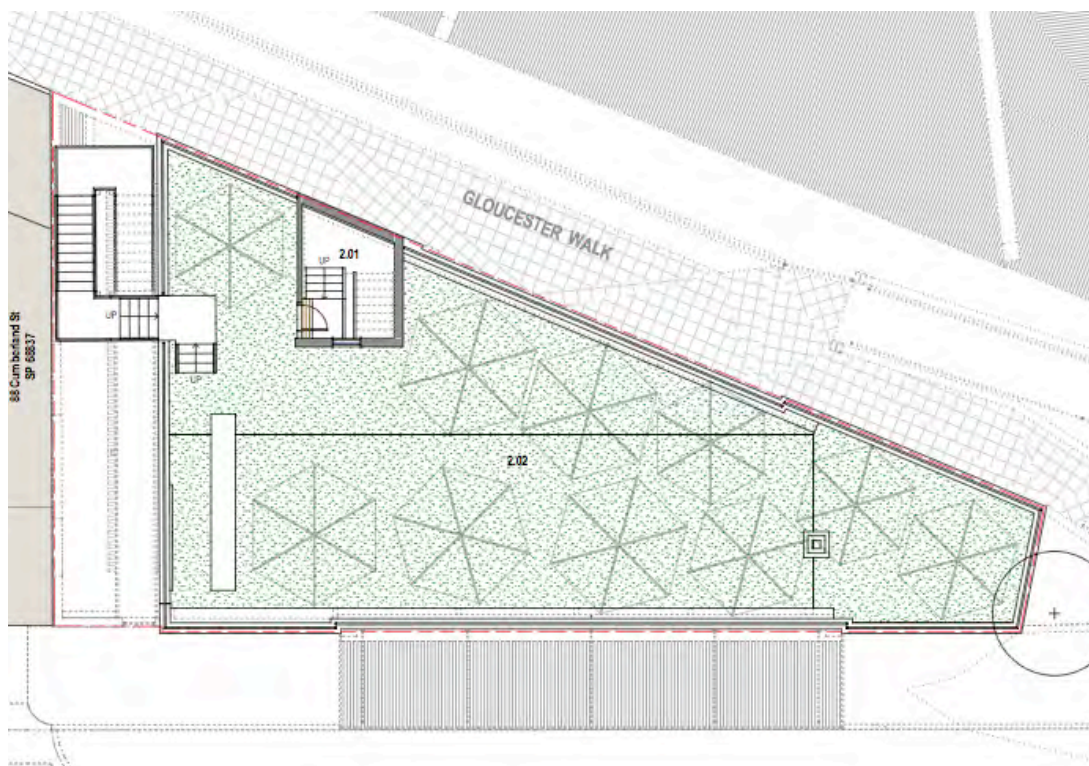
GROUND

Figure 3.1 Plans as existing

Source: Architect



FIRST



ROOF

Figure 3.2 Plans as existing

Source: Architect



Figure 3.3 Glenmore Hotel, The Rocks
Cumberland Street elevation



Figure 3.4 Glenmore Hotel, The Rocks
South bay detail



Figure 3.5 Glenmore Hotel, The Rocks
View looking north along Cumberland Street



Figure 3.6 Glenmore Hotel, The Rocks
Main Bar



Figure 3.7 Glenmore Hotel, The Rocks
Ground floor stair hall



Figure 3.8 Glenmore Hotel, The Rocks
Ground floor hall to the rear of the bar



Figure 3.9 Glenmore Hotel, The Rocks
Cellar



Figure 3.10 Glenmore Hotel, The Rocks
Basement Hall



Figure 3.11 Glenmore Hotel, The Rocks
Basement lavatory



Figure 3.12 Glenmore Hotel, The Rocks
Basement passage



Figure 3.13 Glenmore Hotel, The Rocks
Basement yard looking east



Figure 3.14 Glenmore Hotel, The Rocks
Basement yard looking west



Figure 3.15 Glenmore Hotel, The Rocks
First floor stair



Figure 3.16 Glenmore Hotel, The Rocks
First floor hall



Figure 3.17 Glenmore Hotel, The Rocks
First floor bathroom



Figure 3.18 Glenmore Hotel, The Rocks
Roof terrace looking south



Figure 3.19 Glenmore Hotel, The Rocks
Roof terrace looking north



Figure 3.20 Glenmore Hotel, The Rocks
Roof terrace looking north

4.0 HERITAGE CONTROLS

4.1 Heritage Branch of the NSW Department of Planning

State Heritage Register

Under the Heritage Act 1977 (amended 1998), the Heritage Branch of the NSW Department of Planning (formerly the NSW Heritage Office) administers and maintains the State Heritage Register (SHR), a register of items and places that are considered to have heritage significance at a state level. The subject property is listed on the State Heritage Register No. 01549 (Database Number 5053165).

Development at the site requires the consent of the Heritage Branch.

State Heritage Inventory

The Heritage Branch also compiles the State Heritage Database, a collated database of all places listed on statutory heritage lists, including Local Environmental Plans and Section 170 Registers. The subject property is listed on the State Heritage Database Number 4500009. Listing on the Database has no statutory implications for development at the site but reflects the listing of the property on the Section 170 Register of the Sydney Harbour Foreshore Trust.

Section 170 Register

Section 170 of the NSW Heritage Act Requires government authorities, such as SHFA, to establish and keep a register of items of heritage significance. The Hotel is listed on SHFA's Section 170 Register. Listing on the Register has no statutory implications for development at the site but reflects the listing of the property on the State Heritage Register.

4.2 Sydney Harbour Foreshore Authority SHFA

The Sydney Harbour Foreshore Authority are the owners of the property and consent will be required from them for the development application to proceed. The property is listed on the Section 170 Register prepared by the Authority.

4.3 Sydney Cove Redevelopment Authority

The Rocks is covered by the SCRA Scheme that has the status of an Environmental Planning Instrument under Schedule 6 of the Environmental Planning and Assessment Act 1979. The scheme controls heights on particular sites.

4.4 Local Authority

The site is across from the boundary of the Sydney City Council Local Government Area. The property is in the vicinity of a heritage item in Schedule 8 of the *Sydney Local Environment Plan 2005* (as amended) (LEP), the Bradfield Highway.

The nature of the listed structure and the extent of the proposed works would preclude there being any impact on the heritage item.

It is understood that this application will be dealt with as an integrated development with the NSW Department of Planning.

4.5 Other Listings

4.5.1 National Trust

The property is classified on the Register of the National Trust of Australia (NSW). Listing on the Register has no statutory implications but is widely regarded as an authoritative indication of significance.

5.0 DISCUSSION OF SIGNIFICANCE

5.1 Assessment of Significance

The Plan contained a detailed assessment of significance using the criteria developed by the NSW Heritage Office. The assessment is attached as Appendix A.

The Statement of Significance indicated:

4.2 Statement of Significance

The Glenmore Hotel was constructed c.1921 by prominent Sydney brewery Tooth & Co and was designed in the Inter War Georgian Revival style of architecture by a Tooth & Co resident architect. The Hotel contributes to the historic, aesthetic and social values of the state significant precinct of The Rocks through its use, architectural style, building form, streetscape contribution and period of construction.

The Glenmore Hotel is significant to the local area for its historic and aesthetic values. It is historically representative of changing hotel operations during the 20th century due to shifting legislation and drinking habits. These changes are embodied in the fabric of the building and are evident in the continuation of the original accommodation uses; the provision of additional facilities such as bathrooms; and the altering of redundant spaces, such as the former parlour, for new uses. The Hotel is historically associated with the prominent Sydney brewery Tooth & Co and its form, fabric and architectural style is representative of Tooth's attempt to improve the image of hotels and drinking during the Inter War period.

Aesthetically, the Glenmore Hotel is representative of the Georgian Revival style of architecture that was popular during the Inter War period for the reconstruction or remodelling of earlier hotels. The characteristic features of the hotel include face brick walling, rendered and painted details, external tiling, regular fenestration, symmetrical façade, and multi-paned sash windows. As with most hotels, the Glenmore Hotel has been altered with the removal of the original façade balconies, parapet and bar although, the internal spaces have remained largely intact.

CMP p.61

We would concur with this Assessment

5.2 Gradings of Significance

The Plan also contained a detailed analysis of fabric to assess the significance of its layout, features, fabric and elements. This analysis has been used to examine the impact of the proposed changes.

6.0 PROPOSED WORKS

The current lessees would like to make improvements to the Hotel and alter the rooms at the first floor level to allow for their use as lounges and bar areas. The work also include an new lift in the northern court. It is also proposed to carry out maintenance works and reinstate some elements that have been removed.

The works are shown on Drawings Nos. 2042 DA030, DA110, DA111, DA112, DA113, DA114, DA300, DA301, DA400 and DA401 (all Issue 01) dated December 2009 and prepared by Humphrey + Edwards Architects. The works include:

Basement

- Demolition of the awning and gantry to the court
- New lift and dry store to court
- New stair to court
- New ramp to the rear hall
- New opening to an accessible lavatory
- New female toilets
- New keg coolroom covering one window
- New wall to the store
- New door to the corridor

Ground Floor

- Demolition of the steel gantry
- Demolition of store walls to enlarge kitchen
- Demolition of the female toilets and conversion of the area to seating
- New door to the lift landing
- Blocking of the current door from the kitchen while retaining the door
- New lift and store to court

First Floor

- Demolition of an internal wall to form a new bar and lounge
- Conversion of a bedroom to new toilets
- Refit of the male lavatory
- New openings to the bedrooms walls to form lounges
- New lift and kitchen to court

Roof

- Alteration of the steel stair
- New concrete roof deck and waterproofing
- New bar
- New retractable awning on a steel structure
- New glass balustrade
- New lift and kitchen to court
- New opening to the stair and relocation of the window
- New roof and skylight over the existing stair

Conservation Works

- Reinstatement of the Juliette balconies to the front elevation
- Reinstatement of the parapets and pediments to Cumberland Street

The new lift infill to the court will be in steel cladding on a brick base and rises approximately to the balcony rail height of the building to the north. The new awning at roof level is a simple post and beam structure infilled with retractable awnings.

7.0 IMPACT OF THE PROPOSED WORKS

7.1 Generally

The Glenmore Hotel is significant at a local level historically, aesthetically and socially. The site may contain some remains of the former street patterns prior to the resumption and clearing of the area in 1900 and the place may be technically/scientifically significant at a State level.

The Hotel is not of the highest order architecturally and has been altered internally and to the main facade where important details (the parapets and Juliette balconies) have been removed. Internally the detailing of the Hotel is quite modest and it has few features of note. The plan is of small scale rooms around a single main bar and the proposed works aim to open out some of the rooms to allow for uses connected with the Hotel and expand the bar areas and lounge areas to the first floor.

The proposals have been sensibly planned to limit the impact on significant fabric and spaces and take advantage of the service court to the north to add a lift and service areas that are currently crammed into the Hotel.

The impact of the changes is assessed below based on the assessments of significance in the Plan.

E	EXCEPTIONAL
H	HIGH
M	MODERATE
L	LITTLE
I	INTRUSIVE

Some elements have not been ranked and these have been ranked below in italics.

It should be noted that all of the structure was rated *Exceptional* in the CMP though we do not consider that the CMP considered that no alteration was possible to structural elements, such as discrete penetrations for new door openings and the like.

7.2 Basement

Item	Ranking	Impact
Demolition of the awning and gantry to the court	I	The awning is a modern steel structure of no merit
New lift and cool room to court		See Section 7.4 below
New stair to court	L	The new stair extends the current stair to the basement level in the same style as the existing. The stair cannot be seen from the public domain and is necessary to allow the escape stair to access Gloucester Walk
New ramp		There is a level change to the rear court and the new ramp will accommodate this. The change is minor
New opening to accessible lavatory	E	The works require the removal of a small amount of original fabric but the space is a secondary service area
New wall to store	M	The area has already been altered with a lightweight wall forming a small passage. The change will not impact on a significant space or fabric
New door to corridor	M	The cellar area is utilitarian and the door will provide security for the cellar
New female toilets	M/H	The room was originally a bedroom and is used as an office. It is in a service section of the hotel and the changes does not alter the original room layout, window or fireplace
New keg cool room	L	The cool room is in addition the current cool room

7.2.1 Impact in relation to the CMP

(a) Demolition of the awing and gantry

The awning is not ranked in the CMP but, being a modern structure, would be ranked at a similar level as the metal fire stair above – *Little*. The CMP notes that for this ranking *both retention and removal are acceptable options*.

CMP p. 93

(b) New stair to court

The court itself is not ranked in the CMP. The new stair will carry the current stair to the basement to allow egress to Gloucester Walk in place of the current egress to Cumberland Street. The change will allow the construction of the new lift and the stair and will be detailed to marry in the with fire stair above.

Though the stair intrudes into the court the wall to Gloucester walk and the former lavatory will be retained. The new stair does not impact on original fabric.

(c) New ramp

The corridor is ranked as *Moderate* in the CMP as there have been previous alterations here. The new ramp will be laid over the existing floor to avoid any alteration to original fabric. It will allow disabled access into the basement areas.

(d) New opening and accessible lavatory

All of the existing structure is ranked as *Exceptional* significance and doors and windows as of *High* significance. As noted above we do not consider that the CMP was aimed at preventing minor modifications that involved the alteration of some structure as it would effectively limit the building to its current plan. Provide that the alterations are limited then we consider that changes will not impact overly on the significance of the place.

The existing window will be removed and the opening cut down to ground level and a new door fitted. The bricks and windows should be salvaged and stored on site for reuse.

The current store is ranked *Moderate* in the CMP as the area (that was originally a bedroom) has been altered with new walls and doors. The new lavatory will change the configuration in the store but this is a later space of low significance. The original ceiling carries through these spaces and these should be left in place, even if covered, to allow interpretation of the original space.

(e) New door to corridor

The arrangement of spaces and rooms to the Basement is ranked as *Exceptional*. The corridor spaces are quite workmanlike and were not open to the public. They contain no detail of note. The new door will allow separation of the public from the working spaces of the Hotel and is an additive and reversible element that will not impact on original fabric. The arrangements of spaces will remain readable.

(f) New female toilets

The current office is to be refitted as a female toilet. The arrangement of spaces and rooms to the Basement is ranked as *Exceptional* and the fireplace is ranked as of *High* significance. The room was originally a bedroom and has plastered walls.

The insertion of the toilets will change the spatial qualities of the room internally though it does not require the demolition or removal of original fabric. The work is additive and is reversible. The detailing of the space should pay some regard to its former use by:

- Limiting the extent of tiling
- Retaining the existing ceiling (even if covered)
- Retaining clear glass to the windows and using a secondary screen to provide privacy

(g) New cool room

A new cool room is to be fitted into the cellar. The arrangement of spaces and rooms to the Basement is ranked as *Exceptional* though the cellar is quite utilitarian and robust. The space is not open to the public and is there to serve the storage requirements of the Hotel that inevitably change over time.

The new coolroom will change the spatial quality of the space and cover over a window to the east elevation. The coolroom is stand-alone structure and does require any alteration of original fabric. The window provides light to the cellar but does not play the same role as windows in the occupied areas of the hotel. At this level, with its rendered, external walls, the basement reads as service area. The blocking of the window should be done in a manner that is reversible (eg a solid panel behind painted black) and that protects the glazing.

7.3 Ground Floor

Item	Ranking	Impact
Demolition of the steel gantry	I	The gantry is a modern steel structure no merit
Demolition of store walls to enlarge kitchen	E	The current kitchen is barely serviceable due to its size. The stores has been converted to a cool room. The works involve a limited removal of original fabric that will considerably enhance the amenity of the space. The arched opening to the stair hall will be retained.
Demolition of the female toilets and conversion to seating	M	The ladies lavatory was a later alteration that replaced the timber stair that was originally in this position. The main bar is not large and the new seating will make the room more functional
Blocking of the current door from the kitchen	H	The current door to the gantry will be locked shut.
New door to the lift landing	E	The existing window will be cut down to form a door. The loss of original fabric is small and the change will allow access from the kitchen to the stores and lift
New lift and store to court		See Section 7.4 below

7.3.1 Impact in relation to the CMP

(a) Demolition of store walls

The arrangement of spaces and rooms to the Ground Floor and the structure is ranked as *Exceptional*. The current arrangement of rooms at the kitchen is as per the original plan that shows a kitchen and pantry. The kitchen is very small and will struggle to meet the demands of additional patrons.

There is little scope for relocating the kitchen in other areas of the Hotel and it is preferable that this use remain in its original location. The works will involve the removal of the walls and doors to the pantry. The change will be interpreted by the use of nibs to the walls and downstand beams to the ceiling. The door to the Gaming Room will be locked shut indicating the former passage and the arch to the stair hall will be retained.

The existing window to the pantry will be removed and the opening cut down to ground level and a new door fitted. The bricks and windows should be salvaged and stored on site for reuse. The current door to the kitchen will be blocked shut and the wall covered in a new rat proof wall to comply with health regulations.

(b) Demolition of female toilets and conversion to seating

This area is ranked as *Moderate* in the CMP though parts of the walls were the flank walls for the timber stair that used to run through this area to the basement. The CMP anticipates that in these areas some intervention is permissible provide that it protects the overall cultural significance of the place.

CMP p. 93

The proposed changes will expand the ground floor bar and provide a seating space overlooking the water. Only a limited amount of original fabric to be removed and the change will remove some intrusive additions. The current layout does not allow the interpretation of the original layout and this will be interpreted with wall nibs and downstand beams demonstrating that original arrangement of the stair hall.

7.4 First Floor

Item	Ranking	Impact
Demolition of an internal wall to form a new bar and lounge	E	The change involves limited removal of significant fabric and will allow for a new bar to the first floor
Conversion of a bedroom to new toilets	M	The current sanitary facilities at this level are not of a high order and the change will improve the amenity of the first floor. The changes involves little change to significant fabric
Refit of the male lavatory	L	The area has been refitted and is largely modern and the change is neutral
New openings to the bedrooms walls to form lounges	E	See Section 7.3 below
New lift and kitchen to court		See Section 7.4 below

7.4.1 Impact in relation to the CMP

(a) Demolition of an internal wall to form a new bar and lounge

The arrangement of spaces and rooms to the First Floor and the structure is ranked as *Exceptional*. The current arrangement of rooms here is as per the original plan that shows two bedrooms. It is proposed to convert parts of the upper floor to bar and lounge areas but the works are quite discrete and retain most of the rooms as is.

The change will be interpreted by the use of nibs to the walls and downstand beams to the ceiling. The doors will be removed and the linings retained to indicate their former position. The doors should be salvaged and stored on site for reuse or reused in areas of the Hotel where original doors have been replaced.

A new opening will be cut into the wall to give access to the lift and fire stair. The bricks and should be salvaged and stored on site for reuse. The detail of the new door should not mimic original details and should be clearly modern.

(f) Conversion of a bedroom to toilets

One bedroom is to be refitted as a female toilet. The arrangement of spaces and rooms to the First Floor is ranked as *Exceptional*.

The insertion of the toilets will change the spatial qualities of the room internally though it does not require the demolition or removal of original fabric. The work is additive and is reversible. The detailing of the space should pay some regard to its former use by:

- Limiting the extent of tiling
- Retaining the existing ceiling (even if covered)
- Retaining clear glass to the windows and using secondary screen to provide privacy

7.4.2 Roof

Item	Ranking	Impact
Alteration of the steel stair	L	The change will allow safe access to the fire escape
Reconfiguration of the access from the existing timber stair	E	The stair does not comply with the BCA at the roof level and the change will allow safe access to the roof. The stair shaft originally gave access to the drying areas on the roof and is a secondary service structure
Relocation of the stair door and window and blocking of the original door	H	The change is required to provide safe access and egress
New concrete roof deck and waterproofing	E	The roof has been a source of maintenance problems for the life of the hotel as it is a sheet material over a lightweight structure. A new concrete deck will allow for proper waterproofing and safe loadings and tie the building together at the parapet
New bar	L	The new bar replaces that currently in the same location
New retractable awning on a steel structure		The awning replaces the plethora of freestanding sunshades. It is simply designed with a minimal visible line to the elevations. The elevations to the Hotel are quite robust and can accommodate the change
New glass balustrade	L	The new balustrade will replace the current untidy detail of mesh and perspex
New lift and kitchen to court		See Section 7.4 below
New roof and skylight over the existing stair		The stair was designed as an access stair to the roof drying area and laundry and is utilitarian. The new skylight will bring light down into the stair and raise its amenity to suit the improvements to the terrace. The new roof will not be visible

7.4.3 Impact in relation to the CMP

(a) Reconfiguration of the timber stair

The north wall and windows are ranked as of *High* significance in the CMP. The steps at the top of the stair are dangerous and unacceptable for the numbers of patrons using the roof. There are few options for altering the stair as there is little space at the upper landing and headroom constraints to the stair below. The change here is a necessary evil but has been done in as sympathetic manner as could be expected. The current door is to be blocked and this will be interpreted in the detail. The window will be carefully removed and relocated and a new door inserted into the north walls. Considering the secondary nature of this element the change will not impact on the significance of the Hotel overall.

(b) New concrete roof deck

Surprisingly, the existing roof structure is noted as of *Exceptional* significance in the CMP. Though it contains original structure it is of no technical merit. The condition of the structure is unknown but it is unlikely that it would meet current loading requirements. The roof and parapets have been a source of maintenance problems and this is noted in the CMP which recommends:

Investigate structural and waterproofing issues associated with the roof as evident in cracking to the parapet and first floor internal walls as well as water ingress in first floor ceilings. Undertake conservation and repair works to remediate the problems.

CMP p. 96

Following investigation of the options it is considered that the replacement of the roof structure with a new concrete structure will allow waterproofing of the roof to be carried out correctly. The new slab will assist in the reconstruction of the parapets and stabilise the walls at the upper level while providing adequate loadings for the roof deck.

The work should be done in a manner that retains the ceilings below. The change will not be noticeable once complete and there will be no impact on the form of the Hotel.

(c) New Awning

The CMP anticipates additional uses at the roof level

Expansion of uses in to the northern courtyard and/or the roof should not compromise an understanding of the original built form, arrangement of details and significant fabric. Any additional structure should be sympathetic and secondary to the significant form and also readily identifiably as a new distinct element.

CMP p. 100

The proposed awning clearly meets this guideline being a simple, steel framed structure that is clearly modern. It only covers a portion of the roof and is set back from the eastern elevations. It will allow the removal of the freestanding umbrellas that the CMP identifies as being of *Little* significance.

(c) New glass balustrade

The current mesh and Perspex balustrade is identified as being of *Little* significance and its removal is permissible under the CMP. The height of the parapets is insufficient to provide the necessary balustrade height and the new glazing will provide a better visual detail than the current arrangement. The change will not require any intervention in original fabric.

(d) New roof and rooflight to stair

The stair is identified as being of *High* significance in the CMP. Its roof is not visible from any vantage point and the replacement of the roof covering is a sensible piece of maintenance work considering the extent of the roof upgrade. The stair is dark due to the lack of windows at the upper level (it was originally a service stair) and the rooflights will provide much needed natural light.

The work will require trimming of the roof structure and this should be done carefully to retain original rafters rather than replacing them wholesale.

7.4.4 Conservation Works

Item	Ranking	Impact
Reinstatement of the Juliette balconies to the front elevation	<i>E</i>	The works will reintroduce an exceptional decorative element to the main facades. The work will be based on photographic evidence
Reinstatement of the parapets and pediments to Cumberland Street	<i>E</i>	The works will reintroduce an exceptional decorative element to the main facades. The work will be based on photographic evidence

These works are recommended in the CMP.

7.5 New openings to the First Floor Rooms

The re-use of the upper floors of early Hotels is a common issue. It was a requirement for Hotels to provide accommodation and the demand for such accommodation was higher than now as there were many travelling tradespeople and fewer hotels. The accommodation was not generous by modern standards and usually relied on shared bathrooms. As demand has dropped, many Hotels have found these rooms redundant. A large Youth Hostel has been constructed in Cumberland Street and this may reduce the demand for bedroom accommodation at the Hotel.

The CMP anticipated that the changes might be required to maintain the use of the place as a Hotel:

Flexibility may be required to conserve the essential use of the place as well as its fabric

Sympathetic adaptive reuse of the accommodation areas may be possible if it can be demonstrated that the provision of accommodation is not viable to the detriment of the principle use of the place as a hotel bar and is necessary for the ongoing conservation of the place.

CMP p. 87

It logical to try and extend the bar and function rooms to the upper floors, works that can revitalise moribund areas and provide economic returns to maintain the Hotel. While the loss of the original configuration is not ideal in heritage terms, the planning of hotels is well understood and the original drawings for the Glenmore Hotel are available and appear above. There are other considerations in terms of the long term survival of the Hotel and the maintenance of the upper floors that have to be taken into consideration. The changes will allow public use and appreciation of the upper floor and the changes can be interpreted quite simply. The changes will be signalled by nibs each end of the wall and downstand beams to allow the ceilings to remain as they are. The corridor walls, and all the doors off, will be retained. The central bedroom to the west will be retained as is.

These changes were anticipated in the CMP:

The spatial configuration of the first floor accommodation rooms should be conserved but may be the subject of sympathetic adaptation if necessary for the principal use of the place to continue and remain viable. If the adaptation of the first floor requires adaptive reuse then openings may be made in the common walls of bedrooms along the western and northern elevations to create a semi open plan space. An interpretation and appreciation of the spatial characteristics of the rooms is to be conserved in the form of wall nibs and bulkheads.

We consider that these proposed changes are acceptable in heritage terms and will not impact on the significance of the Hotel.

7.6 New Lift and Service tower

The CMP anticipates new work and identifies the northern courtyard as a possible site for this.

It is intended to construct an infill building in the western side of the court to provide a new lift and service rooms. The addition is set back from the street to allow the main elevation to remain predominant in the street. It is clad in steel to differentiate it from the brick facades and has a simple elevation to Cumberland Street to avoid any clash with more ornate detailing of the Hotel.

The Plan recommends that

When a new function is being introduced, a new architectural vocabulary of details may be adopted which is sympathetic to the existing architectural character

For the courtyard it specifically recommends:

Expansion of uses into the northern courtyard and/or roof should not compromise and understanding of the original built form, arrangement of details and significant fabric. Any additional structure here should be sympathetic and secondary to the significant form and also readily identifiable as a distinct new element.

Plan p. 99

We consider that the new infill meets these recommendations. The lift tower is higher than the parapet of the hotel but is below the height of the building to the north. It has a small footprint and will not dominate the Hotel.

Part of the north wall of the Hotel will be obscured by the addition but this elevation is secondary and not prominent. The eastern section of the courtyard will remain as is demonstrating its former layout and use.

The addition will block the slot view through the building but this is not a significant view and there are more expansive views from the nearby bridge over the Argyle cut.

The wall to the street is to be demolished but this is not shown on the original drawings of the Hotel. Its retention would create a rubbish court.

The courtyard may contain some evidence of the previous street layout and any excavation in this area should be monitored for evidence of this and any finds be inspected and recorded by a suitably qualified archaeologist.

8.0 SUMMARY

It can be seen from the above that, in heritage terms, the proposed changes are generally sympathetic and will have little impact on the cultural significance of the Hotel. The changes will expand the use of the Hotel to the first floor increasing its long-term viability and amenity.

The works will allow the reintroduction of important elements that have been removed from the façade considerably enhancing the significance of the hotel and its presentation to the street.

The new addition is simply scaled and detailed and will allow the main Hotel to be the predominant element in the streetscape.

We consider that the proposal is largely in accordance with the conservation guidelines CMP and includes appropriate measures to mitigate the effect of change.

We would strongly support the proposals and would, in heritage terms, recommend that they be approved.

9.0 RECOMMENDATIONS

We would recommend the following:

9.1 Recording

Prior to the commencement of the works, the Hotel be photographically archivally recorded in accordance with the Heritage Office guidelines for digital recording.

9.2 Archaeology

The CMP notes that the courtyard area may have archaeological potential.

All excavation in the courtyard be carefully monitored for any evidence of previous structures or layouts and an assessment of finds be allowed by a suitably qualified archaeologist. Archaeological heritage Management have been appointed thin this role.

JOHN OULTRAM

10.0 APPENDIX A

City Plan Heritage, *Glenmore Hotel Conservation Management Plan*, May 2006

4.0 ASSESSMENT OF CULTURAL SIGNIFICANCE

4.1 Assessment of Significance

The following assessment of heritage significance has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Criterion (a) – An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)

- Continuously occupied since it was built in 1921, the subject site offers a colourful and varied history of drinking and leisure activities of The Rocks during the 20th century. The changes in attitudes to drinking and the laws associated with it have been embodied in the very fabric of the building through the continuation of original uses such as accommodation; the provision of facilities such as additional bathrooms; and altering spaces for new uses as seen in the former parlour.
- The Glenmore Hotel, relocated and rebuilt during the Inter War period, is associated with that phase of resumption and redevelopment in state significant The Rocks precinct. It is historically evident of the program of redevelopment taken to sanitise and improve living conditions in The Rocks.

Criterion (b) - An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)

- Designed and later altered by Tooth & Co Brewers, the Glenmore Hotel is significant for its connection to one of Sydney's oldest brewing companies. Tooth's was associated with numerous hotels in The Rocks including the Fortune of War Hotel, the ASN Hotels and the Australian Hotel. Consequently the company had a notable presence in The Rocks and contributed to the social and economic life of people in the area. The Glenmore Hotel is one of many hotels throughout NSW that were reconstructed or altered by Tooth & Co during the Inter War period in an effort to present a more wholesome image of hotels, drinking and beer.

Criterion (c) - An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area natural history (or the cultural or natural history of the local area))

- Constructed c.1921 and designed by an unknown Tooth & Co architect the Glenmore Hotel is a representative example of a largely intact Inter War Georgian Revival style hotel. Along with the Art Deco, Functionalist, and Free Classical styles of the period the Georgian Revival style was popular for new and modified hotels. The stylistic features of the Hotel include the use of face brick, rendered and painted details, regular fenestration, symmetrical façade, multi-paned sash windows, parapet and pediments. The load bearing wall and timber

floor construction is typical of the period. The employment of details is relatively utilitarian in comparison to excellent examples of the style but comparable to that of other Tooth & Co Hotels. The aesthetic integrity of the hotel has been diminished through alterations including the removal of the parapet and the façade balconies.

- The Glenmore Hotel makes a strong contribution to the streetscape and the urban morphology of state significant precinct of The Rocks owing to its form, details and materials. It employs elements in its design characteristic of hotels in The Rocks that were constructed or altered in the Inter War period by Tooth & Co.

Criterion (d) - An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

- The Rocks is socially valuable for the esteem in which the place is held and the contribution to the identity of the wider Sydney community.⁴² As a place with a continuous and public use the Glenmore Hotel is considered to make a contribution to the social significance of the Rocks both for its built form as well as its use.
- The Glenmore Hotel is considered to have some social associations with local patrons and those who visit The Rocks for its public use and as a place of social interaction.

Criterion (e) - An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

- The site has moderate potential at the Gloucester Street frontage for the recovery of early housing and settlement remains especially deep features such as wells and cess pits. Excavations for four piers during the construction of the northern courtyard fire stairs exposed a section of the former Gloucester Street roadway and kerb. It was destroyed for the foundation of the stairs but it was presumed that further segments survive to the north and south. The site was significantly modified by excavating to the level of the Gloucester Street elevation for the construction of the existing hotel building and hence it is unlikely that significant archaeological deposits remain. For further detail on archaeology see Section 6.8 Baseline Archaeological Assessment and the report *Archaeological Investigation, The Glenmore Hotel, 96-98 Cumberland Street, The Rocks, Sydney*, prepared by E.C.J Lydon in 1993 for the Sydney Cove Authority.
- Owing to the extent of disturbance of the site potential for indigenous archaeological artefacts at the site is considered to be low.

Criterion (f) - An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)

- Together with the Australian Hotel and the Long's Lane complex of terraces the Glenmore Hotel is the last surviving pre-Harbour Bridge Building in Cumberland Street north of the Cahill Expressway and is therefore a remnant of the pre-1930 period of urban development in The Rocks.

- Criterion (g) - An item is important in demonstrating the principal characteristics of a class of NSW's**
- **cultural or natural places; or**
 - **cultural or natural environments.**
(or a class of the local area's
cultural or natural places; or
 - **cultural or natural environments)**
- The Glenmore Hotel is historically representative of the phase of resumptions and redevelopment in The Rocks during the Inter War period.
 - The Hotel is historically representative of the period of Hotel redevelopment during the Inter War period by major breweries to enhance the "ale-ing" public image of hotels and drinking. The Glenmore Hotel is typical of the program of major alterations or reconstruction of earlier hotels which has largely resulted in the hotel aesthetic surviving throughout NSW.
 - The Glenmore Hotel is aesthetically representative of the Inter War Georgian Revival style of commercial architecture which is common to hotels of the Inter War period.